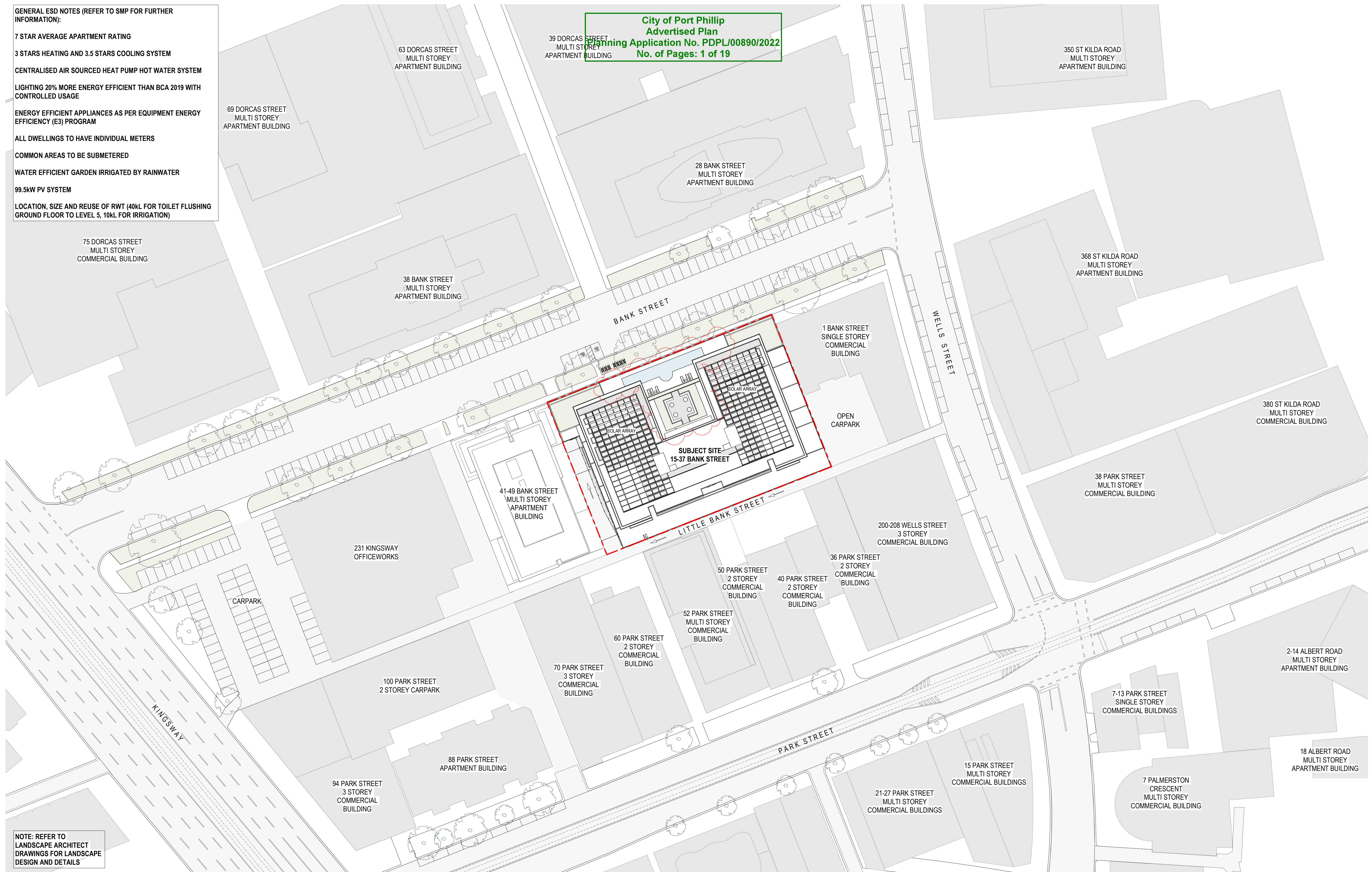


GENERAL ESD NOTES (REFER TO SMP FOR FURTHER INFORMATION):

- 7 STAR AVERAGE APARTMENT RATING
- 3 STARS HEATING AND 3.5 STARS COOLING SYSTEM
- CENTRALISED AIR SOURCED HEAT PUMP HOT WATER SYSTEM
- LIGHTING 20% MORE ENERGY EFFICIENT THAN BCA 2019 WITH CONTROLLED USAGE
- ENERGY EFFICIENT APPLIANCES AS PER EQUIPMENT ENERGY EFFICIENCY (E3) PROGRAM
- ALL DWELLINGS TO HAVE INDIVIDUAL METERS
- COMMON AREAS TO BE SUBMETERED
- WATER EFFICIENT GARDEN IRRIGATED BY RAINWATER
- 99.5kW PV SYSTEM
- LOCATION, SIZE AND REUSE OF RWT (40kL FOR TOILET FLUSHING GROUND FLOOR TO LEVEL 5, 10kL FOR IRRIGATION)

City of Port Phillip
Advertised Plan
Planning Application No. PDPL/00890/2022
No. of Pages: 1 of 19



NOTE: REFER TO LANDSCAPE ARCHITECT DRAWINGS FOR LANDSCAPE DESIGN AND DETAILS

TOWN PLANNING

Revisions / - 16.12.2022 Town Planning Issue
A 29.03.2023 Town Planning - RFI

BW
BW

Abbreviations	
AHD	AUSTRALIAN HEIGHT DATUM
BOL	BOLLARD
BOH	BACK OF HOUSE
C	COMMUNICATIONS RISER
CH	CHIMNEY BN
CL	CLEANERS STORE
CPE	CARPARK EXHAUST
DB	DISTRIBUTION BOARD
E	ELECTRICAL WASTE
ELEC	ELECTRICAL METER CUPBOARD
EOT	END OF TRIP
F	FIRE PUMP FILL
FOR	FIRE CONTROL ROOM
FHR	FIRE HOSE REEL
FR	FIRE RISER
G	GLASS WASTE
HW	HOT WATER
HYD	HYDRAULICS RISER
K	KITCHEN RISER
MBB	MANK SWITCH BOARD
NGL	NATURAL GROUND LEVEL
PS	PRIVATE SCREEN
R	RECYCLING WASTE
REF	REFRIGERANT RISER
RL	RELATIVE LEVEL
SP	SPRINKLER CONTROL VALVE
ST	STORE
O	ORGANIC WASTE
T	TERRACE

Project / **Bank Street**

Drawing / **Proposed Site Plan**

Project No / **221117** Date / **05/08/22**

Author / **BW** Scale: @ A1 / **1 : 500**

Drawing No. / **TP00.01 A**

15-37 Bank Street, South Melbourne

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City of Port Phillip
Advertised Plan
Planning Application No. PDPL/00890/2022
No. of Pages: 2 of 19

38 BANK STREET
MULTI STOREY
CONCRETE BUILDING

28 BANK STREET
MULTI STOREY
CONCRETE BUILDING

BANK STREET

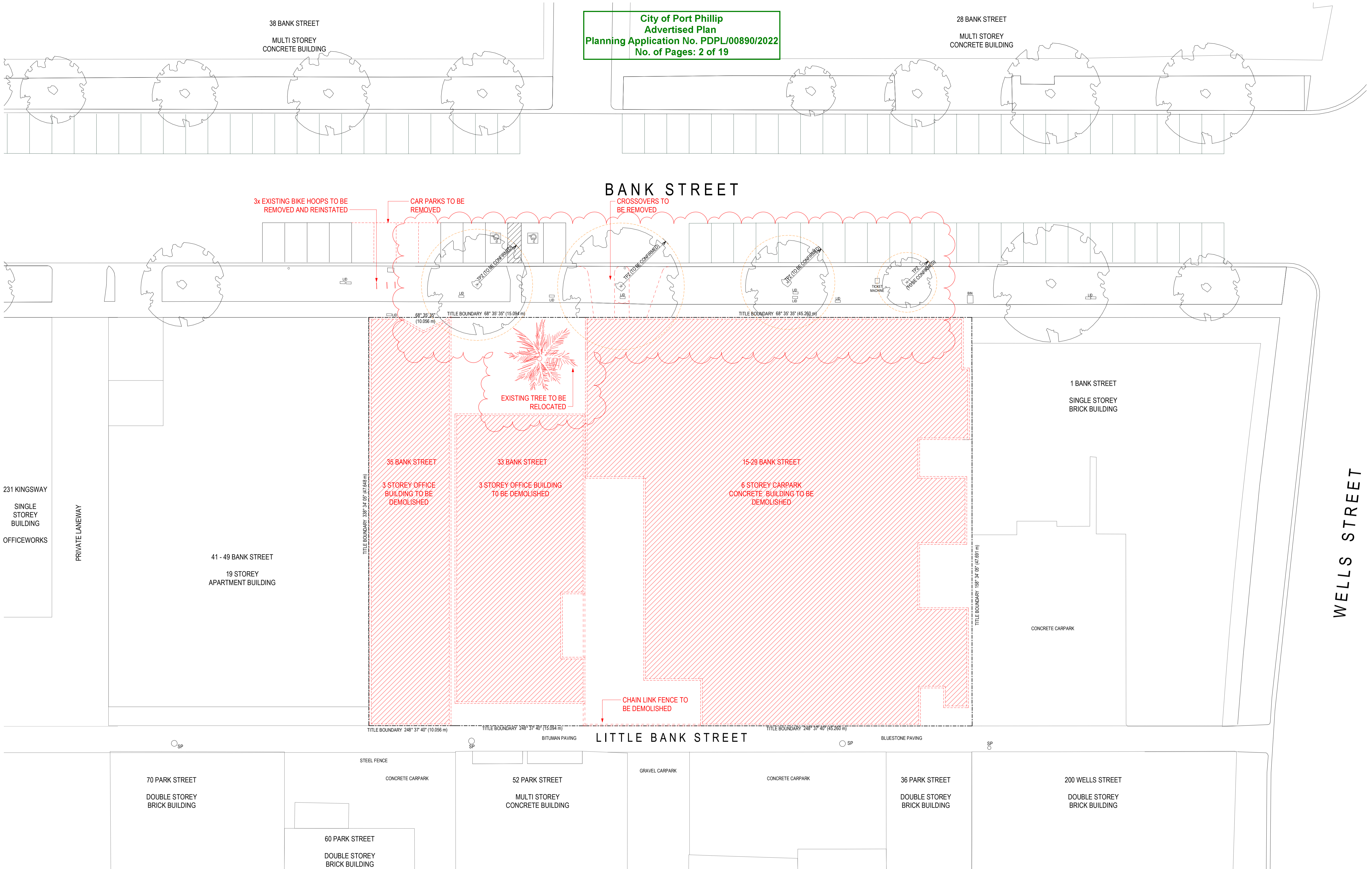
3x EXISTING BIKE HOOPS TO BE
REMOVED AND REINSTATED

CAR PARKS TO BE
REMOVED

CROSSOVERS TO
BE REMOVED

EXISTING TREE TO BE
RELOCATED

CHAIN LINK FENCE TO
BE DEMOLISHED



TOWN PLANNING

Revisions / - 16.12.2022 Town Planning Issue
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BW
BW

Abbreviations

AHD	AUSTRALIAN HEIGHT DATUM	G	GLASS WASTE
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C	COMMUNICATIONS RISER	K	KITCHEN RISER
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EOT	END OF TRIP	SP	SPRINKLER CONTROL VALVE
F	FIRE PUMP FLUE	SPR	SPRINKLER
FOR	FIRE CONTROL ROOM	ST	STORE
FHR	FIRE HOSE REEL	O	ORGANIC WASTE
FR	FIRE RISER	T	TERRACE

