

DRAWING LIST:		ISSUE DATE+REVISION	
DRWG NO.	DRWG TITLE	SCALE	
<b>SITE + PROJECT INFORMATION</b>			
0008_PPA-A-00	DRAWING LIST	NTS	
0008_PPA-A-01	NEIGHBOURHOOD + SITE DESCRIPTION	NTS	
0008_PPA-A-02	NEIGHBOURHOOD + SITE ANALYSIS PLAN	1:200@A3	
0008_PPA-A-03	DESIGN RESPONSE	1:200@A3	
<b>EXISTING DRAWINGS + DEMOLITION</b>			
0008_PPA-B-01	EXISTING SITE + ROOF PLAN	1:100@A3	
0008_PPA-B-02	EXISTING GROUND FLOOR PLAN	1:100@A3	
0008_PPA-B-03	EXISTING FRONT (NORTH-WEST) ELEVATION	1:100@A3	
0008_PPA-B-04	EXISTING SIDE (SOUTH-WEST) ELEVATION	1:100@A3	
0008_PPA-B-05	EXISTING REAR (SOUTH-EAST) ELEVATION	1:100@A3	
0008_PPA-B-06	EXISTING SIDE (NORTH-EAST) ELEVATION	1:100@A3	
0008_PPA-B-10	DEMOLITION PLAN - ROOF	1:100@A3	
0008_PPA-B-11	DEMOLITION PLAN - GROUND FLOOR	1:100@A3	
<b>PROPOSED DRAWINGS</b>			
0008_PPA-D-01	PROPOSED SITE + ROOF PLAN	1:100@A3	
0008_PPA-D-02	PROPOSED GROUND FLOOR PLAN	1:100@A3	
0008_PPA-D-03	PROPOSED FIRST FLOOR PLAN	1:100@A3	
0008_PPA-D-04	PROPOSED WSUD LAYOUT PLAN + STORM REPORT	1:100@A3	
0008_PPA-E-01	PROPOSED FRONT (NORTH-WEST) ELEVATION	1:100@A3	
0008_PPA-E-02	PROPOSED SIDE (SOUTH-WEST) ELEVATION	1:100@A3	
0008_PPA-E-03	PROPOSED REAR (SOUTH-EAST) ELEVATION	1:100@A3	
0008_PPA-E-04	PROPOSED SIDE (NORTH-EAST) ELEVATION	1:100@A3	
0008_PPA-F-01	PROPOSED SECTION AA	1:100@A3	
0008_PPA-S-01	SHADOW DIAGRAMS - 22nd SEPTEMBER - 9am + 10am	1:200@A3	
0008_PPA-S-02	SHADOW DIAGRAMS - 22nd SEPTEMBER - 11am + 12pm	1:200@A3	
0008_PPA-S-03	SHADOW DIAGRAMS - 22nd SEPTEMBER - 1pm + 2pm	1:200@A3	
0008_PPA-S-04	SHADOW DIAGRAMS - 22nd SEPTEMBER - 3pm	1:200@A3	
0008_PPA-Z-01	DETAILED FRONT (NORTH-WEST) ELEVATION	1:25@A3	
0008_PPA-Z-02	EXTERNAL FINISHES SCHEDULE	NTS	

**City of Port Phillip**  
**Advertised Plan**  
**Planning Application No. PDPL/00842/2022**  
**No. of Pages: 1 of 27**

DATE	ISSUE	REVISIONS	PROJECT	DRAWING	PROJECT NO.	DRAWN
28.11.22	A	FOR PLANNING PERMIT	126 ALBERT ST, PORT MELBOURNE	DRAWING LIST	0008	GM
23.01.23	B	FOR PLANNING PERMIT + RH	FOR NICHOLE PROVATAS + NIELS HEYVAERT			
			STUDIO ARKIVE		SCALE@A3	CHECKED
			18/01/2023		NTS	GM
			18/01/2023		DWG NO.	ISSUE
			18/01/2023		PPA-A-00	B

STUDIO ARKIVE  
 18/01/2023  
 18/01/2023  
 18/01/2023

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 COMPLY WITH RELEVANT AUTHORITY REGULATIONS  
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**144 + 140 ALBERT STREET.**  
A RESIDENTIAL DWELLING OF HERITAGE CHARACTER WITH A REAR TWO-STORY EXTENSION ADJACENT TO A CONTEMPORARY TWO-STORY DWELLING.



**CORNER OF ALBERT ST + UNION ST.**  
A CONTEMPORARY 2-STORY DEVELOPMENT THAT CONTRIBUTES TO THE DIVERSE CHARACTER OF THE STREETSCAPE.



**49 + 51 ALFRED STREET.**  
A RESIDENTIAL DWELLING OF HERITAGE CHARACTER WITH A REAR TWO-STORY EXTENSION ADJACENT TO A CONTEMPORARY TWO-STORY DWELLING.



**133 + 135 + 137 ALBERT STREET.**  
OPPOSITE THE SUBJECT SITE, A CONTEMPORARY 2-STORY DEVELOPMENT SITS ADJACENT TO A DWELLING OF HERITAGE CHARACTER.



**AERIAL VIEW OF ALBERT STREET AND SURROUNDING NEIGHBOURHOOD.**  
A DIVERSE RESIDENTIAL NETWORK OF STREETS OF BOTH HERITAGE CHARACTER + CONTEMPORARY DEVELOPMENT.



**191 ALBERT STREET**  
A RESIDENTIAL DWELLING OF HERITAGE CHARACTER WITH A REAR FIRST FLOOR ADDITION, A COMMON TYPOLOGY ALONG ALBERT STREET AND THE SURROUNDING NEIGHBOURHOOD.



**8 CLAY STREET.**  
LOCATED AT THE REAR OF THE SUBJECT SITE, AN ECLECTIC BRICK + TILED TWO-STORY DWELLING WHICH CONTRIBUTES TO THE DIVERSE STREETSCAPE + NEIGHBOURHOOD. ITS NORTHEAST PARAPET WALL DEFINES THE REAR BOUNDARY OF THE SUBJECT SITE.



**CORNER OF UNION ST + ALFRED ST.**  
THE 'PORT MELBOURNE URBAN GREEN HOUSE' IS A UNIQUE DWELLING CONSTRUCTED FROM RAIN WATER TANKS AND LOCATED WITHIN CLOSE PROXIMITY TO THE SUBJECT SITE.

DATE	ISSUE	REVISIONS
28.11.22	A	FOR PLANNING PERMIT

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PROJECT  
126 ALBERT ST, PORT MELBOURNE  
FOR NICHOLE PROVATAS + NIELS HEYVAERT

STUDIO ARKIVE  
ARCHITECTS  
1/101 NEW 2204  
210 CLAY STREET  
PORT MELBOURNE VIC 3207  
PH: 08 9492 0000  
WWW.STUDIOARKIVE.COM  
PORT PHILLIP PROJECT ID: MCG000001 NSW ARB #9784 VIC ARB #19267

DRAWING  
NEIGHBOURHOOD + SITE DESCRIPTION

BEFORE THE COMMENCEMENT OF WORK, SURVEY AND VERIFY ALL COORDINATES.  
CHECK ALL DIMENSIONS ON SITE.  
USE REPRODUCED DIMENSIONS CHECKED TO SCALE.  
COMPLY WITH RELEVANT AUTHORITY REGULATIONS.  
COMPLY WITH ALL RELEVANT AUSTRALIAN STANDARDS.  
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PROJECT NO.  
0008

DRAWN  
GM

SCALE @ A3  
N/S

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GM

ISSUE  
A

DWG NO.  
PPA-A-01



SUBJECT SITE - 126 ALBERT STREET



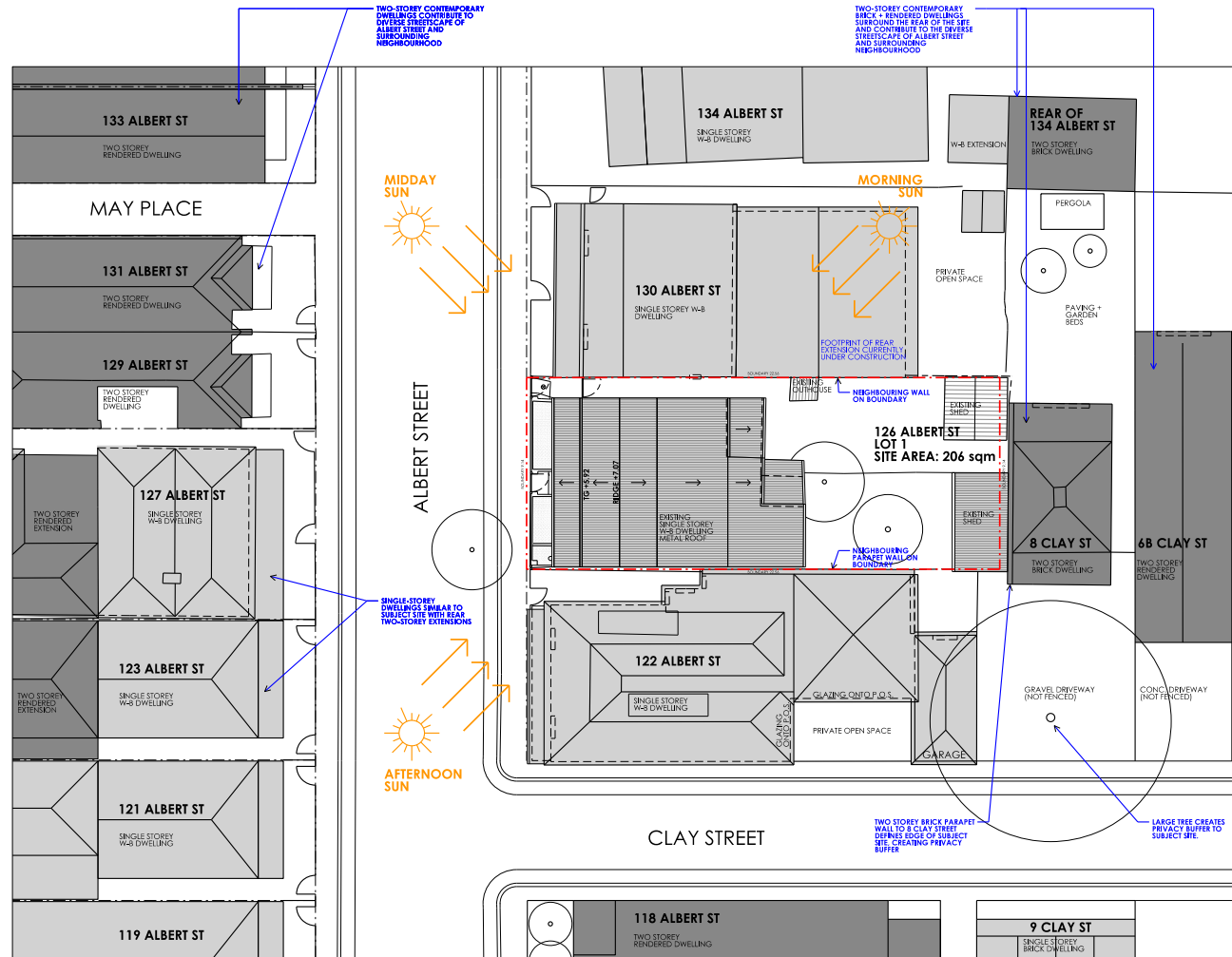
127 + 123 ALBERT STREET  
OPPOSITE THE SUBJECT SITE, OF SIMILAR HERITAGE CHARACTER WITH REAR TWO-STORY EXTENSION.



129 + 131 ALBERT STREET.  
OPPOSITE THE SUBJECT SITE, TWO-STORY CONTEMPORARY RENDERED DWELLINGS WHICH CONTRIBUTE TO THE DIVERSE STREETSCAPE.



8 CLAY STREET.  
8 CLAY STREET, LOCATED AT THE REAR OF THE SUBJECT SITE, AN ECLECTIC BRICK + TILED TWO-STORY DWELLING WHICH CONTRIBUTES TO THE DIVERSE STREETSCAPE + NEIGHBOURHOOD. ITS NORTH-EAST BRICK PARAPET WALL DEFINES THE REAR BOUNDARY OF THE SUBJECT SITE.