Project / Bank Street

Drawing / Demolition Plan

Project No / 221117 Date / 10/11/22

Author / ES

Scale: @ A1 / 1 : 200

Drawing No. / TP00.02 A

15-37 Bank Street, South Melbourne

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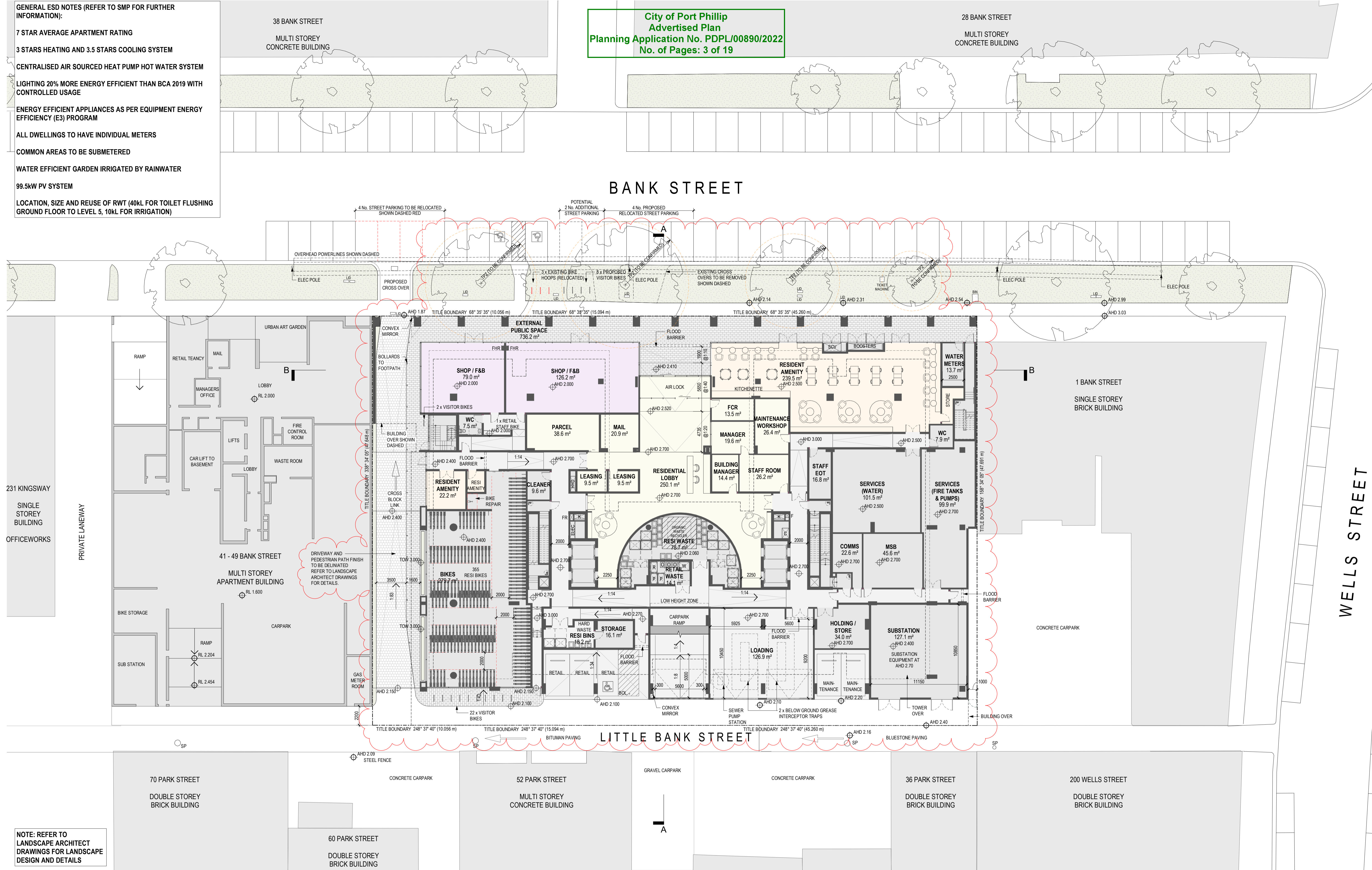
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Brisbane, Melbourne, Sydney
www.rothelowman.com.au

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**City of Port Phillip
Advertised Plan
Planning Application No. PDPL/00890/2022
No. of Pages: 3 of 19**



NOTE: REFER TO LANDSCAPE ARCHITECT DRAWINGS FOR LANDSCAPE DESIGN AND DETAILS

TOWN PLANNING

Revisions / - 16.12.2022 Town Planning Issue
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ELEC	ELECTRICAL METER CUPBOARD
EOT	END OF TRIP
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FOR	FIRE CONTROL ROOM
FHR	FIRE HOSE REEL
FR	FIRE RISER
G	GLASS WASTE
HW	HOT WATER
HYD	HYDRANLICS RISER
K	KITCHEN RISER
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NGL	NATURAL GROUND LEVEL
PS	PRIVATE SCREEN
R	RECYCLING WASTE
REF	REFRIGERANT RISER
RL	RELATIVE LEVEL
SP	SPRINKLER CONTROL VALVE
SPR	SPRINKLER
ST	STORE
O	ORGANIC WASTE
T	TERRACE

Project / **Bank Street**

Drawing / **Ground Floor**

Project No. / **221117** Date / **05/08/22**

Author / **BW** Scale: @ A1 / **1 : 200**

Drawing No. / **TP01.02 A**

15-37 Bank Street, South Melbourne

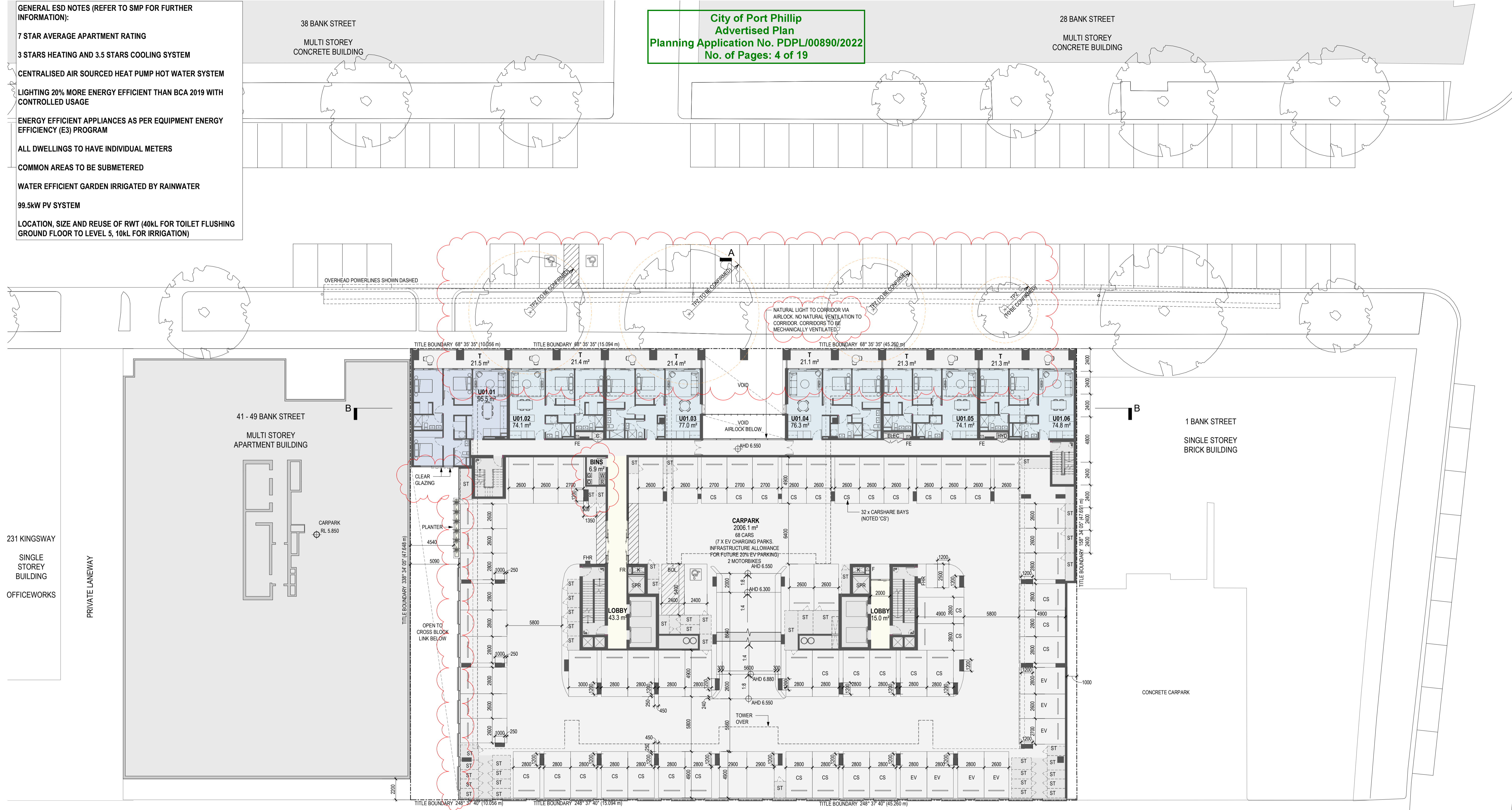
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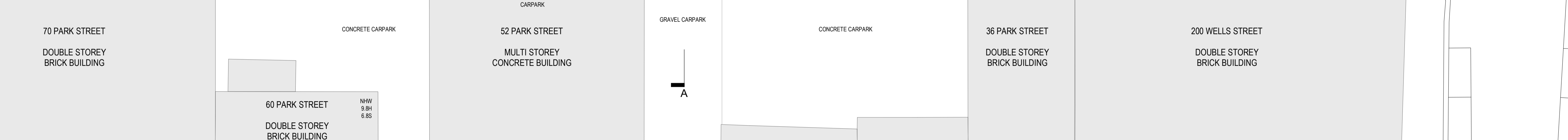
City of Port Phillip
 Advertised Plan
 Planning Application No. PDPL/00890/2022
 No. of Pages: 4 of 19



APARTMENT TYPE LEGEND

[Light Blue Box]	STUDIO
[Light Blue Box]	1 BED
[Light Blue Box]	2 BED
[Light Blue Box]	3 BED

NOTE: REFER TO LANDSCAPE ARCHITECT DRAWINGS FOR LANDSCAPE DESIGN AND DETAILS



TOWN PLANNING

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BW
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Abbreviations

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C	COMMUNICATIONS RISER	K	KITCHEN RISER
CH	CHIMNEY BIN	MBB	MAIN SWITCH BOARD
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CPE	CARPARK EXHAUST	PS	PRIVACY SCREEN
DB	DISTRIBUTION BOARD	R	RECYCLING WASTE
E	ELECTRICAL WASTE	REF	REFRIGERANT RISER
ELEC	ELECTRICAL METER CUPBOARD	RL	RELATIVE LEVEL
EOT	END OF TRIP	SP	SPRINKLER CONTROL VALVE
F	FIRE PUMP FLUE	SPR	SPRINKLER
FR	FIRE CONTROL ROOM	ST	STORE
FR	FIRE HOSE REEL	O	ORGANIC WASTE
FR	FIRE RISER	T	TERRACE

Project / **Bank Street**

Drawing / **Level 1**

Project No / **221117** Date / **05/08/22**

Author / **BW** Scale: @ A1 / **1 : 200**

Drawing No. / **TP01.03 A**

15-37 Bank Street, South Melbourne

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GENERAL ESD NOTES (REFER TO SMP FOR FURTHER INFORMATION):

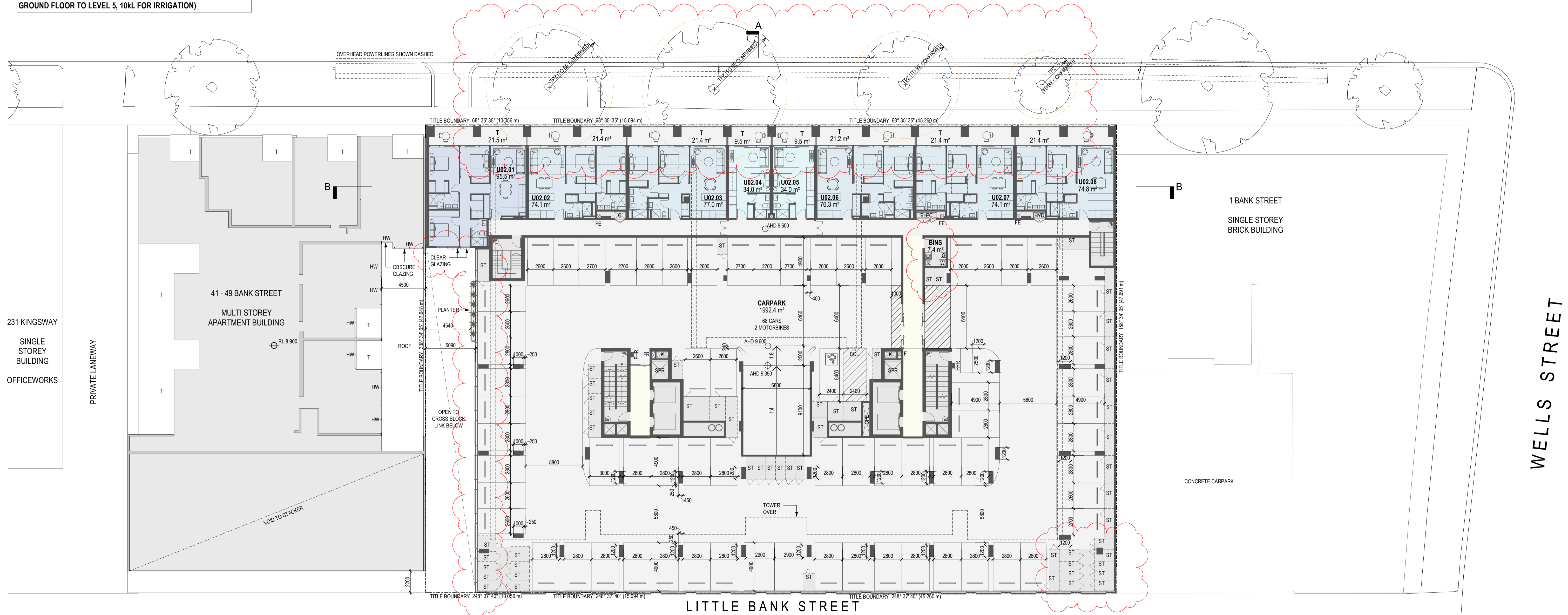
- 7 STAR AVERAGE APARTMENT RATING
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City of Port Phillip
Advertised Plan
Planning Application No. PDPL/00890/2022
No. of Pages: 5 of 19

38 BANK STREET
MULTI STOREY
CONCRETE BUILDING

28 BANK STREET
MULTI STOREY
CONCRETE BUILDING

BANK STREET



231 KINGSWAY
SINGLE STOREY
BUILDING
OFFICEWORKS

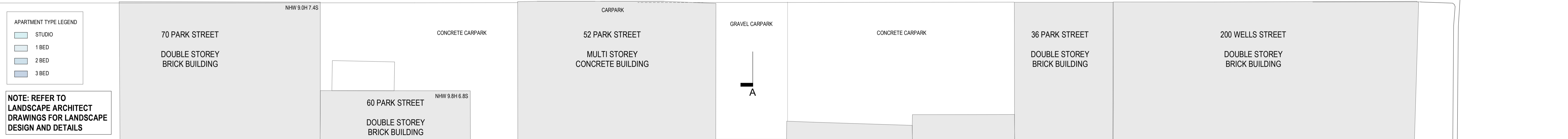
PRIVATE LANEWAY

41 - 49 BANK STREET
MULTI STOREY
APARTMENT BUILDING

1 BANK STREET
SINGLE STOREY
BRICK BUILDING

WELLS STREET

LITTLE BANK STREET



APARTMENT TYPE LEGEND

STUDIO
1 BED
2 BED
3 BED

NOTE: REFER TO LANDSCAPE ARCHITECT DRAWINGS FOR LANDSCAPE DESIGN AND DETAILS

TOWN PLANNING

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CL	CLEANERS STORE	NGL	NATURAL GROUND LEVEL
CPE	CARPARK EXHAUST	PS	PRIVACY SCREEN
DB	DISTRIBUTION BOARD	R	RECYCLING WASTE
E	ELECTRICAL WASTE	REF	REFRIGERANT RISER
ELEC	ELECTRICAL METER CUPBOARD	RL	RELATIVE LEVEL
EOT	END OF TRIP	SP	SEWER PIT
F	FIRE PUMP/FLUE	SPR	SPRINKLER CONTROL VALVE
FR	FIRE CONTROL ROOM	ST	STORE
FHR	FIRE HOSE REEL	O	ORGANIC WASTE
FR	FIRE RISER	T	TERRACE

Project / Bank Street

Drawing / Level 2

Project No. / 221117 Date / 05/08/22

Author / BW

Scale: @ A1 / 1 : 200

Drawing No. / TP01.04 A

15-37 Bank Street, South Melbourne

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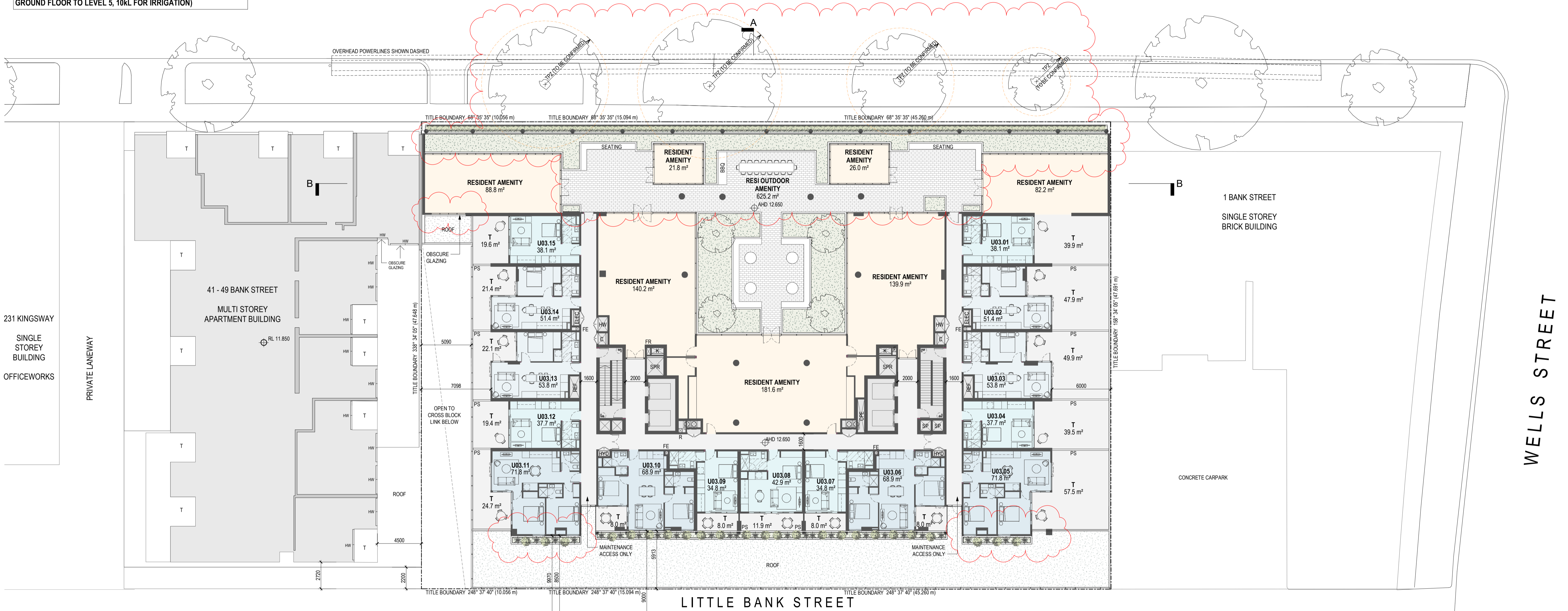
City of Port Phillip
Advertised Plan
Planning Application No. PDPL/00890/2022
No. of Pages: 6 of 19

38 BANK STREET
MULTI STOREY
CONCRETE BUILDING

28 BANK STREET
MULTI STOREY
CONCRETE BUILDING

BANK STREET

OVERHEAD POWERLINES SHOWN DASHED



231 KINGSWAY
SINGLE STOREY BUILDING
OFFICEWORKS

41 - 49 BANK STREET
MULTI STOREY
APARTMENT BUILDING

1 BANK STREET
SINGLE STOREY
BRICK BUILDING

WELLS STREET

LITTLE BANK STREET

- APARTMENT TYPE LEGEND**
- STUDIO
 - 1 BED
 - 2 BED
 - 3 BED

NOTE: REFER TO LANDSCAPE ARCHITECT DRAWINGS FOR LANDSCAPE DESIGN AND DETAILS

70 PARK STREET
DOUBLE STOREY
BRICK BUILDING

60 PARK STREET
DOUBLE STOREY
BRICK BUILDING

52 PARK STREET
MULTI STOREY
CONCRETE BUILDING

36 PARK STREET
DOUBLE STOREY
BRICK BUILDING

200 WELLS STREET
DOUBLE STOREY
BRICK BUILDING

TOWN PLANNING

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C	COMMUNICATIONS RISER	K	KITCHEN RISER
CB	CHARITY BIN	MBB	MAIN SWITCH BOARD
CL	CLEANERS STORE	NGL	NATURAL GROUND LEVEL
CPE	CARPARK EXHAUST	PS	PRIVACY SCREEN
DB	DISTRIBUTION BOARD	R	RECYCLING WASTE
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ELEC	ELECTRICAL METER CUPBOARD	RL	RELATIVE LEVEL
EOT	END OF TRIP	SR	SPRINKLER CONTROL VALVE
F	FIRE PUMP/FLUE	SPR	SEWER PIT
FR	FIRE CONTROL ROOM	ST	STORE
FR	FIRE HOSE REEL	O	ORGANIC WASTE
FR	FIRE RISER	T	TERRACE

Project / **Bank Street**

Drawing / **Level 3**

Project No / **221117** Date / **05/08/22**

Author / **BW**

Scale: @ A1 / **1 : 200**

Drawing No. / **TP01.05 A**

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City of Port Phillip
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No. of Pages: 7 of 19