01 EXISTING NEIGHBOURHOOD + SITE ANALYSIS PLAN  
SCALE 1:200

DATE	ISSUE	REVISIONS
28.11.22	A	FOR PLANNING PERMIT

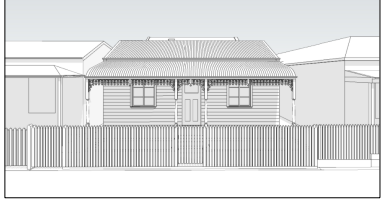
**City of Port Phillip**  
**Advertised Plan**  
**Planning Application No. PDPL/00842/2022**  
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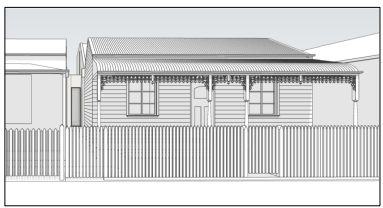
<b>PROJECT</b> 126 ALBERT ST, PORT MELBOURNE FOR NICHOLE PROVATAS + NIELS HEVYAERT	<b>DRAWING</b> NEIGHBOURHOOD + SITE ANALYSIS PLAN
<b>STUDIO ARKIVE</b> Arquitectos NOW 2204 210 COLLEGE STREET PORT PHILLIP VIC 3207 Phone: 03 9493 8888 www.studioarkive.com.au	<b>PROJECT NO.</b> 0008

<p>BEFORE THE COMMENCEMENT OF WORK, SURVEY AND VERIFY ALL DIMENSIONS. CHECK ALL DIMENSIONS ON SITE. USE RELEVANT DIMENSIONS CHECKED NOT SCALE. COMPLY WITH RELEVANT AUTHORITY REGULATIONS. COMPLY WITH ALL RELEVANT LOCAL GOVERNMENT REGULATIONS. COPYRIGHT IN ALL DOCUMENTS AND DRAWINGS PREPARED BY STUDIO ARKIVE.</p>	<p><b>SCALE</b> AS 1:200</p> <p><b>DWG NO.</b> PPA-A-02</p>
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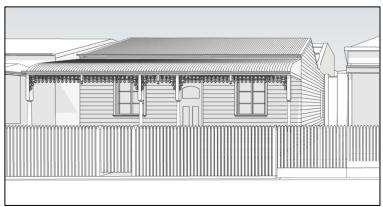
<b>DRAWN</b> GM	<b>CHECKED</b> GM	<b>ISSUE</b> A
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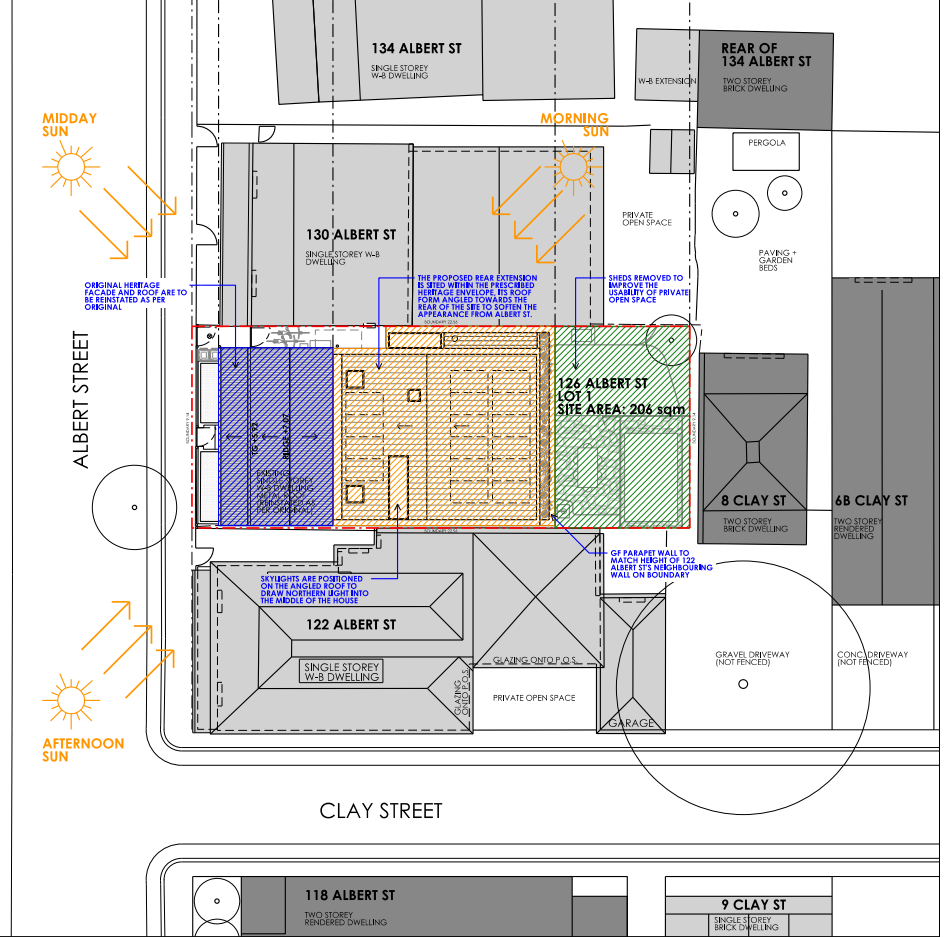
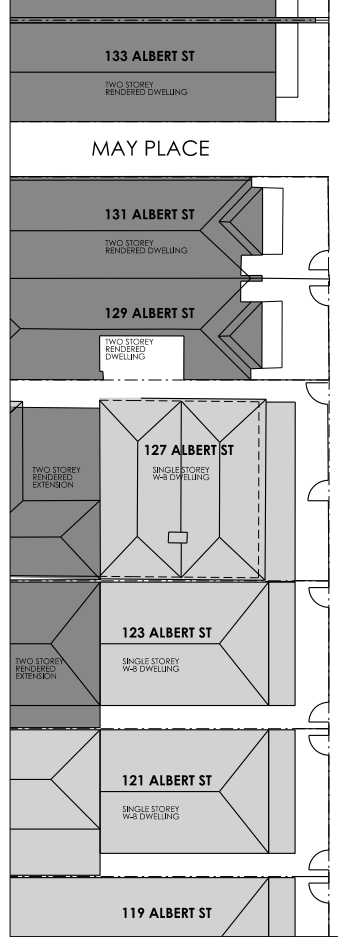
STREET ELEVATION - 126 ALBERT STREET



STREET ELEVATION - 126 + 130 ALBERT STREET



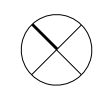
STREET ELEVATION - 126 + 122ALBERT STREET



01 PROPOSED NEIGHBOURHOOD + SITE ANALYSIS PLAN WITH DESIGN RESPONSE SCALE 1:200

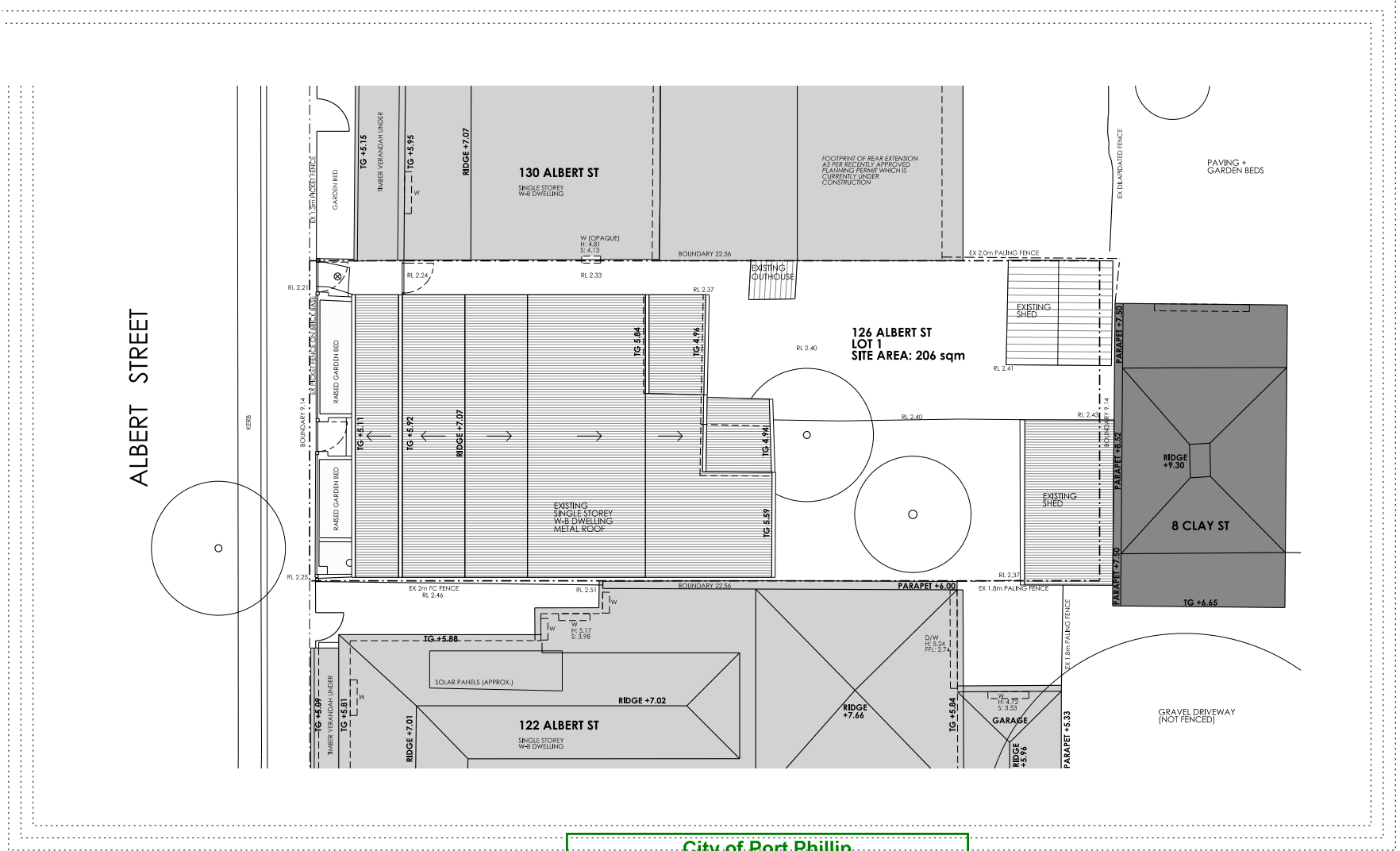
DATE	ISSUE	REVISIONS
28.11.22	A	FOR PLANNING PERMIT

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Planning Application No. PDPL/00842/2022  
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PROJECT	DRAWING
126 ALBERT ST, PORT MELBOURNE FOR NICHOLE PROVATAS + NIELS HEYVAERT	DESIGN RESPONSE
<b>STUDIO ARKIVE</b> www.studioarkive.com.au 131 COLLEGE ST MELBOURNE VIC 3000 PH: 03 9439 0316 E: info@studioarkive.com.au	<p>PRIO TO THE COMMENCEMENT OF WORK, SURVEY AND VERIFY ALL COORDINATES CHECK ALL DIMENSIONS ON SITE. DESIGNER'S RESPONSIBILITY IS NOT SCALE. COMPLY WITH RELEVANT AUTHORITIES REGULATIONS. CONSULT WITH ALL RELEVANT AUTHORITIES AND AGENCIES. COPYRIGHT IN ALL DOCUMENTS AND DRAWINGS PREPARED BY STUDIO ARKIVE.</p>

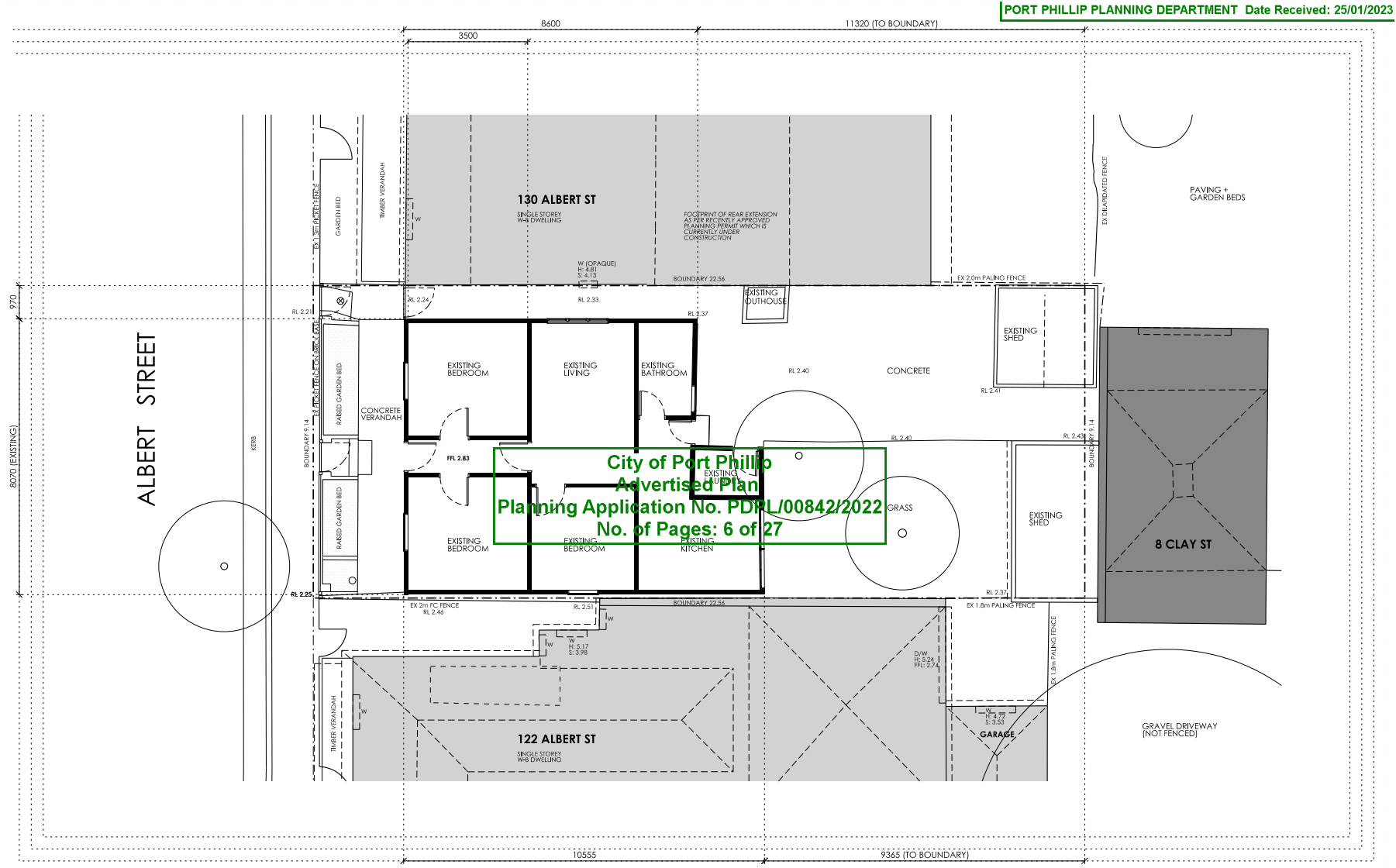
PROJECT NO.	DRAWN
0008	GM
SCALE	CHECKED
AS 1:200	GM
DWG NO.	ISSUE
PPA-A-03	A



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DATE	ISSUE	REVISIONS
28.11.22	A	FOR PLANNING PERMIT

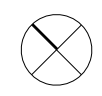
STUDIO ARKIVE 11/111 NEW 2204 201 TOBIN ROAD PORT PHILLIP VIC 3207 PH: 03 9593 0000 WWW.STUDIOARKIVE.COM PORT PHILLIP ARCHITECTS INC (NSW AFB #9784 VIC AFB #1927)	126 ALBERT ST, PORT MELBOURNE FOR NICHOLE PROVATAS + NIELS HUYAERT	DRAWING EXISTING SITE + ROOF PLAN	PROJECT NO. 0008	DRAWN GM
PRIOR TO THE COMMENCEMENT OF WORK, SURVEY AND VERIFY ALL DETAILS. CHECK ALL DIMENSIONS ON SITE. USE RECORDED DIMENSIONS CHECKED TO SCALE. COMPLY WITH RELEVANT AUTHORITY REGULATIONS. COMPLY WITH ALL RELEVANT AUSTRALIAN STANDARDS. COPYRIGHT IN ALL DOCUMENTS AND DRAWINGS PREPARED BY STUDIO ARKIVE.			SCALE AS 1:100	CHECKED GM
			DWG NO. PFA-B-01	ISSUE A