28 BANK STREET
MULTI STOREY
CONCRETE BUILDING

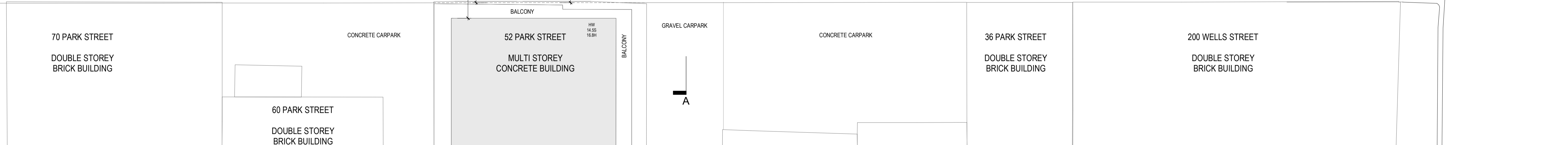
BANK STREET



APARTMENT TYPE LEGEND

- STUDIO
- 1 BED
- 2 BED
- 3 BED

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TOWN PLANNING

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EOT	END OF TRIP	SP	SPRINKLER CONTROL VALVE
F	FIRE PUMP/FUE	SPSPR	SPRINKLER CONTROL VALVE
FOR	FIRE CONTROL ROOM	ST	STORE
FHR	FIRE HOSE REEL	O	ORGANIC WASTE
FR	FIRE RISER	T	TERRACE

Project / Bank Street

Drawing / Level 4

Project No / 221117 Date / 05/08/22

Author / BW

Scale: @ A1 / 1 : 200

Drawing No. / TP01.06 A

15-37 Bank Street, South Melbourne

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City of Port Phillip
Advertised Plan
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No. of Pages: 8 of 19

28 BANK STREET
MULTI STOREY
CONCRETE BUILDING

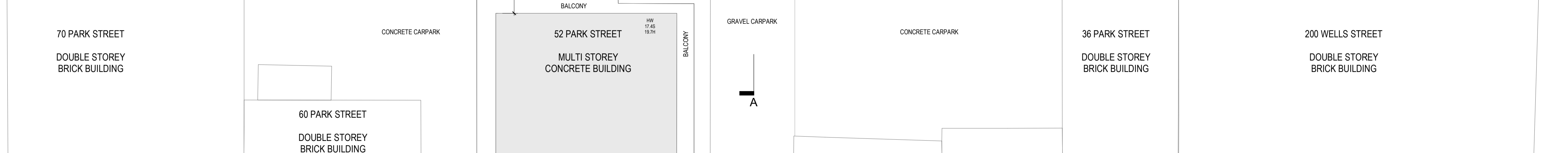
BANK STREET



APARTMENT TYPE LEGEND

- STUDIO
- 1 BED
- 2 BED
- 3 BED

NOTE: REFER TO LANDSCAPE ARCHITECT DRAWINGS FOR LANDSCAPE DESIGN AND DETAILS



TOWN PLANNING

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F	FIRE PUMP/FLE	SPSPR	SPRINKLER
FOR	FIRE CONTROL ROOM	ST	STORE
FHR	FIRE HOSE REEL	O	ORGANIC WASTE
FR	FIRE RISER	T	TERRACE

Project / **Bank Street**

Drawing / **Level 5**

Project No / **221117** Date / **05/08/22**

Author / **BW**

Scale: @ A1 / **1 : 200**

Drawing No. / **TP01.07 A**

15-37 Bank Street, South Melbourne

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- GENERAL ESD NOTES (REFER TO SMP FOR FURTHER INFORMATION):**
- 7 STAR AVERAGE APARTMENT RATING
 - 3 STARS HEATING AND 3.5 STARS COOLING SYSTEM
 - CENTRALISED AIR SOURCED HEAT PUMP HOT WATER SYSTEM
 - LIGHTING 20% MORE ENERGY EFFICIENT THAN BCA 2019 WITH CONTROLLED USAGE
 - ENERGY EFFICIENT APPLIANCES AS PER EQUIPMENT ENERGY EFFICIENCY (E3) PROGRAM
 - ALL DWELLINGS TO HAVE INDIVIDUAL METERS
 - COMMON AREAS TO BE SUBMETERED
 - WATER EFFICIENT GARDEN IRRIGATED BY RAINWATER
 - 99.5kW PV SYSTEM
 - LOCATION, SIZE AND REUSE OF RWT (40kL FOR TOILET FLUSHING GROUND FLOOR TO LEVEL 5, 10kL FOR IRRIGATION)

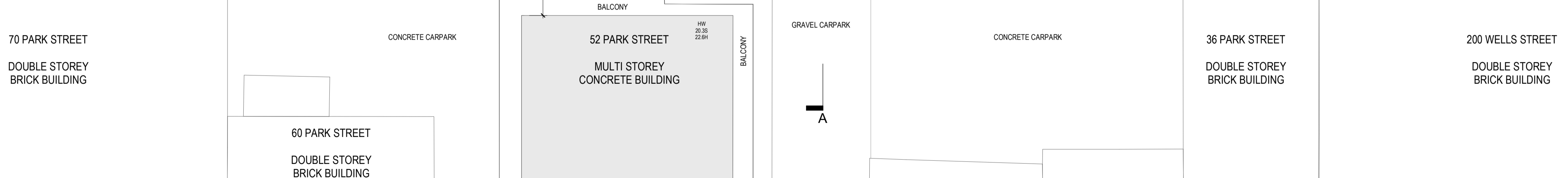
**City of Port Phillip
Advertised Plan
Planning Application No. PDPL/00890/2022
No. of Pages: 9 of 19**

28 BANK STREET
MULTI STOREY
CONCRETE BUILDING

BANK STREET



- APARTMENT TYPE LEGEND**
- STUDIO
 - 1 BED
 - 2 BED
 - 3 BED
- NOTE: REFER TO LANDSCAPE ARCHITECT DRAWINGS FOR LANDSCAPE DESIGN AND DETAILS**



TOWN PLANNING

Revisions / - 16.12.2022 Town Planning Issue
A 29.03.2023 Town Planning - RFI

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Abbreviations

AHD	AUSTRALIAN HEIGHT DATUM	G	GLASS WASTE
BOL	BOLLARD	HW	HOT WATER
BOH	BACK OF HOUSE	HYD	HYDRUALICS RISER
C	COMMUNICATIONS RISER	K	KITCHEN RISER
CB	CHIMNEY BR	MBB	MAIN SWITCH BOARD
CL	CLEANERS STORE	NGL	NATURAL GROUND LEVEL
CPE	CARPARK EXHAUST	PS	PRIVATE SCREEN
DB	DISTRIBUTION BOARD	R	RECYCLING WASTE
E	ELECTRICAL WASTE	REF	REFRIGERANT RISER
ELEC	ELECTRICAL METER CUPBOARD	RL	RELATIVE LEVEL
EOT	END OF TRIP	SP	SPRINKLER CONTROL VALVE
F	FIRE PUMP/FLUE	SPSPR	SPRINKLER CONTROL VALVE
FR	FIRE CONTROL ROOM	ST	STORE
FR	FIRE HOSE REEL	SW	SEWER PIT
FR	FIRE RISER	O	ORGANIC WASTE
		T	TERRACE

Project / **Bank Street**

Drawing / **Level 6 - 8**

Project No / **221117** Date / **29/08/22**

Author / **BW** Scale: @ A1 / **1 : 200**

Drawing No. / **TP01.08 A**

15-37 Bank Street, South Melbourne

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Brisbane, Melbourne, Sydney
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- ALL DWELLINGS TO HAVE INDIVIDUAL METERS
- COMMON AREAS TO BE SUBMETERED
- WATER EFFICIENT GARDEN IRRIGATED BY RAINWATER
- 99.5kW PV SYSTEM
- LOCATION, SIZE AND REUSE OF RWT (40KL FOR TOILET FLUSHING GROUND FLOOR TO LEVEL 5, 10KL FOR IRRIGATION)

**City of Port Phillip
Advertised Plan
Planning Application No. PDPL/00890/2022
No. of Pages: 10 of 19**

28 BANK STREET
MULTI STOREY
CONCRETE BUILDING

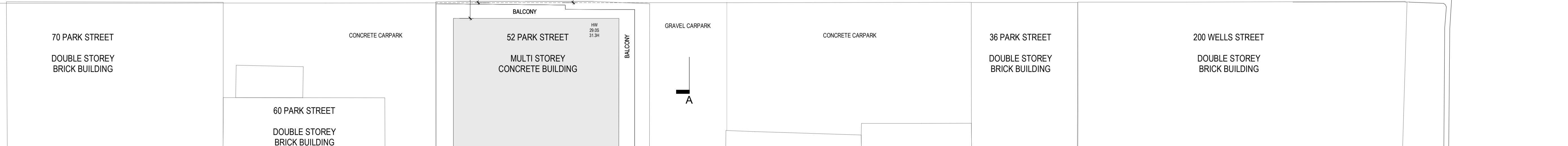
BANK STREET



APARTMENT TYPE LEGEND

- STUDIO
- 1 BED
- 2 BED
- 3 BED

NOTE: REFER TO LANDSCAPE ARCHITECT DRAWINGS FOR LANDSCAPE DESIGN AND DETAILS



TOWN PLANNING

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Abbreviations

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C	COMMUNICATIONS RISER	K	KITCHEN RISER
CH	CHIMNEY BN	MBB	MAIN SWITCH BOARD
CL	CLEANERS STORE	NGL	NATURAL GROUND LEVEL
CPE	CARPARK EXHAUST	PS	PRIVACY SCREEN
DB	DISTRIBUTION BOARD	R	RECYCLING WASTE
E	ELECTRICAL WASTE	REF	REFRIGERANT RISER
ELEC	ELECTRICAL METER CUPBOARD	RL	RELATIVE LEVEL
EOT	END OF TRIP	SP	SPRINKLER CONTROL VALVE
F	FIRE PUMP/PILE	SP/SPR	SPRINKLER CONTROL VALVE
FOR	FIRE CONTROL ROOM	ST	STORE
FHR	FIRE HOSE REEL	O	ORGANIC WASTE
FR	FIRE RISER	T	TERRACE

Project / **Bank Street**

Drawing / **Level 9 - 18**

Project No / **221117** Date / **05/08/22**

Author / **BW** Scale: @ A1 / **1 : 200**

Drawing No. / **TP01.12 A**

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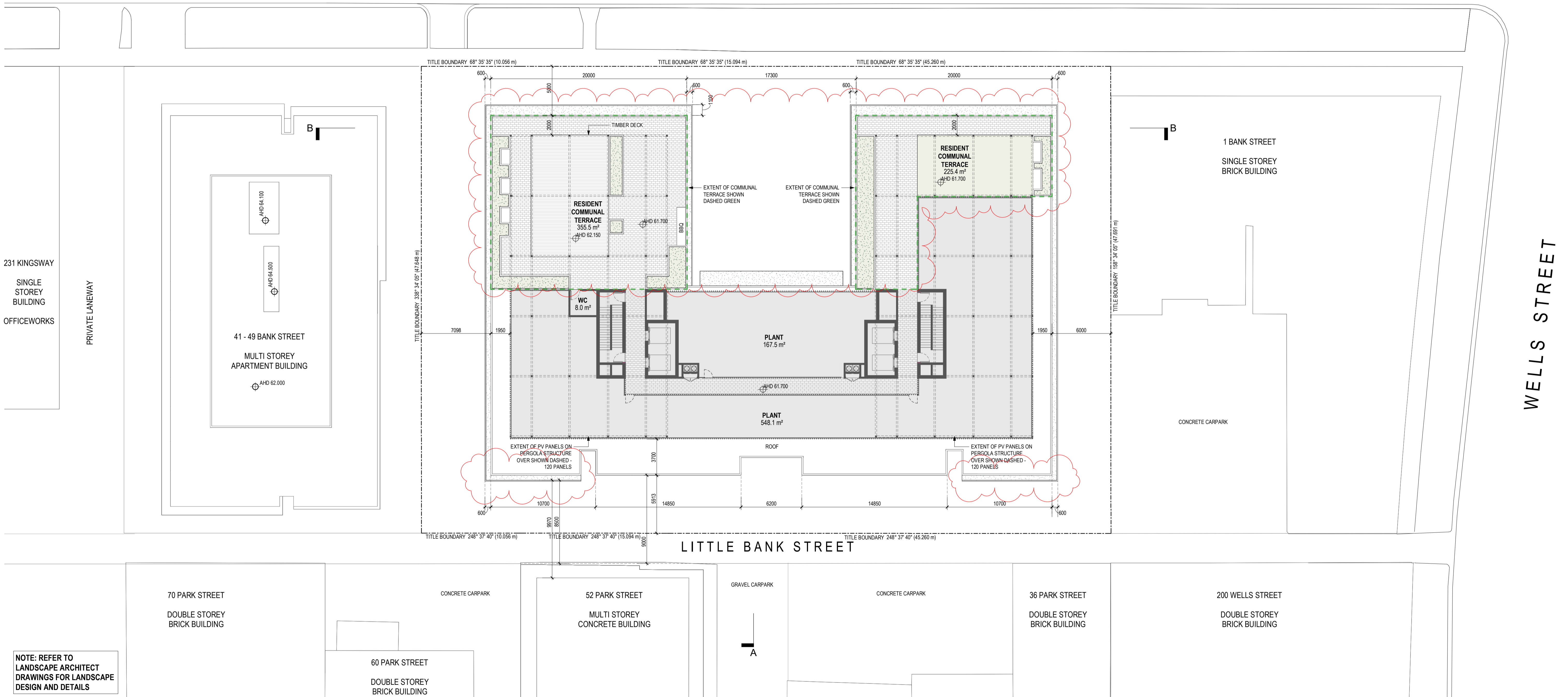
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28 BANK STREET
MULTI STOREY
CONCRETE BUILDING

BANK STREET



NOTE: REFER TO LANDSCAPE ARCHITECT DRAWINGS FOR LANDSCAPE DESIGN AND DETAILS

TOWN PLANNING

Revisions / - 16.12.2022 Town Planning Issue
A 29.03.2023 Town Planning - RFI

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Abbreviations	
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BOH	BACK OF HOUSE
C	COMMUNICATIONS RISER
CH	CHIMNEY SW
CL	CLEANERS STORE
CPE	CARPARK EXHAUST
DB	DISTRIBUTION BOARD
E	ELECTRICAL WASTE
ELEC	ELECTRICAL METER CUPBOARD
EOT	END OF TRIP
F	FIRE PUMP/PILE
FOR	FIRE CONTROL ROOM
FHR	FIRE HOSE REEL
FR	FIRE RISER
G	GLASS WASTE
HW	HOT WATER
HYD	HYDRANTICS RISER
K	KITCHEN RISER
MBB	MAIN SWITCH BOARD
NGL	NATURAL GROUND LEVEL
PS	PRIVATE SCREEN
R	RECYCLING WASTE
REF	REFRIGERANT RISER
RL	RELATIVE LEVEL
SP	SEWER PIT
ST	STORE
O	ORGANIC WASTE
T	TERRACE

Project / Bank Street

Drawing / Roof Plan

Project No. / 221117 Date / 05/08/22

Author / BW

Scale: @ A1 / 1 : 200

Drawing No. / TP01.21 A

15-37 Bank Street, South Melbourne

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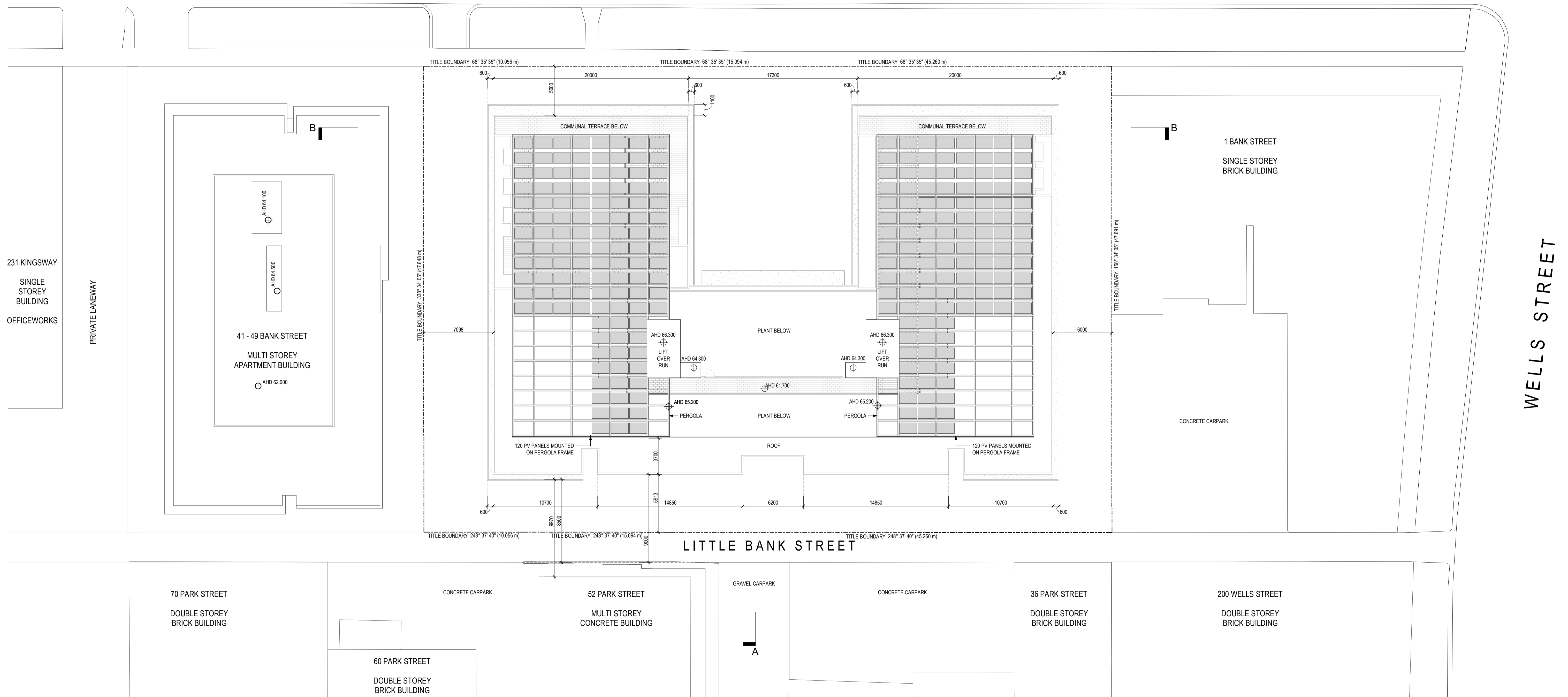
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28 BANK STREET
MULTI STOREY
CONCRETE BUILDING

BANK STREET



TOWN PLANNING

Revisions / 29.03.2023 Town Planning - RFI

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Abbreviations	
AHD	AUSTRALIAN HEIGHT DATUM
BOL	BOLLARD
BOH	BACK OF HOUSE
C	COMMUNICATIONS RISER
CB	CHARITY BIN
CL	CLEANERS STORE
CPE	CARPARK EXHAUST
DB	DISTRIBUTION BOARD
E	ELECTRICAL WASTE
ELEC	ELECTRICAL METER CUPBOARD
EOT	END OF TRIP
F	FIRE PUMP/PILE
FR	FIRE CONTROL ROOM
FR	FIRE HOSE REEL
FR	FIRE RISER
G	GLASS WASTE
HW	HOT WATER
HYD	HYDRANTICS RISER
K	KITCHEN RISER
M	MAIN SWITCH BOARD
NGL	NATURAL GROUND LEVEL
PS	PRIVACY SCREEN
R	RECYCLING WASTE
REF	REFRIGERANT RISER
RL	RELATIVE LEVEL
SP	SPRINKLER CONTROL VALVE
ST	STORE
O	ORGANIC WASTE
T	TERRACE

Project / Bank Street

Drawing / Roof Plan - Solar Array

Project No. / 221117 Date / 03/22/23

Author / Author Scale: @ A1 / 1 : 200

Drawing No. / TP01.22 -

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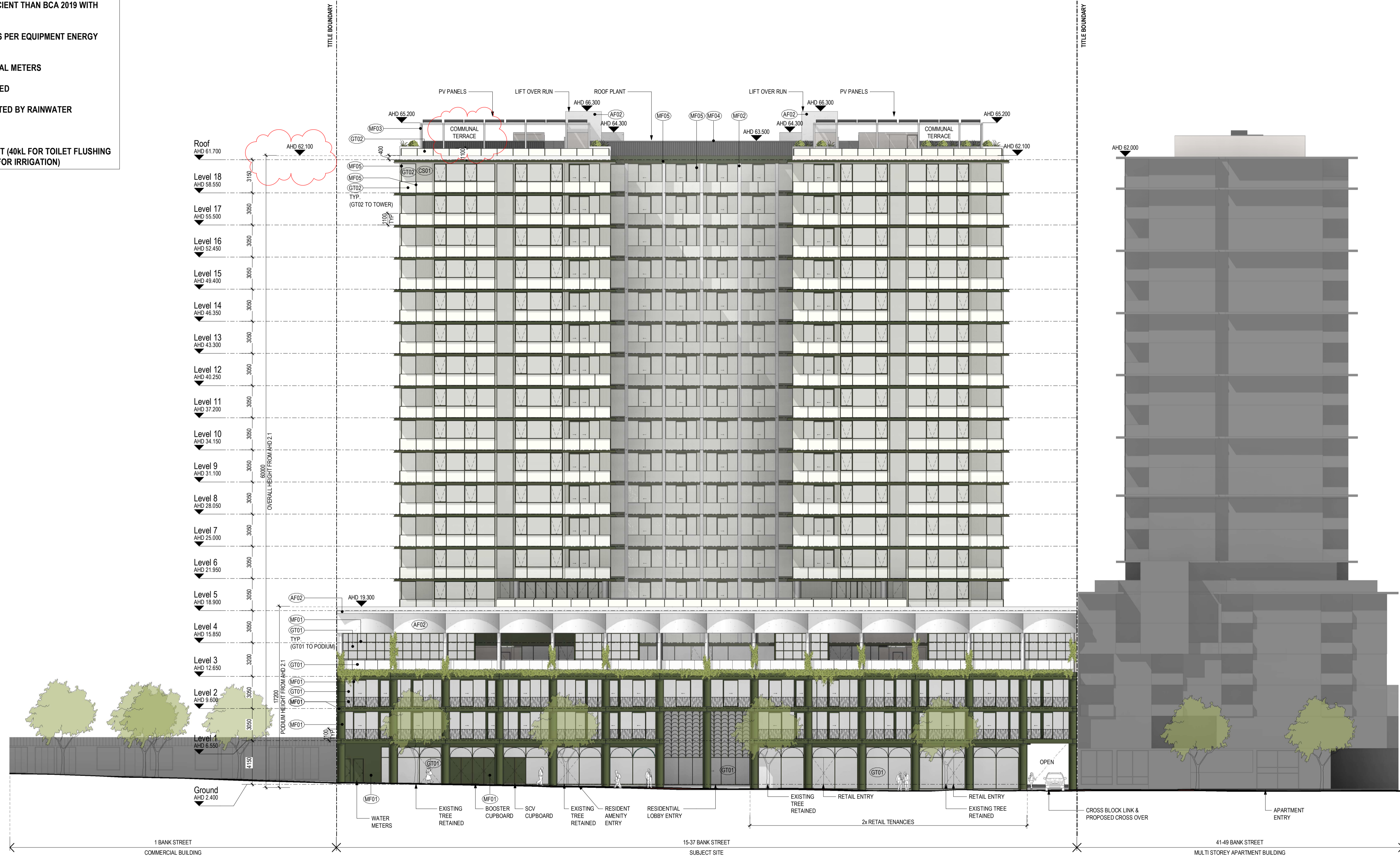
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City of Port Phillip
Advertised Plan
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NOTE: REFER TO LANDSCAPE ARCHITECT DRAWINGS FOR LANDSCAPE DESIGN AND DETAILS