PORT PHILLIP PLANNING DEPARTMENT Date Received: 25/01/2023

City of Port Phillip  
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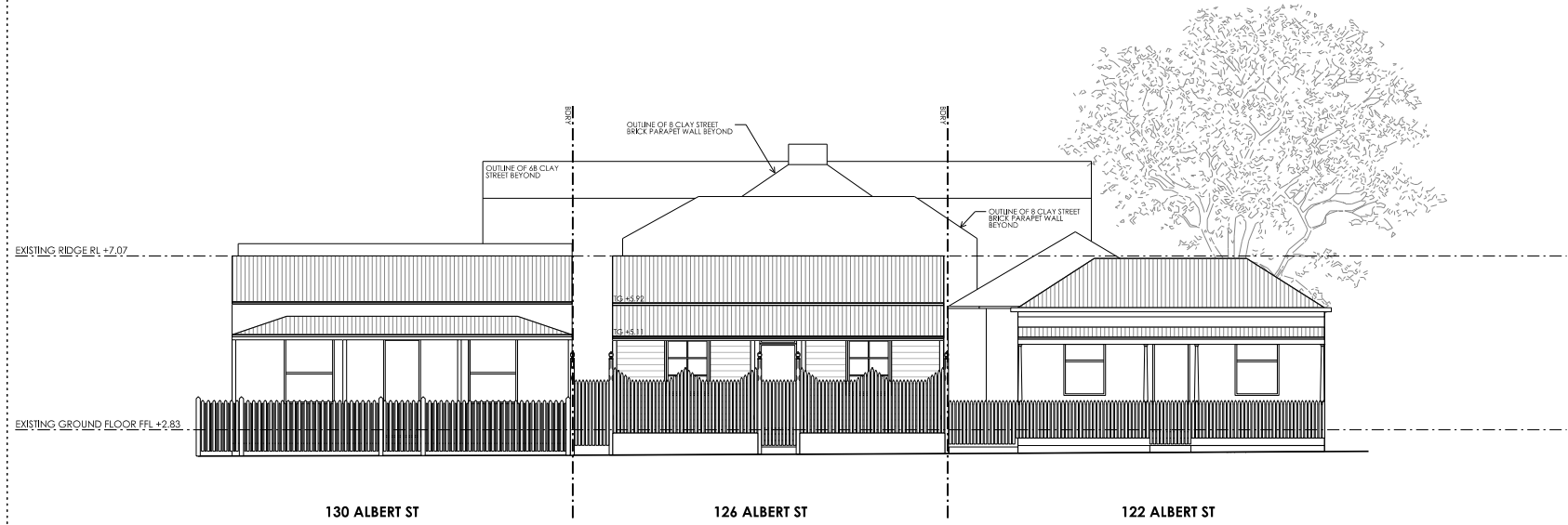
DATE	ISSUE	REVISIONS
28.11.22	A	FOR PLANNING PERMIT



<p>PROJECT 126 ALBERT ST, PORT MELBOURNE FOR NICHOLE PROVATAS + NIELS HEYVAERT</p> <p>STUDIO ARKIVE Melbourne, VIC 3004 031 228 600184 info@studioarkive.com 101 The Boulevard, Suite 101, Port Melbourne VIC 3207</p>	<p>DRAWING EXISTING GROUND FLOOR PLAN</p> <p>PER TO THE COMMITMENT OF WORK, SURVEY AND VERIFY ALL DIMENSIONS. CHECK ALL DIMENSIONS ON SITE. VERIFY REAR OVERHEAD CREOSOTE NOT SCALE. COMPLY WITH RELEVANT AUTHORITY REGULATIONS. COMPLY WITH ALL RELEVANT AUSTRALIAN STANDARDS. COPYRIGHT IN ALL DOCUMENTS AND DRAWINGS PREPARED BY STUDIO ARKIVE.</p>
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PROJECT NO. 0008	DRAWN GM
SCALE AS 1:100	CHECKED GM
DWG NO. PPA-B-02	ISSUE A

**City of Port Phillip  
Advertised Plan  
Planning Application No. PDPL/00842/2022  
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Attachment 2: Plans

DATE	ISSUE	REVISIONS
28.11.22	A	FOR PLANNING PERMIT
23.01.23	B	FOR PLANNING PERMIT - RH

PROJECT  
126 ALBERT ST, PORT MELBOURNE  
FOR NICHOLE PROVATAS + NIELS HEYVAERT

DRAWING  
EXISTING FRONT (NORTH-WEST) ELEVATION

PROJECT NO.  
0008

DRAWN  
GM

STUDIO ARKIVE  
Melbourne NSW 2204  
PH: 08 8555 0316  
WWW.STUDIOARKIVE.COM  
PORT PHILLIP ARCHITECTS & INTERIORS NSW AFB #7764 VIC AFB #1927

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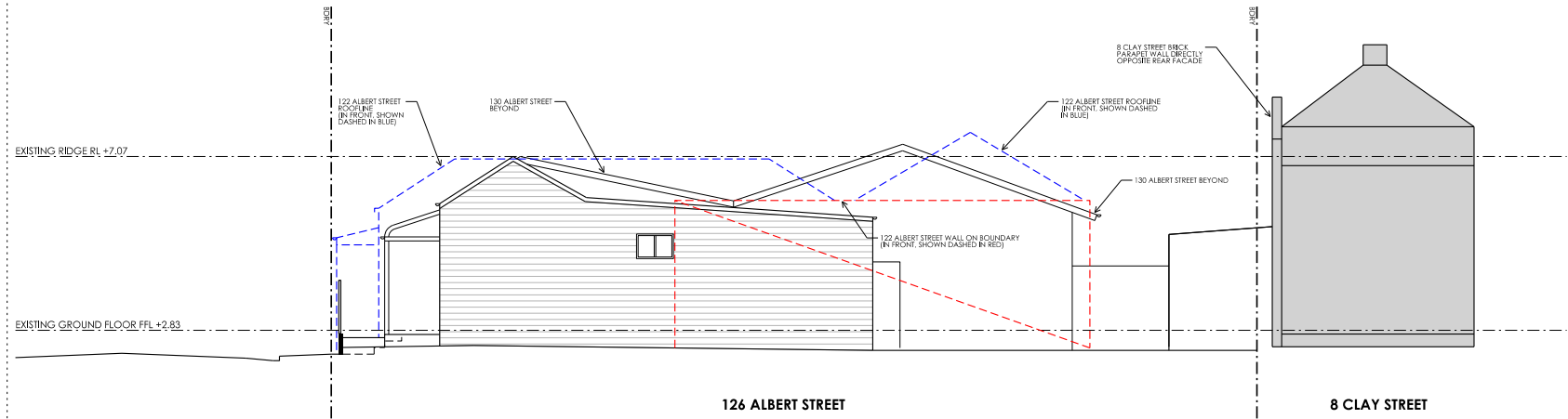
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1 : 100

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GM

DWG NO.  
PPA-B-03

ISSUE  
B

**City of Port Phillip  
Advertised Plan  
Planning Application No. PDPL/00842/2022  
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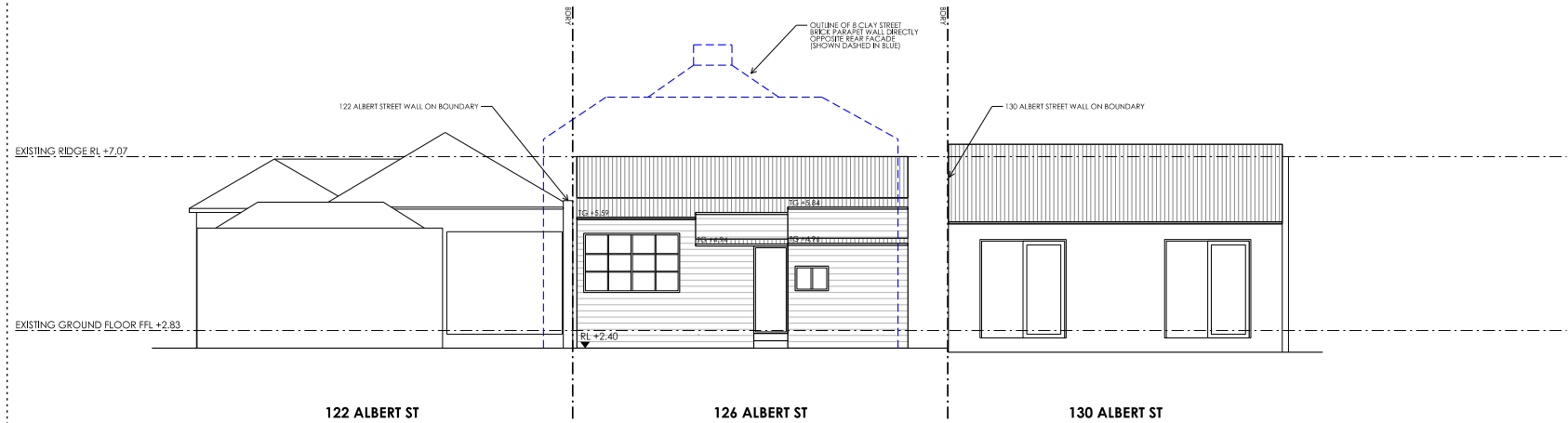


Attachment 2: Plans

<p>DATE    ISSUE    REVISIONS</p> <p>28.11.22    A    FOR PLANNING PERMIT</p> <p>23.01.23    B    FOR PLANNING PERMIT - RH</p>	<p>PROJECT</p> <p>126 ALBERT ST, PORT MELBOURNE FOR NICHOLE PROVATAS + NIELS HEYVAERT</p> <p>STUDIO ARKIVE</p> <p>100/100/100 NSW 2204 011 9238 9500/0184 101 THE ARKIVE GROUP PTY LTD 101 THE ARKIVE GROUP PTY LTD 101 THE ARKIVE GROUP PTY LTD</p>	<p>DRAWING</p> <p>EXISTING SIDE (SOUTH+WEST) ELEVATION</p> <p>REFER TO THE COMMENCEMENT OF WORK SURVEY AND VERIFY ALL DIMENSIONS CHECK ALL DIMENSIONS ON SITE USE REVERSED DIMENSIONS CHECK TO NO SCALE COMPLY WITH RELEVANT AUSTRALIAN REGULATIONS COMPLY WITH ALL RELEVANT AUSTRALIAN STANDARDS COMPLY WITH ALL RELEVANT AUSTRALIAN STANDARDS COPYRIGHT IN ALL DOCUMENTS AND DRAWINGS PREPARED BY STUDIO ARKIVE</p>	<p>PROJECT NO. 0008</p> <p>SCALE @ AS 1 : 100</p> <p>DWG NO. PPA-B-04</p>	<p>DRAWN GM</p> <p>CHECKED GM</p> <p>ISSUE B</p>
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Attachment 2: Plans

DATE	ISSUE	REVISIONS
23.01.23	A	FOR PLANNING PERMIT - R11

PROJECT  
126 ALBERT ST, PORT MELBOURNE  
FOR NICHOLE PROVATAS + NIELS HEYVAERT

STUDIO ARKIVE  
ARCHITECTS  
120/122 NEW 2204  
2ND FLOOR  
201 THE BUNDOCKHURST CTR  
201 THE BUNDOCKHURST CTR  
PORT PHILLIP VIC 3207  
VIC ARB #19167

DRAWING  
EXISTING REAR (SOUTHEAST) ELEVATION

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PROJECT NO.  
0008

SCALE @ AS  
1 : 100

DWG NO.  
PPA-B-05

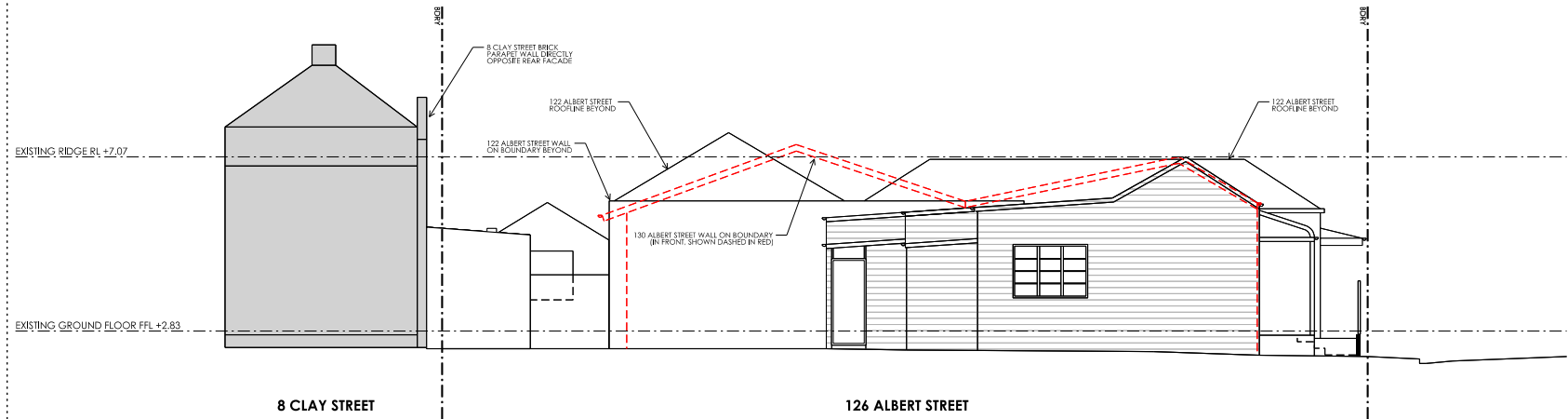
PROJECT NO. 0008  
SCALE @ AS 1 : 100  
DWG NO. PPA-B-05