TOWN PLANNING

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Abbreviations	Materials
AHD AUSTRALIAN HEIGHT DATUM	AF01 APPLIED FINISH 01 - GREEN
BOL BOLLARD	AF02 APPLIED FINISH 02 - WHITE
BOH BACK OF HOUSE	CS01 CONCRETE FINISH 01 - OFF WHITE
C COMMUNICATIONS RISER	CS02 CONCRETE FINISH 02 - CLEAR
CM CHIMNEY BR	GT01 GLAZED FINISH 01 - GREEN
CL CLEANERS STORE	GT02 GLAZED FINISH 02 - GREEN
CPE CARPARK EXHAUST	GT03 GLAZED FINISH 03 - FLUTED GREEN
DB DISTRIBUTION BOARD	MF01 METAL FINISH 01 - GREEN
E ELECTRICAL WASTE	MF02 METAL FINISH 02 - WHITE
ELEC ELECTRICAL METER CUPBOARD	MF03 METAL FINISH 03 - GREY
EOT END OF TRIP	MF04 METAL FINISH 04 - DARK GREY
F FIRE PUMP PILE	MF05 METAL FINISH 05 - DARK GREEN
FOR FIRE CONTROL ROOM	
FHR FIRE HOSE REEL	
FR FIRE RISER	
G GLASS WASTE	
HW HOT WATER	
HYD HYDRALICS RISER	
K KITCHEN RISER	
MBB BANK OFFICE BOARD	
NATL NATURAL GROUND LEVEL	
PS PRINTING SCREEN	
R RECYCLING WASTE	
REF REFRIGERANT RISER	
REL RELATIVE LEVEL	
SP SPRINKLER CONTROL VALVE	
ST STORE	
OW ORGANIC WASTE	
T TERRACE	

Project / Bank Street

Drawing / North Elevation

Project No. / 221117 Date / 31/08/22

Author / KD

Scale: @ A1 / 1 : 200

Drawing No. / TP02.01 A

15-37 Bank Street, South Melbourne

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City of Port Phillip
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NOTE: REFER TO LANDSCAPE ARCHITECT DRAWINGS FOR LANDSCAPE DESIGN AND DETAILS

TOWN PLANNING

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Abbreviations	
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DB	DISTRIBUTION BOARD
E	ELECTRICAL WASTE
ELEC	ELECTRICAL METER CUPBOARD
EOT	END OF TRIP
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FOR	FIRE CONTROL ROOM
FHR	FIRE HOSE REEL
FR	FIRE RISER
G	GLASS WASTE
HW	HOT WATER
HYD	HYDRANTICS RISER
K	KITCHEN RISER
MBB	MAIN SWITCHBOARD
NGL	NATURAL GROUND LEVEL
NSL	NATURAL GROUND LEVEL
R	RECYCLING WASTE
REF	REFRIGERANT RISER
REL	RELATIVE LEVEL
SP	SPRINKLER CONTROL VALVE
ST	STORE
ST	STORE
ST	STORE
T	TERRACE

Materials	
AF01	APPLIED FINISH 01 - GREEN
AF02	APPLIED FINISH 02 - WHITE
CS01	CONCRETE FINISH 01 - GREY/WHITE
CF01	CONCRETE FINISH 01 - TEXTURED
GT01	GLAZED FINISH 01 - CLEAR
GT02	GLAZED FINISH 02 - GREEN

GT03	GLAZED FINISH 03 - FLUTED GREEN
MF01	METAL FINISH 01 - GREEN
MF02	METAL FINISH 02 - WHITE
MF03	METAL FINISH 03 - GREY
MF04	METAL FINISH 04 - DARK GREY
MF05	METAL FINISH 05 - DARK GREEN

Project / Bank Street

Drawing / East Elevation

Project No / 221117 Date / 31/08/22

Author / HB

Scale: @ A1 / 1 : 200

Drawing No. / TP02.02 A

15-37 Bank Street, South Melbourne

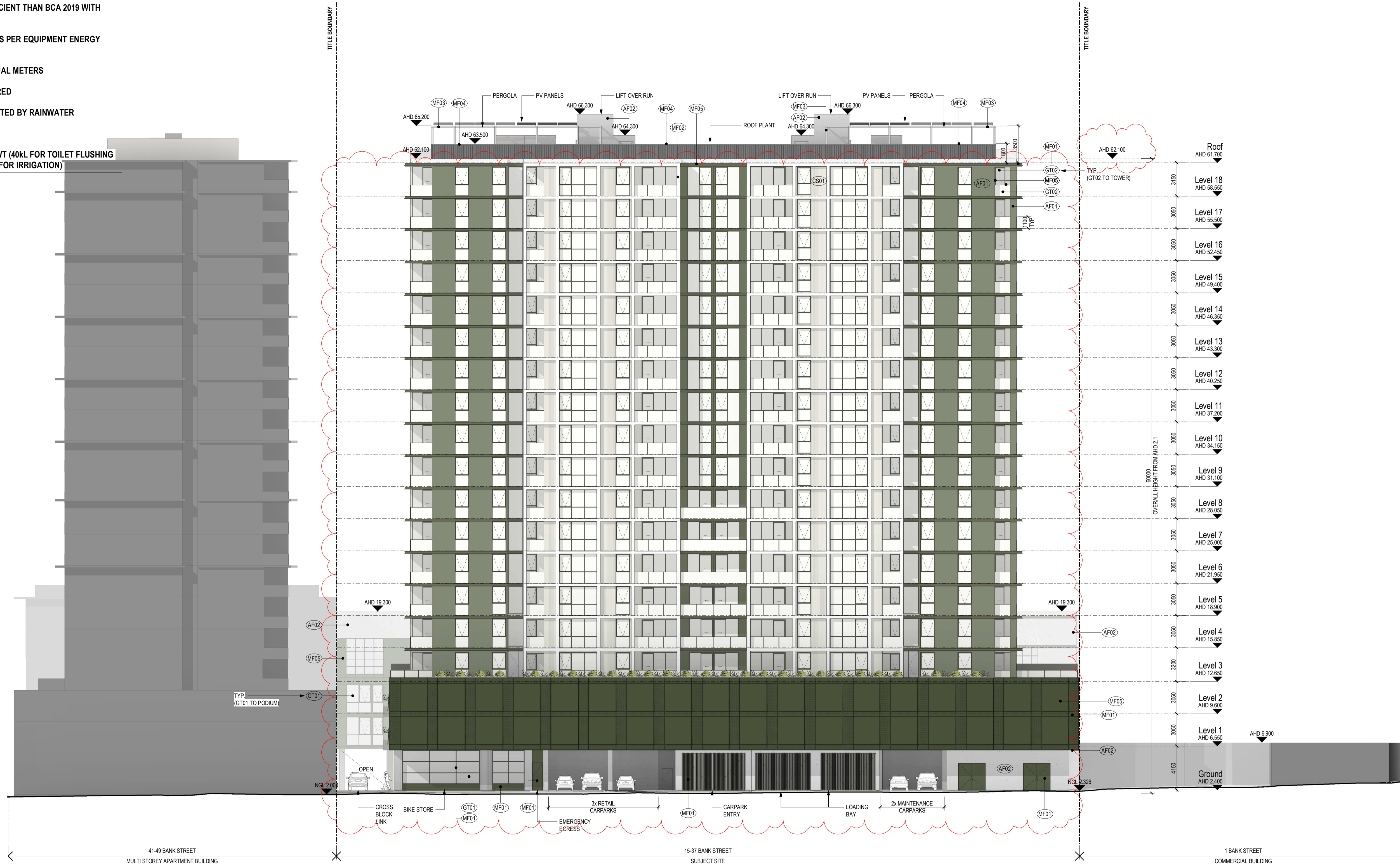
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City of Port Phillip
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TOWN PLANNING

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FOR	FIRE CONTROL ROOM	ST	STORE
FHR	FIRE HOSE REEL	O	ORGANIC WASTE
FR	FIRE RISER	T	TERRACE

Materials

AF01	APPLIED FINISH 01 - GREEN	GT03	GLAZED FINISH 03 - FLUTED GREEN
AF02	APPLIED FINISH 02 - WHITE	MF01	METAL FINISH 01 - GREEN
CS01	CONCRETE SYSTEM 01 - GREY/WHITE	MF02	METAL FINISH 02 - WHITE
CF01	CONCRETE FINISH 01 - TEXTURED	MF03	METAL FINISH 03 - GREY
GT01	GLAZED FINISH 01 - CLEAR	MF04	METAL FINISH 04 - DARK GREY
GT02	GLAZED FINISH 02 - GREEN	MF05	METAL FINISH 05 - DARK GREEN

Project / Bank Street

Drawing / South Elevation

Project No. / 221117 Date / 31/08/22

Author / KD

Scale: @ A1 / 1 : 200

Drawing No. / TP02.03 A

15-37 Bank Street, South Melbourne

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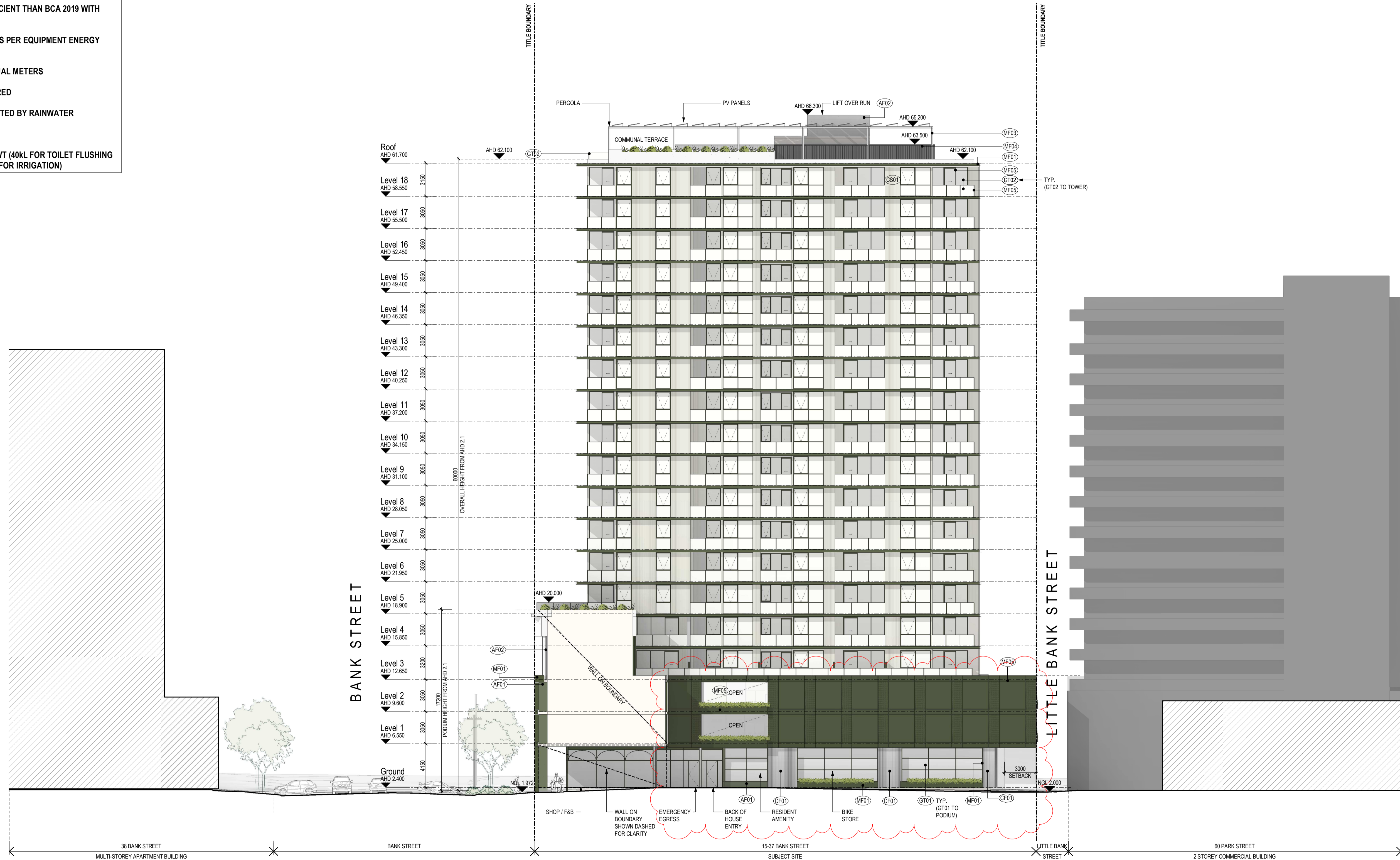
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CPE	CARPARK EXHAUST
DB	DISTRIBUTION BOARD
E	ELECTRICAL WASTE
ELEC	ELECTRICAL METER CUPBOARD
EOT	END OF TRIP
F	FIRE PUMP FLUE
FOR	FIRE CONTROL ROOM
FHR	FIRE HOSE REEL
FR	FIRE RISER
G	GLASS WASTE
HW	HOT WATER
HYD	HYDRANTICS RISER
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R	RECYCLING WASTE
REF	REFRIGERANT RISER
REL	RELATIVE LEVEL
SP	SPRINKLER CONTROL VALVE
ST	STORE
ST	SEWER PIT
O	ORGANIC WASTE
T	TERRACE

Materials	
AF01	APPLIED FINISH 01 - GREEN
AF02	APPLIED FINISH 02 - WHITE
CS01	CONCRETE SYSTEM 01 - GREY/WHITE
CF01	CONCRETE FINISH 01 - TEXTURED
GT01	GLAZED FINISH 01 - CLEAR
GT02	GLAZED FINISH 02 - GREEN
GT03	GLAZED FINISH 03 - FLUTED GREEN
MF01	METAL FINISH 01 - GREEN
MF02	METAL FINISH 02 - WHITE
MF03	METAL FINISH 03 - GREY
MF04	METAL FINISH 04 - DARK GREY
MF05	METAL FINISH 05 - DARK GREEN

Project / Bank Street

Drawing / West Elevation

Project No / 221117 Date / 31/08/22

Author / HB

Scale: @ A1 / 1 : 200

Drawing No. / TP02.04 A

15-37 Bank Street, South Melbourne

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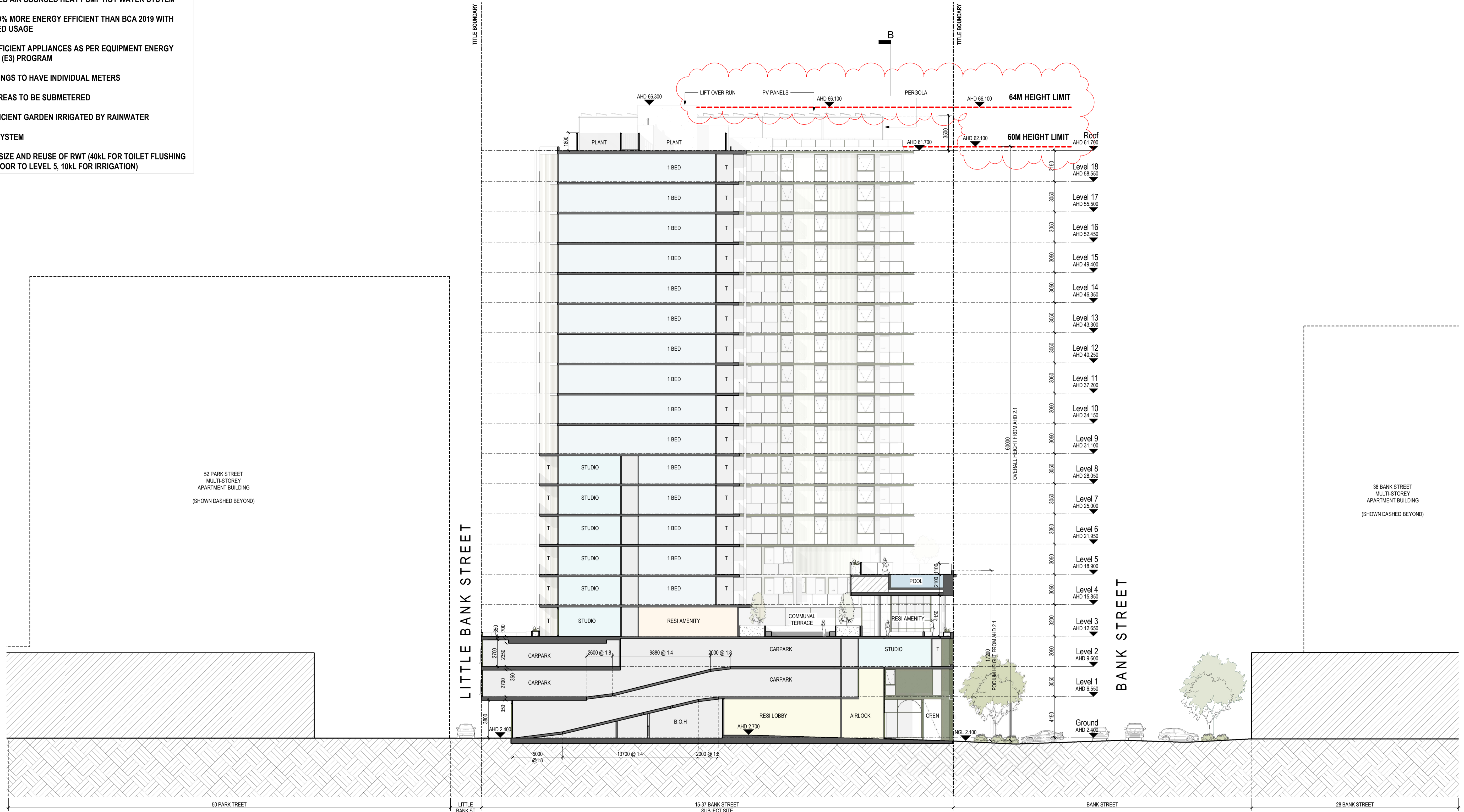
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Brisbane, Melbourne, Sydney
www.rothelowman.com.au

GENERAL ESD NOTES (REFER TO SMP FOR FURTHER INFORMATION):

- 7 STAR AVERAGE APARTMENT RATING
- 3 STARS HEATING AND 3.5 STARS COOLING SYSTEM
- CENTRALISED AIR SOURCED HEAT PUMP HOT WATER SYSTEM
- LIGHTING 20% MORE ENERGY EFFICIENT THAN BCA 2019 WITH CONTROLLED USAGE
- ENERGY EFFICIENT APPLIANCES AS PER EQUIPMENT ENERGY EFFICIENCY (E3) PROGRAM
- ALL DWELLINGS TO HAVE INDIVIDUAL METERS
- COMMON AREAS TO BE SUBMETERED
- WATER EFFICIENT GARDEN IRRIGATED BY RAINWATER
- 99.5kW PV SYSTEM
- LOCATION, SIZE AND REUSE OF RWT (40kL FOR TOILET FLUSHING GROUND FLOOR TO LEVEL 5, 10kL FOR IRRIGATION)

**City of Port Phillip
Advertised Plan
Planning Application No. PDPL/00890/2022
No. of Pages: 17 of 19**



NOTE: REFER TO LANDSCAPE ARCHITECT DRAWINGS FOR LANDSCAPE DESIGN AND DETAILS

TOWN PLANNING

Revisions / - 16.12.2022 Town Planning Issue
A 29.03.2023 Town Planning - RFI

BW
BW

Abbreviations	
AHD	AUSTRALIAN HEIGHT DATUM
BOL	BOLLARD
BOH	BACK OF HOUSE
C	COMMUNICATIONS RISER
CH	CHIMNEY BIN
CL	CLEANERS STORE
CPE	CARPARK EXHAUST
DB	DISTRIBUTION BOARD
E	ELECTRICAL WASTE
ELEC	ELECTRICAL METER CUPBOARD
EOT	END OF TRIP
F	FIRE PUMP FLUE
FOR	FIRE CONTROL ROOM
FHR	FIRE HOSE REEL
FR	FIRE RISER
G	GLASS WASTE
HW	HOT WATER
HYD	HYDRANT RISER
K	KITCHEN RISER
MB	MANK DITCH BOARD
NGL	NATURAL GROUND LEVEL
PS	PRIVATE SCREEN
R	RECYCLING WASTE
REF	REFRIGERANT RISER
REL	RELATIVE LEVEL
SP	SEWER PIT
ST	STORE
OW	ORGANIC WASTE
T	TERRACE