DRAWN  
GM

CHECKED  
GM

ISSUE  
A

**City of Port Phillip  
Advertised Plan  
Planning Application No. PDPL/00842/2022  
No. of Pages: 10 of 27**



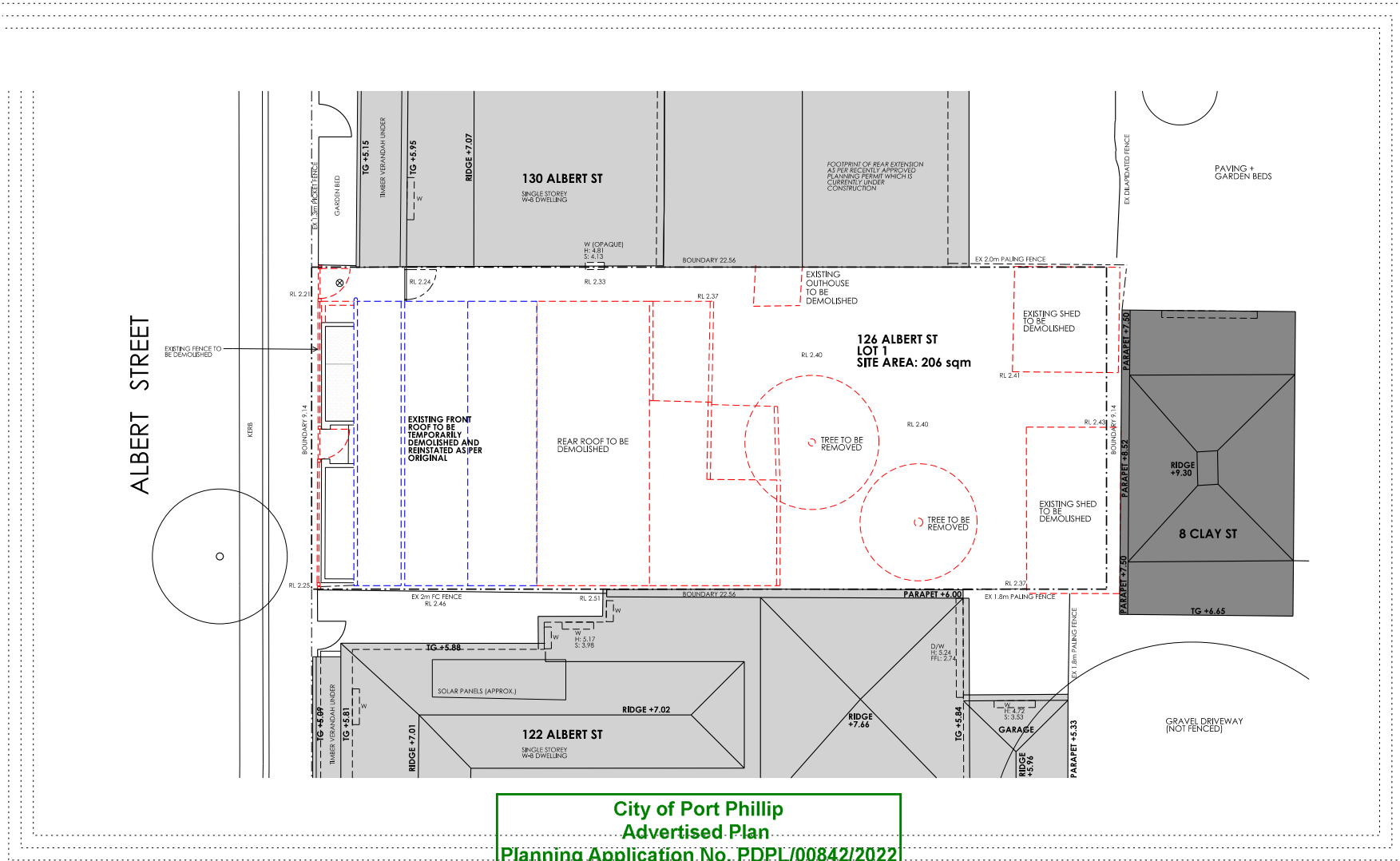
Attachment 2: Plans

DATE	ISSUE	REVISIONS
23.01.23	A	FOR PLANNING PERMIT - R11

PROJECT 126 ALBERT ST, PORT MELBOURNE FOR NICHOLE PROVATAS + NIELS HEYVAERT
STUDIO ARKIVE ARCHITECTS 120/122 NEW 2204 2ND FLOOR 100 THE BUNDOCKHOLE RD PORT PHILLIP VIC 3207 PH: 03 9593 0316 WWW.STUDIOARKIVE.COM

DRAWING EXISTING SIDE (NORTHEAST) ELEVATION
<small>                     PRIOR TO THE COMMENCEMENT OF WORK, SURVEY AND VERIFY ALL DIMENSIONS.                      CHECK ALL DIMENSIONS ON SITE.                      USE RECORDED DIMENSIONS CHECKED TO SCALE.                      COMPLY WITH RELEVANT AUSTRALIAN REGULATIONS.                      COMPLY WITH ALL RELEVANT AUSTRALIAN STANDARDS.                      COPYRIGHT IN ALL DOCUMENTS AND DRAWINGS PREPARED BY STUDIO ARKIVE.                 </small>

PROJECT NO. 0008	DRAWN GM
SCALE AS 1 : 100	CHECKED GM
DWG NO. PPA-B-06	ISSUE A



**City of Port Phillip  
Advertised Plan  
Planning Application No. PDPL/00842/2022  
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DATE	ISSUE	REVISIONS
23.01.23	A	FOR PLANNING PERMIT - R18

- DEMOLITION
- TEMPORARY DEMOLITION - TO BE REINSTATED AS PER ORIGINAL



PROJECT  
126 ALBERT ST, PORT MELBOURNE  
FOR NICHOLE PROVATAS + NIELS HEYVAERT

STUDIO ARKIVE  
ARCHITECTS  
11/111 NEW 2204  
201 COLLEGE ROAD  
PORT PHILLIP VIC 3207  
PH: 03 9594 1000  
WWW.STUDIOARKIVE.COM

DRAWING  
DEMOLITION PLAN - ROOF

REFER TO THE COMMITMENT OF WORK, SURVEY AND VERIFY ALL DETAILS  
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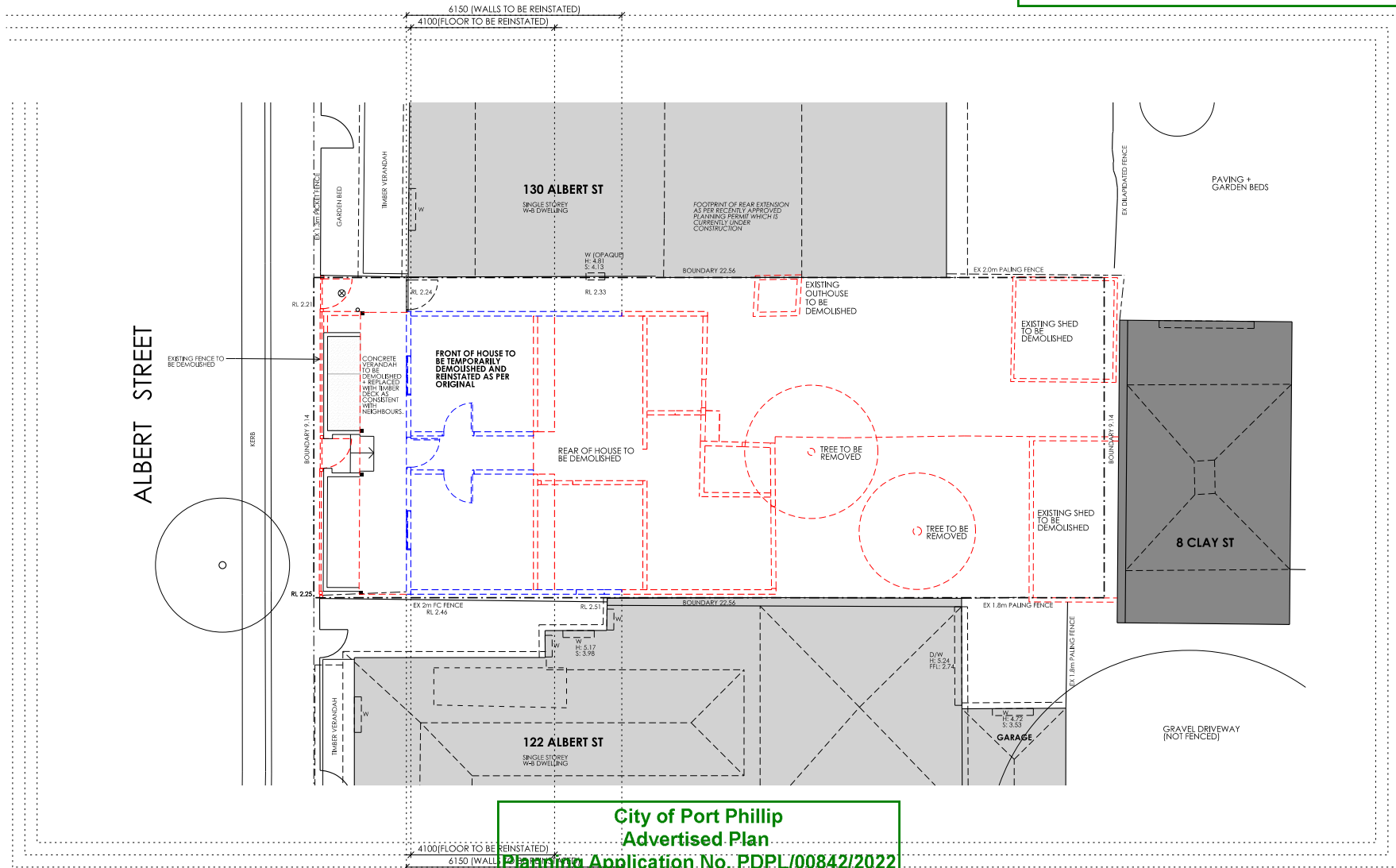
PROJECT NO.  
0008

DRAWN  
GM

SCALE AS  
1:100  
CHECKED  
GM

ISSUE  
A

DWG NO.  
**PPA-B-10**



DATE	ISSUE	REVISIONS
23.01.23	A	FOR PLANNING PERMIT - P11

- DEMOLITION
- TEMPORARY DEMOLITION - TO BE REINSTATED AS PER ORIGINAL



PROJECT  
122 ALBERT ST, PORT MELBOURNE  
FOR NICHOLE PROVATAS + NIELS HEYVAERT

STUDIO ARKIVE  
Arrogate NSW 2204  
011 528 533336  
1011 The Arcade, Port Melbourne VIC 3207  
Phone: 03 9593 1234 Fax: 03 9593 1235

DRAWING  
DEMOLITION PLAN - GROUND FLOOR

BEFORE THE COMMENCEMENT OF WORK, SURVEY AND VERIFY ALL DIMENSIONS. CHECK ALL DIMENSIONS ON SITE. VERIFY BEFORE COMMENCING WORK. DO NOT SCALE. COMPLY WITH RELEVANT AUTHORITY REGULATIONS. COMPLY WITH ALL RELEVANT AUSTRALIAN STANDARDS. COPYRIGHT IN ALL DOCUMENTS AND DRAWINGS PREPARED BY STUDIO ARKIVE.