Project / **Bank Street**

Drawing / **Section A**

Project No. / **221117** Date / **05/08/22**

Author / **BW**

Scale: @ A1 / **1 : 200**

Drawing No. / **TP03.01 A**

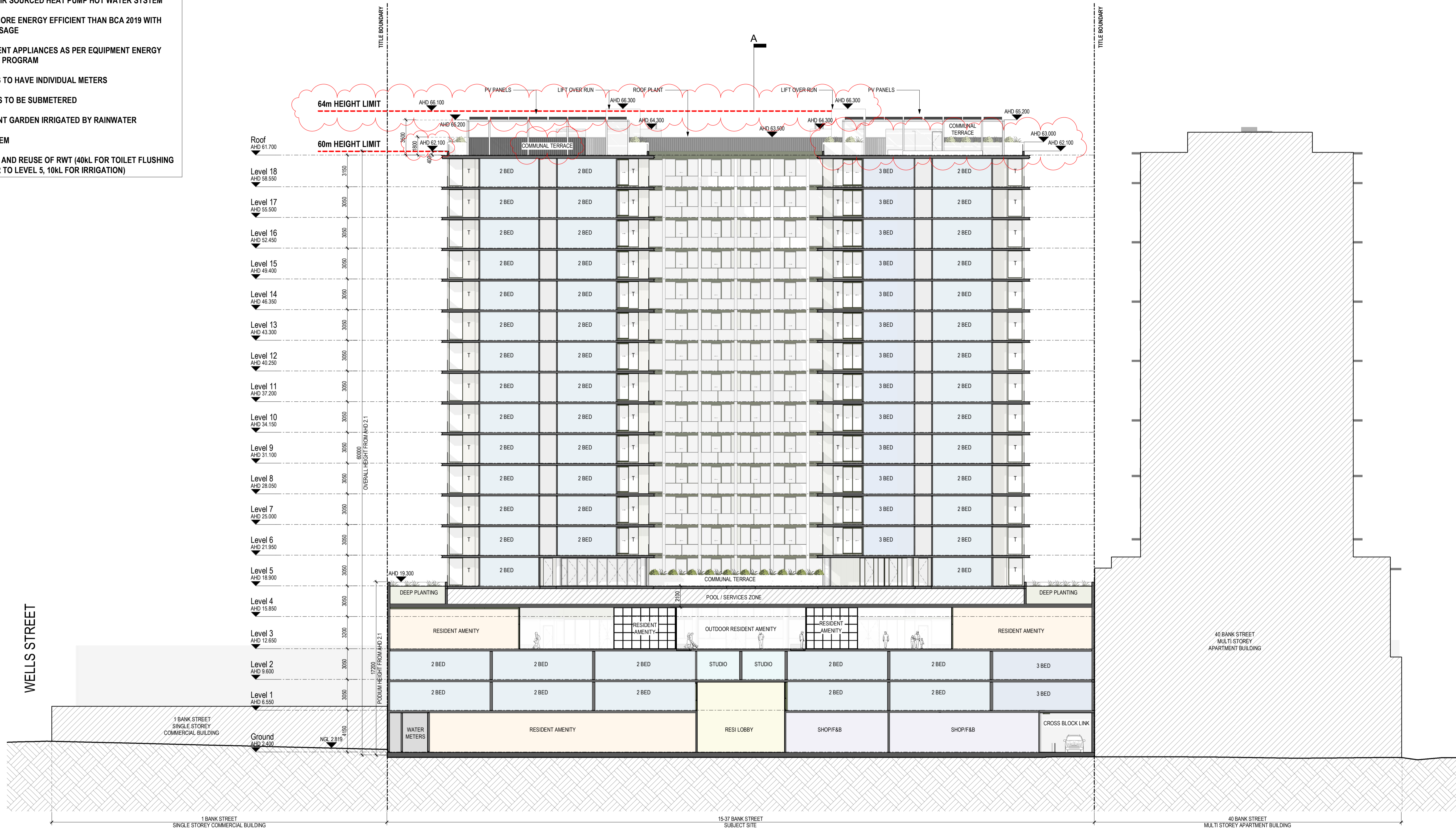
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City of Port Phillip
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NOTE: REFER TO LANDSCAPE ARCHITECT DRAWINGS FOR LANDSCAPE DESIGN AND DETAILS

TOWN PLANNING

Revisions / - 16.12.2022 Town Planning Issue
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Abbreviations

AHD	AUSTRALIAN HEIGHT DATUM	G	GLASS WASTE
BOL	BOLLARD	HW	HOT WATER
BOH	BACK OF HOUSE	HYD	HYDRALICS RISER
C	COMMUNICATIONS RISER	K	KITCHEN RISER
CH	CHARITY BIN	MBB	MAIN BENTON BOARD
CL	CLEANERS STORE	NGL	NATURAL GROUND LEVEL
CPE	CARPARK EXHAUST	PS	PRIVATE SCREEN
DB	DISTRIBUTION BOARD	R	RECYCLING WASTE
E	ELECTRICAL WASTE	REF	REFRIGERANT RISER
ELEC	ELECTRICAL METER CUPBOARD	RL	RELATIVE LEVEL
EOT	END OF TRIP	SP	SPRINKLER CONTROL VALVE
F	FIRE PUMP/PILE	SPR	SPRINKLER
FOR	FIRE CONTROL ROOM	ST	STORE
FHR	FIRE HOSE REEL	T	TERRACE
FR	FIRE RISER		

Project / Bank Street

Drawing / Section B

Project No / 221117 Date / 11/08/22

Author / BW

Scale: @ A1 / 1 : 200

Drawing No. / TP03.02 A

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**City of Port Phillip
Advertised Plan
Planning Application No. PDPL/00890/2022
No. of Pages: 19 of 19**

DEVELOPMENT SUMMARY

LEVEL	GFA (Excluding Terrace)	GFA Parking	NSA Residential	NLA Retail	NSA/NLA Total	Residential Amenities	Circulation & Services	Communal Terrace	Terrace POS	Studio	1 Bed	2 Bed	3 Bed	Totals
Ground	2610.2 m ²	334.2 m ²	0.0 m ²	205.2 m ²	205.2 m ²	267.5 m ²	1803.3 m ²	0.0 m ²	0.0 m ²	0	0	0	0	0
Level 1	2935.8 m ²	2006.1 m ²	471.7 m ²	0.0 m ²	471.7 m ²	0.0 m ²	458.0 m ²	0.0 m ²	128.1 m ²	0	0	5	1	6
Level 2	3022.0 m ²	1992.4 m ²	539.6 m ²	0.0 m ²	539.6 m ²	0.0 m ²	490.0 m ²	0.0 m ²	147.3 m ²	2	0	5	1	8
Level 3	1759.4 m ²	0.0 m ²	756.1 m ²	0.0 m ²	756.1 m ²	680.5 m ²	322.8 m ²	625.2 m ²	385.8 m ²	7	4	4	0	15
Level 4	1417.2 m ²	0.0 m ²	1114.2 m ²	0.0 m ²	1114.2 m ²	0.0 m ²	303.0 m ²	0.0 m ²	219.7 m ²	5	9	6	0	20
Level 5	1547.8 m ²	0.0 m ²	1099.9 m ²	0.0 m ²	1099.9 m ²	99.6 m ²	348.4 m ²	380.6 m ²	175.2 m ²	5	9	6	0	20
Level 6	1608.0 m ²	0.0 m ²	1277.9 m ²	0.0 m ²	1277.9 m ²	0.0 m ²	330.1 m ²	0.0 m ²	200.5 m ²	6	8	7	1	22
Level 7	1608.0 m ²	0.0 m ²	1277.9 m ²	0.0 m ²	1277.9 m ²	0.0 m ²	330.1 m ²	0.0 m ²	200.5 m ²	6	8	7	1	22
Level 8	1608.0 m ²	0.0 m ²	1277.9 m ²	0.0 m ²	1277.9 m ²	0.0 m ²	330.1 m ²	0.0 m ²	200.5 m ²	6	8	7	1	22
Level 9	1608.0 m ²	0.0 m ²	1292.5 m ²	0.0 m ²	1292.5 m ²	0.0 m ²	315.4 m ²	0.0 m ²	189.1 m ²	5	9	7	1	22
Level 10	1608.0 m ²	0.0 m ²	1292.5 m ²	0.0 m ²	1292.5 m ²	0.0 m ²	315.4 m ²	0.0 m ²	189.1 m ²	5	9	7	1	22
Level 11	1608.0 m ²	0.0 m ²	1292.5 m ²	0.0 m ²	1292.5 m ²	0.0 m ²	315.4 m ²	0.0 m ²	189.1 m ²	5	9	7	1	22
Level 12	1608.0 m ²	0.0 m ²	1292.5 m ²	0.0 m ²	1292.5 m ²	0.0 m ²	315.4 m ²	0.0 m ²	189.1 m ²	5	9	7	1	22
Level 13	1608.0 m ²	0.0 m ²	1292.5 m ²	0.0 m ²	1292.5 m ²	0.0 m ²	315.4 m ²	0.0 m ²	189.1 m ²	5	9	7	1	22
Level 14	1608.0 m ²	0.0 m ²	1292.5 m ²	0.0 m ²	1292.5 m ²	0.0 m ²	315.4 m ²	0.0 m ²	189.1 m ²	5	9	7	1	22
Level 15	1608.0 m ²	0.0 m ²	1292.5 m ²	0.0 m ²	1292.5 m ²	0.0 m ²	315.4 m ²	0.0 m ²	189.1 m ²	5	9	7	1	22
Level 16	1608.0 m ²	0.0 m ²	1292.5 m ²	0.0 m ²	1292.5 m ²	0.0 m ²	315.4 m ²	0.0 m ²	189.1 m ²	5	9	7	1	22
Level 17	1608.0 m ²	0.0 m ²	1292.5 m ²	0.0 m ²	1292.5 m ²	0.0 m ²	315.4 m ²	0.0 m ²	189.1 m ²	5	9	7	1	22
Level 18	1608.0 m ²	0.0 m ²	1292.5 m ²	0.0 m ²	1292.5 m ²	0.0 m ²	315.4 m ²	0.0 m ²	189.1 m ²	5	9	7	1	22
Roof	923.3 m ²	0.0 m ²	0.0 m ²	0.0 m ²	0.0 m ²	0.0 m ²	923.3 m ²	580.9 m ²	0.0 m ²	0	0	0	0	0
	35119.1 m ²	4332.6 m ²	20740.5 m ²	205.2 m ²	20945.7 m ²	1047.6 m ²	8793.2 m ²	1586.8 m ²	3549.0 m ²	87	136	117	15	355

APARTMENT MIX				
Studio	1 Bed	2 Bed	3 Bed	Total
24.5%	38.3%	33.0%	4.2%	100%

Adaptable Compliant	Natural Vent Compliant
52.4%	40.0%

(NATURAL VENTILATION PERCENTAGE BASED ON CLAUSE 58.07-4 STANDARD D27)

*For preliminary feasibility purposes. Areas are not to be used for purpose of lease or sale agreements. Layouts may not comply with building regulations or other regulatory requirements. The information contained in this schedule is believed to be correct at the time of printing. Areas are generally measured in accordance with the Property Council of Australia Method of Measurement.

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PARKING

Level	CARPARKS				Motorbike/ Scooter Park
	Residential	Maintenance	Retail	Total	
Ground	0	2	3	5	0
Level 1	68	0	0	68	2
Level 2	68	0	0	68	2
	136	2	3	141	4

BICYCLE PARKING	
Level	TOTAL
Ground	391

Level	Stores
Ground	0
Level 1	44
Level 2	55
	99

RESIDENT - 355
RETAIL STAFF - 1
VISITOR - 36
(including 3 existing to Bank Street)

TOWN PLANNING

Revisions / - 16.12.2022 Town Planning Issue
A 29.03.2023 Town Planning - RFI
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Project / **Bank Street**

Drawing / **Development Summary**

Project No. / **221117** Date / **05/08/22**

Author / **BW**

Scale: @ A1/

Drawing No. / **TP10.01 A**

15-37 Bank Street, South Melbourne

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