PROJECT NO.  
0008

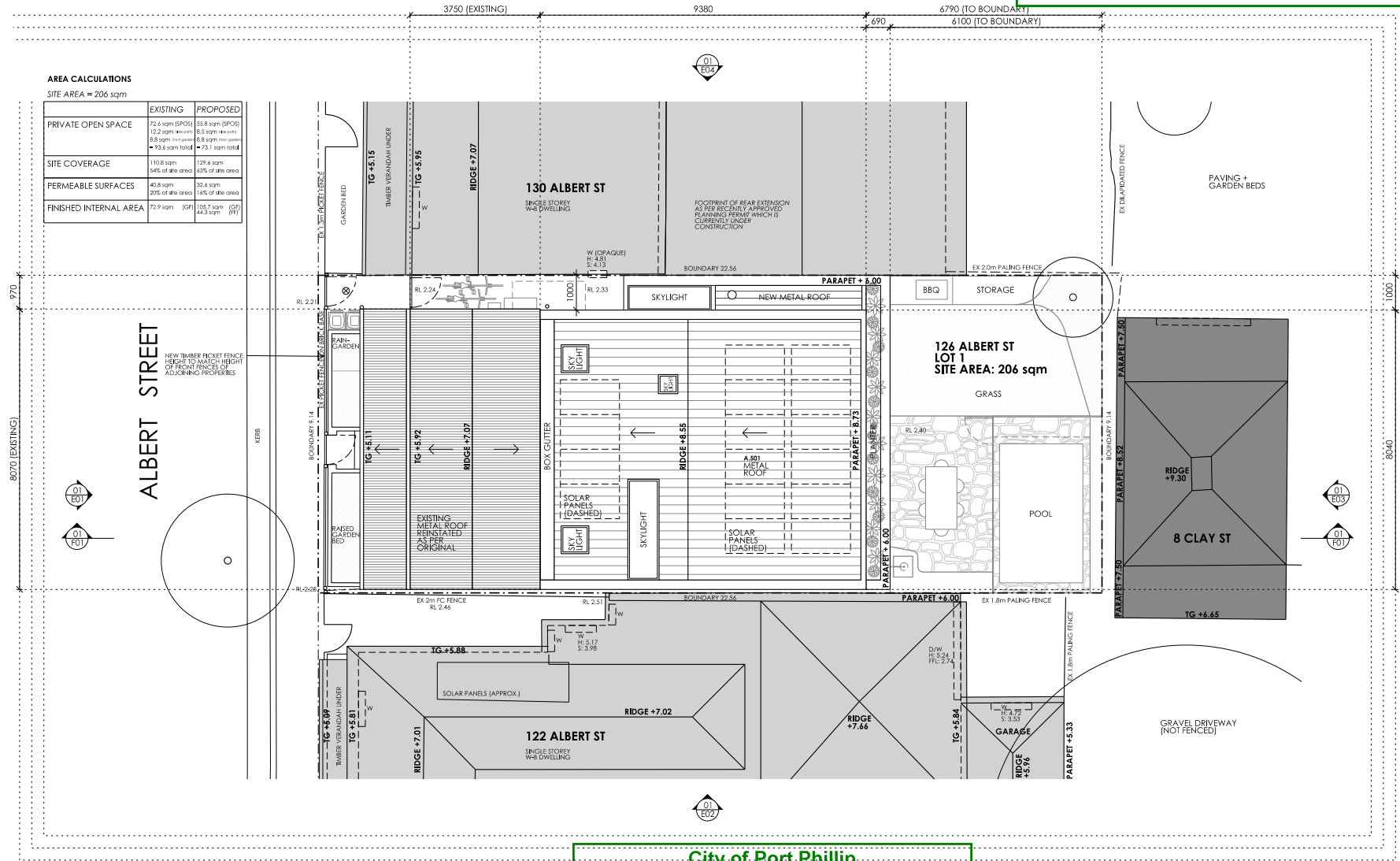
SCALE AS  
1:100

DWG NO.  
PPA-B-11

DRAWN  
GM

CHECKED  
GM

ISSUE  
A



**AREA CALCULATIONS**  
SITE AREA = 206 sqm

	EXISTING	PROPOSED
PRIVATE OPEN SPACE	72.6 sqm (35%) 12.2 sqm (6%) 8.8 sqm (4%) → 23.6 sqm total	55.8 sqm (27%) 8.5 sqm (4%) 8.8 sqm (4%) → 23.1 sqm total
SITE COVERAGE	110.8 sqm 54% of site area	129.6 sqm 63% of site area
PERMEABLE SURFACES	48.8 sqm 24% of site area	52.4 sqm 25% of site area
FINISHED INTERNAL AREA	72.9 sqm (35%) 42.3 sqm (20%)	105.7 sqm (51%) 42.3 sqm (20%)

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28.11.22	A	FOR PLANNING PERMIT
23.01.23	B	FOR PLANNING PERMIT - RH

STUDIO ARKIVE  
Architects  
110/112 NEW 22nd  
ST  
VIC 3207  
PH: (03) 9593 0334  
WWW.STUDIOARKIVE.COM  
PORT PHILLIP ARCHITECTS PTY LTD  
15/155 GARDNER ST VIC 3207 NSW AFB #7264 VIC AFB #19277

DRAWING  
PROPOSED SITE + ROOF PLAN

REFER TO THE COMMENCEMENT OF WORK, SURVEY AND VERIFY ALL DIMENSIONS. CHECK ALL DIMENSIONS ON SITE. USE REDUCED DIMENSIONS CHECKED NOT SCALE. COMPLY WITH RELEVANT AUTHORITY REGULATIONS. COMPLY WITH ALL RELEVANT AUSTRALIAN STANDARDS. COPYRIGHT IN ALL DOCUMENTS AND DRAWINGS PREPARED BY STUDIO ARKIVE

PROJECT NO.  
0008

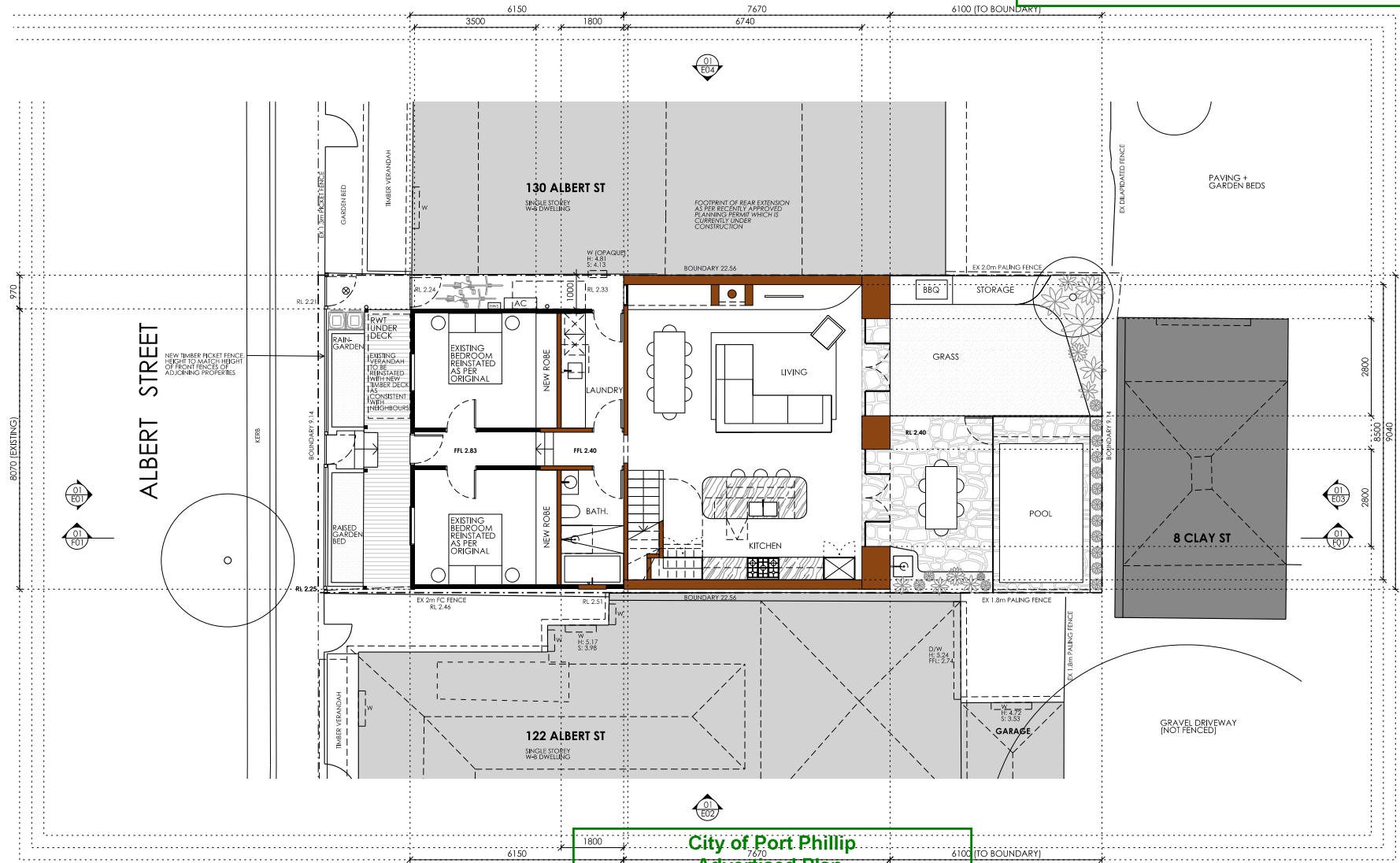
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GM

SCALE: AS  
1:100

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GM

DWG NO.  
PPA-D-01

ISSUE  
B



City of Port Phillip  
 Advertised Plan  
 Planning Application No. PDPL/00842/2022  
 No. of Pages: 14 of 27

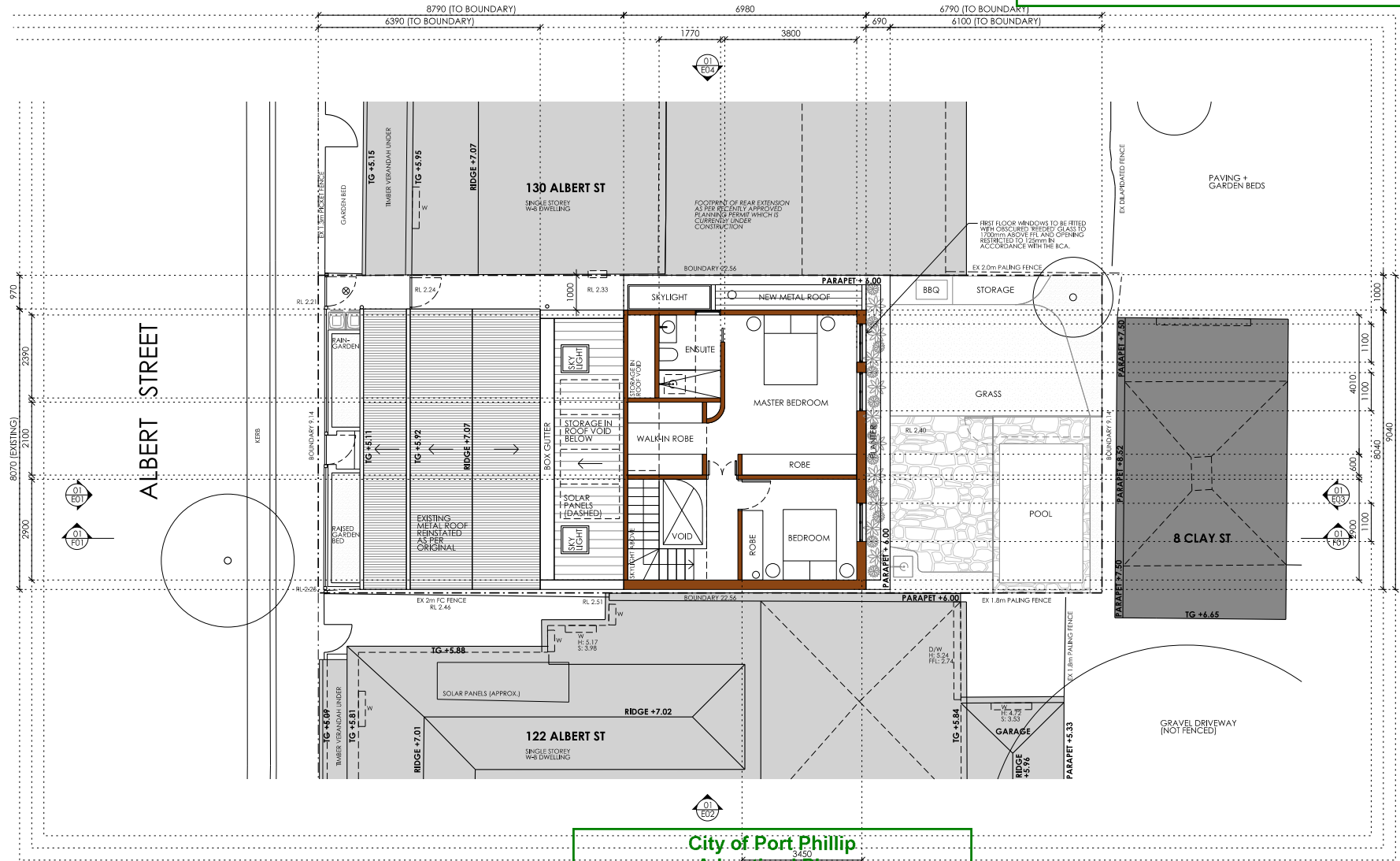
DATE	ISSUE	REVISIONS
28.11.22	A	FOR PLANNING PERMIT

REINSTATED EXISTING  
 PROPOSED

PROJECT  
 130 ALBERT ST, PORT PHILLIP VIC  
 FOR NICOLE PROVATAS + NIELS HEYVAERT  
 STUDIO ARKIVE  
 ARCHITECTS  
 201 COLLEGE STREET  
 PORT PHILLIP VIC 3980  
 PHONE: 03 9594 1000  
 WWW.STUDIOARKIVE.COM

DRAWING  
 PROPOSED GROUND FLOOR PLAN  
 PRIOR TO THE COMMENCEMENT OF WORK, SURVEY AND VERIFY ALL DIMENSIONS. CHECK ALL DIMENSIONS ON SITE. VERIFY RELEVANT DIMENSIONS CHECKED NOT SCALE. COMPLY WITH RELEVANT AUTHORITY REGULATIONS. CONSULT WITH ALL RELEVANT AGENCIES OR AUTHORITIES. COPYRIGHT IN ALL DOCUMENTS AND DRAWINGS PREPARED BY STUDIO ARKIVE.

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SCALE AS 1:100	CHECKED GM
DWG NO. PPA-D-02	ISSUE A



**City of Port Phillip**  
**Advertised Plan**  
**Planning Application No. PDPL/00842/2022**  
**No. of Pages: 15 of 27**

DATE	ISSUE	REVISIONS
28.11.22	A	FOR PLANNING PERMIT

REINSTATED  
 EXISTING  
 PROPOSED

PROJECT  
 130 ALBERT ST, PORT PHILLIP VIC  
 FOR NICOLE PROVATAS + NIELS HEYVAERT  
  
 STUDIO ARKIVE  
 11/111 NEW 2204  
 3101 STONING ROAD  
 PORT PHILLIP VIC 3190  
 PHONE: 03 9594 0000  
 WWW.STUDIOARKIVE.COM

DRAWING  
 PROPOSED FIRST FLOOR PLAN  
  
 PRIOR TO THE COMMENCEMENT OF WORK, SURVEY AND VERIFY ALL DIMENSIONS  
 CHECK ALL DIMENSIONS ON SITE  
 USE REPRODUCED DIMENSIONS CHECKED NOT SCALE  
 COMPLY WITH ALL RELEVANT AUTHORITY REGULATIONS  
 CONSULT WITH ALL RELEVANT AGENCIES AS APPLICABLE  
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PROJECT NO.  
 0008  
  
 SCALE AS  
 1:100  
  
 DRAWING NO.  
**PPA-D-03**  
  
 DRAWN  
 GM  
  
 CHECKED  
 GM  
  
 ISSUE  
 A



## STORM Rating Report

TransactionID: 1492938  
 Municipality: PORT PHILLIP  
 Rainfall Station: PORT PHILLIP  
 Address: 126 Albert St

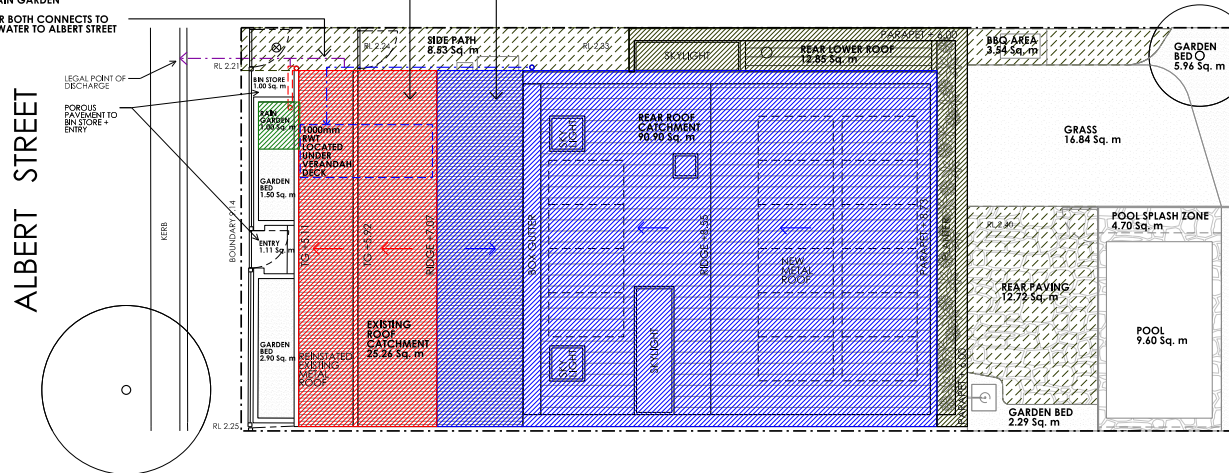
Port Melbourne  
 VIC 3207  
 Assessor: Georgia McGowan  
 Development Type: Residential - Dwelling  
 Allotment Site (m2): 206.00  
 STORM Rating %: 100

**City of Port Phillip  
 Advertised Plan  
 Planning Application No. PDPL/00842/2022  
 No. of Pages: 16 of 27**

Description	Impervious Area (m2)	Treatment Type	Treatment Area/Volume (m2 or L)	Occupants / Number Of Bedrooms	Treatment %	Tank Water Supply Reliability (%)
Existing Roof	25.26	Raingarden 100mm	1.00	0	133.00	0.00
Rear Roof	90.90	Rainwater Tank	1,000.00	4	131.60	62.00
Rear Lower Roof	12.85	None	0.00	0	0.00	0.00
Rear Paving	12.72	None	0.00	0	0.00	0.00
Side Path	8.53	None	0.00	0	0.00	0.00
BBQ Area	3.54	None	0.00	0	0.00	0.00

**WSUD LAYOUT:**

1. REAR ROOF CATCHMENT CONNECTS TO RAINWATER TANK. RWT TO CONNECT TO TOILETS.
2. FRONT (EXISTING) ROOF CATCHMENT CONNECTS TO RAIN GARDEN
3. OVERFLOW FOR BOTH CONNECTS TO EXISTING STORMWATER TO ALBERT STREET



DATE	ISSUE	REVISIONS
28.11.22	A	FOR PLANNING PERMIT
23.01.23	B	FOR PLANNING PERMIT - R1



**PROJECT**  
 126 ALBERT ST, PORT MELBOURNE  
 FOR NICHOLE PROVATAS + NIELS HEYVAERT

**STUDIO ARKIVE**  
 11/11/2024  
 011 528 000184  
 011 528 000184  
 011 528 000184  
 011 528 000184

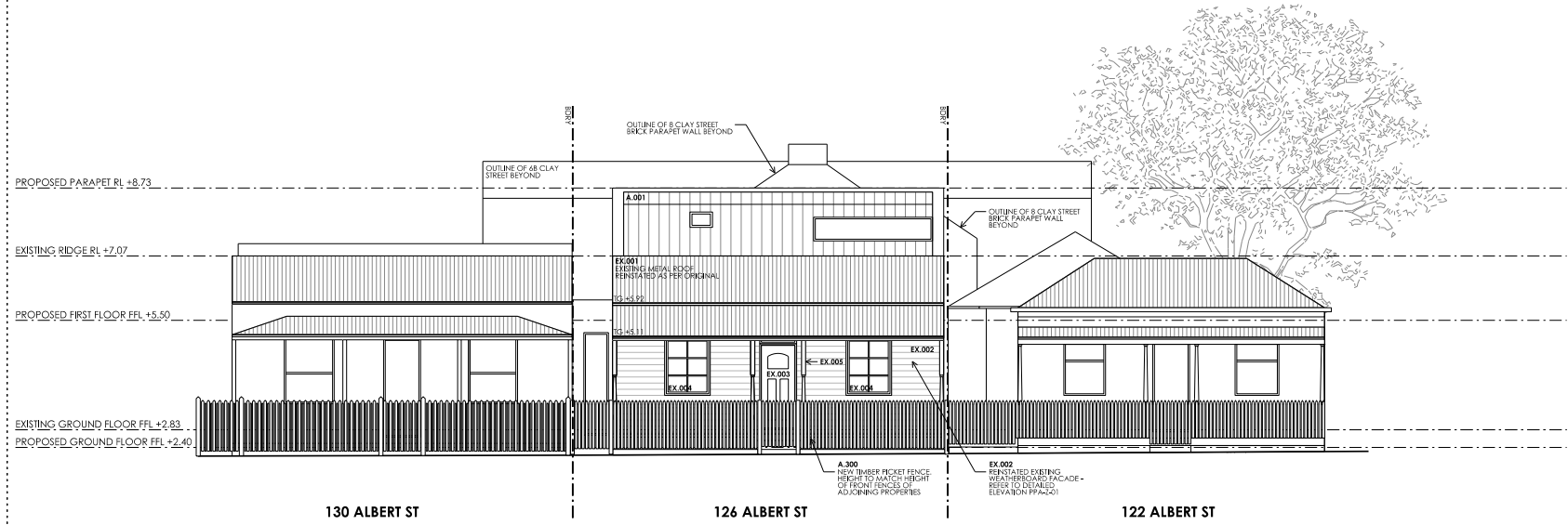
**DRAWING**  
 PROPOSED WSUD LAYOUT PLAN + STORM REPORT

BEFORE THE COMMENCEMENT OF WORK, SURVEY AND VERIFY ALL DETAILS. CHECK ALL DIMENSIONS ON SITE. USE RELEVANT DIMENSIONS ON THE SCALE. COMPLY WITH RELEVANT AUTHORITY REGULATIONS. CONSULT WITH ALL RELEVANT AGENCIES OR AUTHORITIES. CONSULT WITH ALL RELEVANT PROFESSIONALS. COPYRIGHT IN ALL DOCUMENTS AND DRAWINGS PREPARED BY STUDIO ARKIVE.

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DWG NO. PPA-D-04	ISSUE B



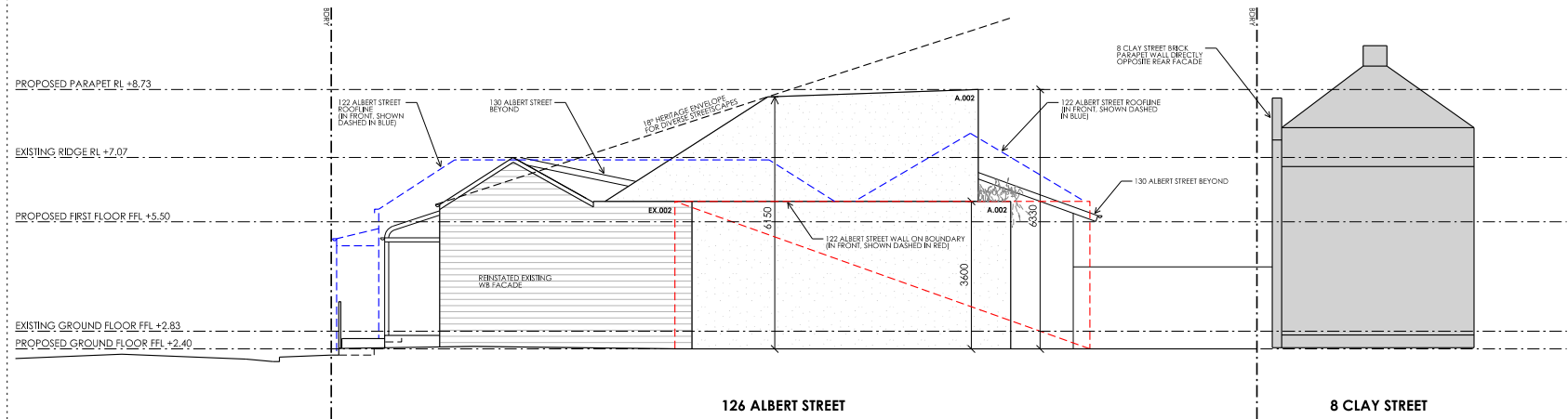
**City of Port Phillip  
Advertised Plan  
Planning Application No. PDPL/00842/2022  
No. of Pages: 17 of 27**



Attachment 2: Plans

<p>DATE: 28.11.22 ISSUE: A REVISIONS: FOR PLANNING PERMIT</p> <p>DATE: 23.01.23 ISSUE: B REVISIONS: FOR PLANNING PERMIT + RH</p>	<p><b>EXTERNAL FINISHES LEGEND</b></p> <p>EX.001 CORRUGATED IRON ROOF SHEETING EX.002 WEATHERBOARD CLADDING EX.003 REINSTATED TIMBER DOOR WITH TORLIGHT EX.004 REINSTATED ORIGINAL WINDOWS EX.005 REINSTATED TIMBER VERANDAH POSTS</p> <p>A.001 TEXTURED RENDER WALL FINISH 01 A.002 TEXTURED RENDER WALL FINISH 02 A.300 TIMBER PICKET FENCE A.301 TIMBER DECKING A.501 LONGSPAN METAL ROOF SHEETING A.502 STEEL DOORS A.503 STEEL WINDOWS WITH OBSCURED GLASS</p>	<p>PROJECT 126 ALBERT ST, PORT MELBOURNE FOR NICHOLE PROVATAS + NIELS HEYVAERT</p> <p>STUDIO ARKIVE ARCHITECTS 120/122A HOWSON ST PORT MELBOURNE VIC 3207 PH: 08 9450 0816 WWW.STUDIOARKIVE.COM PORT PHILLIP ARCHITECTS REGISTRATION NO. 19784 VIC ARCH # 19277</p>	<p>DRAWING PROPOSED FRONT (NORTHWEST) ELEVATION</p> <p>REFER TO THE COMMENCEMENT OF WORK, SURVEY AND VERIFY ALL DIMENSIONS. CHECK ALL DIMENSIONS ON SITE. USE REPRODUCED DIMENSIONS CHECKED NOT SCALE. COMPLY WITH RELEVANT AUTHORITIES REGULATIONS. COMPLY WITH ALL RELEVANT AUSTRALIAN STANDARDS. COMPLY WITH ALL RELEVANT AUSTRALIAN STANDARDS. COPYRIGHT IN ALL DOCUMENTS AND DRAWINGS PREPARED BY STUDIO ARKIVE</p>	<p>PROJECT NO. 0008</p> <p>SCALE: AS SHOWN 1:100</p> <p>DWG NO. PPA-E-01</p>	<p>DRAWN GM</p> <p>CHECKED GM</p> <p>ISSUE B</p>
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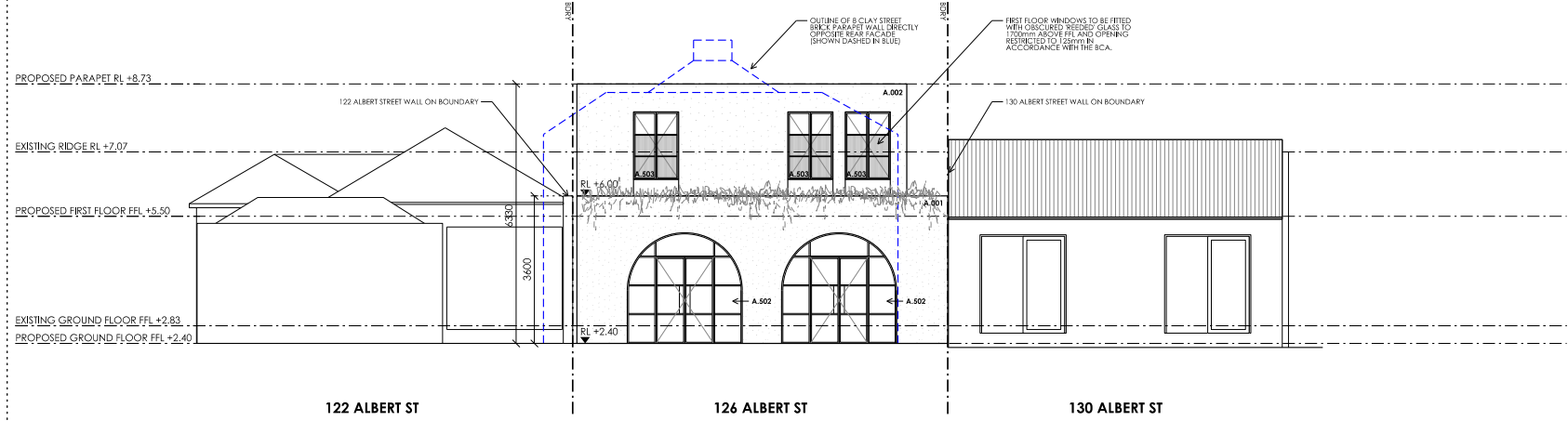
**City of Port Phillip  
Advertised Plan  
Planning Application No. PDPL/00842/2022  
No. of Pages: 18 of 27**



Attachment 2: Plans

<p>DATE: 28.11.22 ISSUE: A REVISIONS: FOR PLANNING PERMIT</p> <p>DATE: 23.01.23 ISSUE: B REVISIONS: FOR PLANNING PERMIT - RH</p>	<p><b>EXTERNAL FINISHES LEGEND</b></p> <p><b>EX.001</b> CORRUGATED IRON ROOF SHEETING <b>EX.002</b> WEATHERBOARD CLADDING <b>EX.003</b> REINSTATED TIMBER DOOR WITH TORLIGHT <b>EX.004</b> REINSTATED ORIGINAL WINDOWS <b>EX.005</b> REINSTATED TIMBER VERANDAH POSTS</p> <p><b>A.001</b> TEXTURED RENDER WALL FINISH 01 <b>A.002</b> TEXTURED RENDER WALL FINISH 02 <b>A.300</b> TIMBER PICKET FENCE <b>A.301</b> TIMBER DECKING <b>A.501</b> LONGJUNE METAL ROOF SHEETING <b>A.502</b> STEEL DOORS <b>A.503</b> STEEL WINDOWS WITH OBSCURED GLASS</p>	<p>PROJECT 126 ALBERT ST, PORT MELBOURNE FOR NICHOLE PROVATAS + NIELS HEYVAERT</p> <p>STUDIO ARKIVE Melbourne NSW 2204 PH: 08 8555 0014 WWW.STUDIOARKIVE.COM PH: 08 8555 0014 WWW.STUDIOARKIVE.COM</p>	<p>DRAWING PROPOSED SIDE (SOUTH+WEST) ELEVATION</p> <p>PHOTO TO THE COMMENCEMENT OF WORK, SURVEY AND VERIFY ALL DIMENSIONS CHECK ALL DIMENSIONS ON SITE USE REVERSED DIMENSIONS CHECK TO NOT SCALE COMPLY WITH RELEVANT AUSTRALIAN REGULATIONS COMPLY WITH ALL RELEVANT AUSTRALIAN STANDARDS COPYRIGHT IN ALL DOCUMENTS AND DRAWINGS PREPARED BY STUDIO ARKIVE</p>	<p>PROJECT NO. 0008</p> <p>SCALE: AS 1:100</p> <p>DWG NO. PPA-E-02</p>	<p>DRAWN GM</p> <p>CHECKED GM</p> <p>ISSUE B</p>
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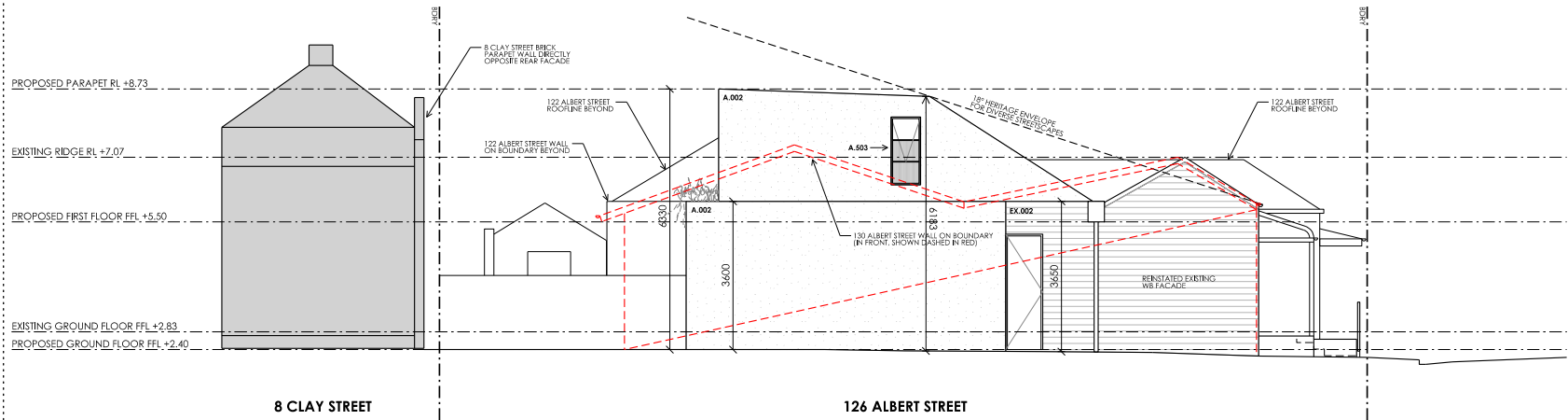
**City of Port Phillip  
Advertised Plan  
Planning Application No. PDPL/00842/2022  
No. of Pages: 19 of 27**



Attachment 2: Plans

<p>DATE ISSUE REVISIONS</p> <p>28.11.22 A FOR PLANNING PERMIT</p> <p>23.01.23 B FOR PLANNING PERMIT - RH</p>	<p><b>EXTERNAL FINISHES LEGEND</b></p> <p><b>EX.001</b> CORRUGATED IRON ROOF SHEETING</p> <p><b>EX.002</b> WEATHERBOARD CLADDING</p> <p><b>EX.003</b> REINSTATED TIMBER DOOR WITH TORLIGHT</p> <p><b>EX.004</b> REINSTATED ORIGINAL WINDOWS</p> <p><b>EX.005</b> REINSTATED TIMBER VERANDAH POSTS</p> <p><b>A.001</b> TEXTURED RENDER WALL FINISH 01</p> <p><b>A.002</b> TEXTURED RENDER WALL FINISH 02</p> <p><b>A.300</b> TIMBER PICKET FENCE</p> <p><b>A.301</b> TIMBER DECKING</p> <p><b>A.501</b> LONGJUNE METAL ROOF SHEETING</p> <p><b>A.502</b> STEEL DOORS</p> <p><b>A.503</b> STEEL WINDOWS WITH OBSCURED GLASS</p>	<p>PROJECT</p> <p>126 ALBERT ST, PORT MELBOURNE FOR NICHOLE PROVATAS + NIELS HEYVAERT</p> <p><b>STUDIO ARKIVE</b>  <small>Arkive Pty Ltd                  1/115 New Quay                  Port Phillip VIC 3207                  031 439 8000                  info@studioarkive.com.au                  101 The Esplanade, Port Phillip VIC 3207                  031 439 8000</small></p>	<p>DRAWING</p> <p>PROPOSED REAR (SOUTH-EAST) ELEVATION</p> <p>PHOTO TO THE COMMENCEMENT OF WORK, SURVEY AND VERIFY ALL DIMENSIONS. CHECK ALL DIMENSIONS ON SITE. USE REVERSED DIMENSIONS CHECK TO NOT SCALE. COMPLY WITH RELEVANT AUSTRALIAN REGULATIONS. COMPLY WITH ALL RELEVANT AUSTRALIAN STANDARDS. COPYRIGHT IN ALL DOCUMENTS AND DRAWINGS PREPARED BY STUDIO ARKIVE</p>	<p>PROJECT NO. 0008</p> <p>SCALE: AS 1:100</p> <p>DWG NO. <b>PPA-E-03</b></p>	<p>DRAWN GM</p> <p>CHECKED GM</p> <p>ISSUE B</p>
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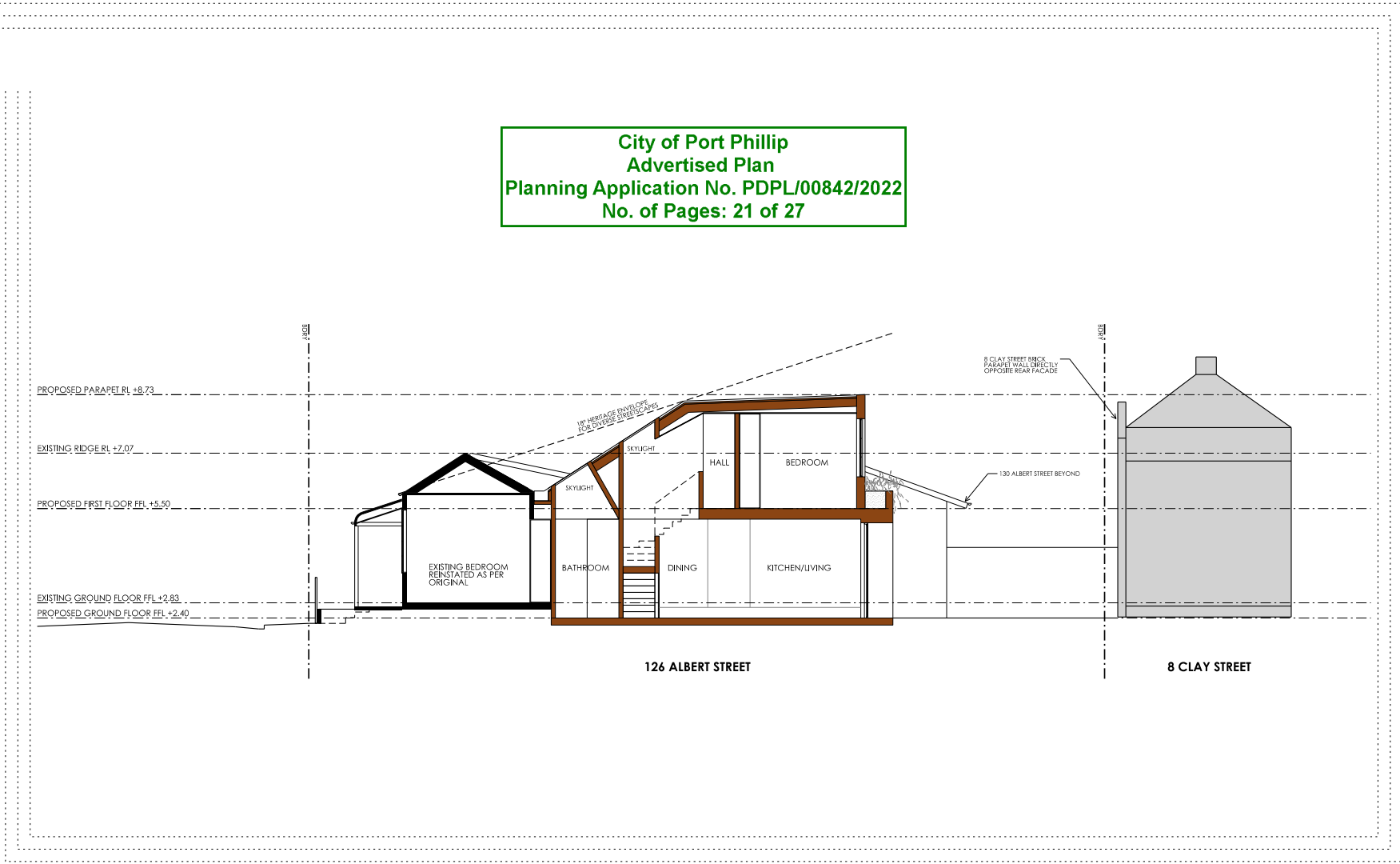
**City of Port Phillip  
Advertised Plan  
Planning Application No. PDPL/00842/2022  
No. of Pages: 20 of 27**



Attachment 2: Plans

<p>DATE: 28.11.22 ISSUE: A REVISIONS: FOR PLANNING PERMIT</p> <p>DATE: 23.01.23 ISSUE: B REVISIONS: FOR PLANNING PERMIT - RH</p>	<p><b>EXTERNAL FINISHES LEGEND</b></p> <p>EX.001 CORRUGATED IRON ROOF SHEETING EX.002 WEATHERBOARD CLADDING EX.003 REINSTATED TIMBER DOOR WITH TORLIGHT EX.004 REINSTATED ORIGINAL WINDOWS EX.005 REINSTATED TIMBER VERANDAH POSTS</p> <p>A.001 TEXTURED RENDER WALL FINISH 01 A.002 TEXTURED RENDER WALL FINISH 02 A.300 TIMBER PICKET FENCE A.301 TIMBER DECKING A.501 LONGJUNE METAL ROOF SHEETING A.502 STEEL DOORS A.503 STEEL WINDOWS WITH OBSCURED GLASS</p>	<p>PROJECT 126 ALBERT ST, PORT MELBOURNE FOR NICHOLE PROVATAS + NIELS HEYVAERT</p> <p>STUDIO ARKIVE Architects 120 FOLKSTONE DRIVE PORT PHILLIP VIC 3207 PH: 03 9594 0000 WWW.STUDIOARKIVE.COM PH: 03 9594 0000 VIC ARB #1927</p>	<p>DRAWING PROPOSED SIDE (NORTH-EAST) ELEVATION</p> <p>PHOTO TO THE COMMENCEMENT OF WORK, SURVEY AND VERIFY ALL DIMENSIONS. CHECK ALL DIMENSIONS ON SITE. USE REDDED DIMENSIONS CHECKED TO SCALE. COMPLY WITH RELEVANT AUTHORITIES REGULATIONS. COMPLY WITH ALL RELEVANT AUSTRALIAN STANDARDS. COPYRIGHT IN ALL DOCUMENTS AND DRAWINGS PREPARED BY STUDIO ARKIVE.</p>	<p>PROJECT NO. 0008</p> <p>SCALE: AS 1:100</p> <p>DWG NO. PPA-E-04</p>	<p>DRAWN GM</p> <p>CHECKED GM</p> <p>ISSUE B</p>
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City of Port Phillip  
Advertised Plan  
Planning Application No. PDPL/00842/2022  
No. of Pages: 21 of 27



Attachment 2: Plans

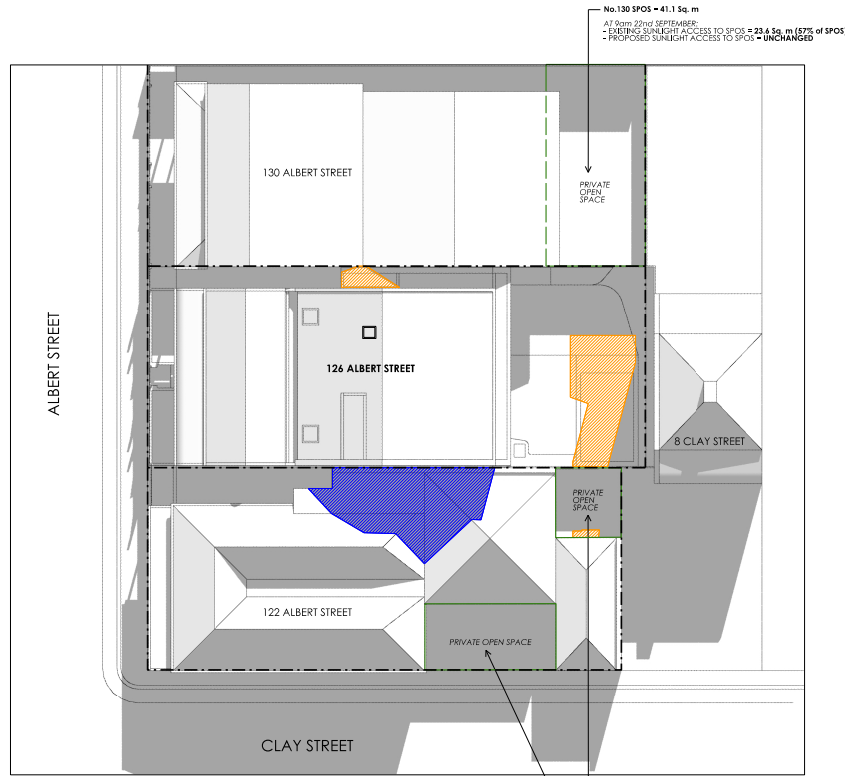
DATE	ISSUE	REVISIONS
28.11.22	A	FOR PLANNING PERMIT

REINSTATED EXISTING  
 PROPOSED

PROJECT  
 126 ALBERT ST, PORT MELBOURNE  
 FOR NICHOLE PROVATAS + NIELS HEYVAERT  
  
 STUDIO ARKIVE  
 ARCHITECTS  
 110/112 NEW 2204  
 2ND FLOOR  
 1001 TOBIN DRIVE  
 PORT PHILLIP VIC 3207  
 PHONE: 03 9495 1234  
 WWW.STUDIOARKIVE.COM

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 PROPOSED SECTION AA  
  
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DWG NO. PPA-F-01	ISSUE A

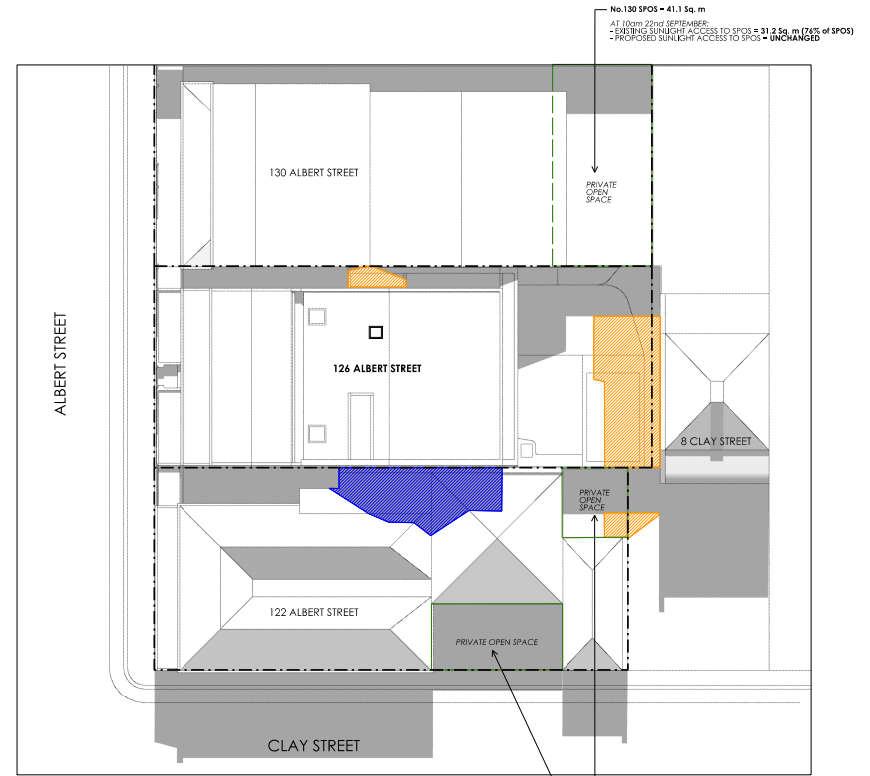


01 SHADOW DIAGRAM - 22nd SEPTEMBER - 9am

- EXISTING SHADOW
- ADDITIONAL SHADOW TO SUBJECT SITE
- ADDITIONAL SHADOW TO NEIGHBOURING PROPERTIES
- ADDITIONAL SUNLIGHT
- NEIGHBOURING SPOS

**SUMMARY:**  
 - NO ADDITIONAL OVERSHADOWING PROPOSED TO NEIGHBOURING SPOS  
 - SUNLIGHT ACCESS INCREASED TO 122 SPOS

**City of Port Phillip  
 Advertised Plan  
 Planning Application No. PDPL/00842/2022  
 No. of Pages: 22 of 27**



02 SHADOW DIAGRAM - 22nd SEPTEMBER - 10am

- EXISTING SHADOW
- ADDITIONAL SHADOW TO SUBJECT SITE
- ADDITIONAL SHADOW TO NEIGHBOURING PROPERTIES
- ADDITIONAL SUNLIGHT
- NEIGHBOURING SPOS

**SUMMARY:**  
 - NO ADDITIONAL OVERSHADOWING PROPOSED TO NEIGHBOURING SPOS  
 - SUNLIGHT ACCESS INCREASED TO 122 SPOS

DATE	ISSUE	REVISIONS
28.11.22	A	FOR PLANNING PERMIT
23.01.23	B	FOR PLANNING PERMIT - R1

**DEFINITIONS**  
 SPOS SECLUDED PRIVATE OPEN SPACE



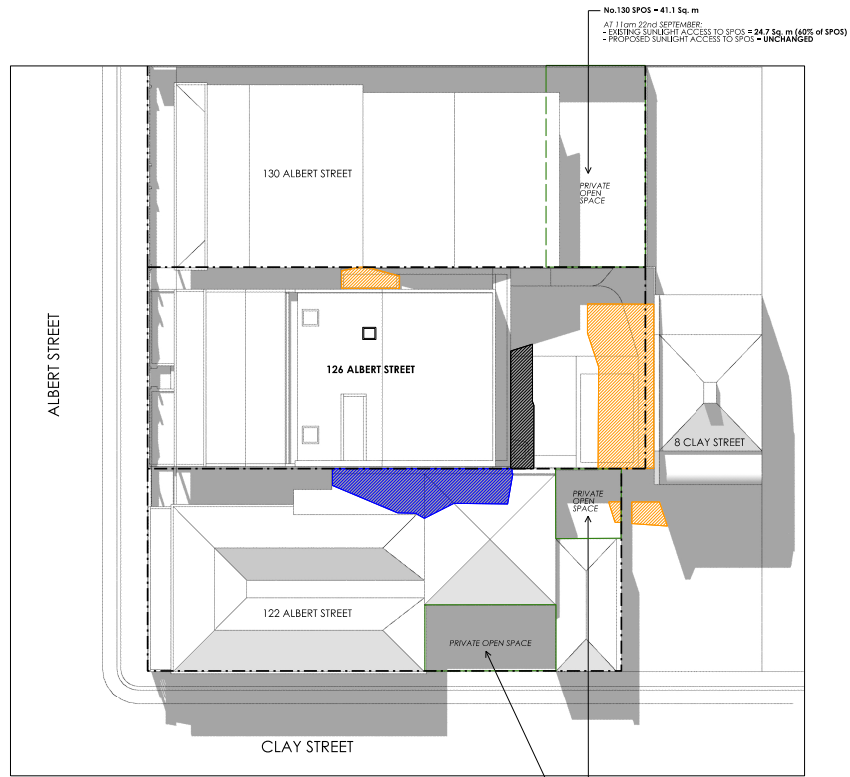
**PROJECT**  
 126 ALBERT ST, PORT MELBOURNE  
 FOR NICHOLE PROVATAS + NIELS HEYVAERT

**STUDIO ARKIVE**  
 10/105 NEW 2204  
 201 FOSKETT DRIVE  
 PORT PHILLIP VIC 3207  
 PHONE: 03 9593 0316  
 WWW.STUDIOARKIVE.COM.AU

**DRAWING**  
 SHADOW DIAGRAMS - 22nd SEPTEMBER - 9am + 10am

BEFORE THE COMMENCEMENT OF WORK, SURVEY AND VERIFY ALL COORDINATES CHECK ALL DIMENSIONS ON SITE USE REVERSED DIMENSIONS CHECK TO NOT SCALE COMPLY WITH RELEVANT AUTHORITIES REGULATIONS COMPLY WITH ALL RELEVANT AUSTRALIAN STANDARDS COMPLY WITH ALL RELEVANT AUSTRALIAN STANDARDS COPYRIGHT IN ALL DOCUMENTS AND DRAWINGS PREPARED BY STUDIO ARKIVE

PROJECT NO.	DRAWN
0008	GM
SCALE	CHECKED
AS 1:200	GM
DWG NO.	ISSUE
PPA-S-01	B



01 SHADOW DIAGRAM - 22nd SEPTEMBER - 11am

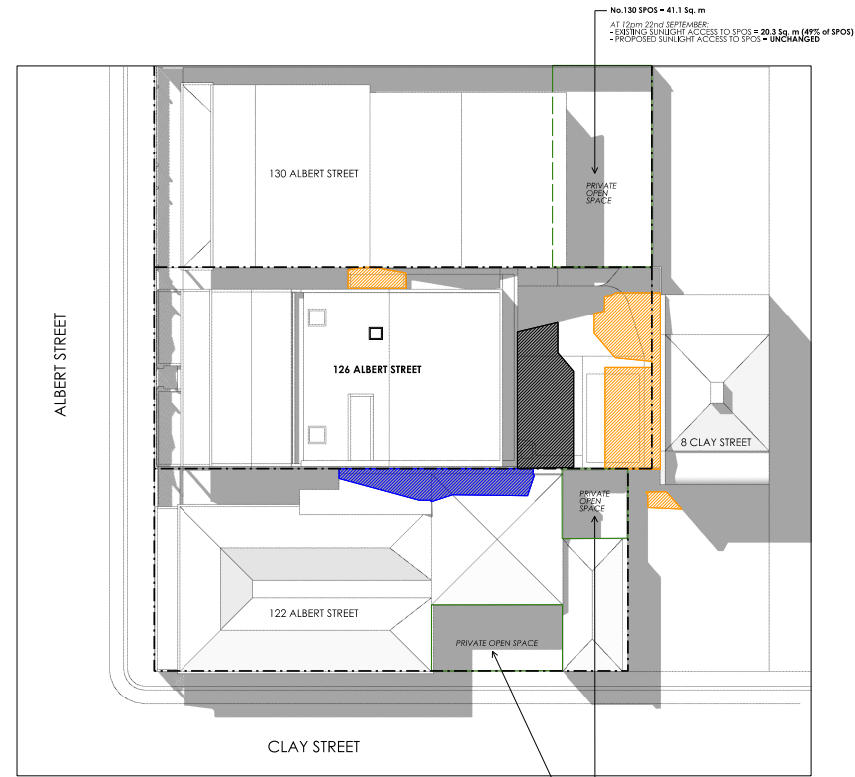
- EXISTING SHADOW
- ADDITIONAL SHADOW TO SUBJECT SITE
- ADDITIONAL SHADOW TO NEIGHBOURING PROPERTIES
- ADDITIONAL SUNLIGHT
- NEIGHBOURING SPOS

**SUMMARY:**  
 - NO ADDITIONAL OVERSHADOWING PROPOSED TO NEIGHBOURING SPOS  
 - SUNLIGHT ACCESS INCREASED TO 122 SPOS

No.130 SPOS = 41.1 Sq. m  
 AT 11am 22nd SEPTEMBER:  
 - EXISTING SUNLIGHT ACCESS TO SPOS = 24.7 Sq. m (60% of SPOS)  
 - PROPOSED SUNLIGHT ACCESS TO SPOS = UNCHANGED

No.122 SPOS = 7.4 Sq. m  
 AT 11am 22nd SEPTEMBER:  
 - EXISTING SUNLIGHT ACCESS TO SPOS = 3.2 Sq. m (34% of SPOS)  
 - PROPOSED SUNLIGHT ACCESS TO SPOS = 3.8 Sq. m (38% of SPOS)

No.122 SPOS = 17.8 Sq. m  
 AT 11am 22nd SEPTEMBER:  
 - EXISTING SUNLIGHT ACCESS TO SPOS = 0.4 Sq. m (2% of SPOS)  
 - PROPOSED SUNLIGHT ACCESS TO SPOS = UNCHANGED



02 SHADOW DIAGRAM - 22nd SEPTEMBER - 12pm

- EXISTING SHADOW
- ADDITIONAL SHADOW TO SUBJECT SITE
- ADDITIONAL SHADOW TO NEIGHBOURING PROPERTIES
- ADDITIONAL SUNLIGHT
- NEIGHBOURING SPOS

**SUMMARY:**  
 - NO ADDITIONAL OVERSHADOWING PROPOSED TO NEIGHBOURING SPOS

No.130 SPOS = 41.1 Sq. m  
 AT 12pm 22nd SEPTEMBER:  
 - EXISTING SUNLIGHT ACCESS TO SPOS = 20.3 Sq. m (49% of SPOS)  
 - PROPOSED SUNLIGHT ACCESS TO SPOS = UNCHANGED

No.122 SPOS = 7.4 Sq. m  
 AT 12pm 22nd SEPTEMBER:  
 - EXISTING SUNLIGHT ACCESS TO SPOS = 2.8 Sq. m (30% of SPOS)  
 - PROPOSED SUNLIGHT ACCESS TO SPOS = UNCHANGED

No.122 SPOS = 17.8 Sq. m  
 AT 12pm 22nd SEPTEMBER:  
 - EXISTING SUNLIGHT ACCESS TO SPOS = 4.0 Sq. m (22% of SPOS)  
 - PROPOSED SUNLIGHT ACCESS TO SPOS = UNCHANGED

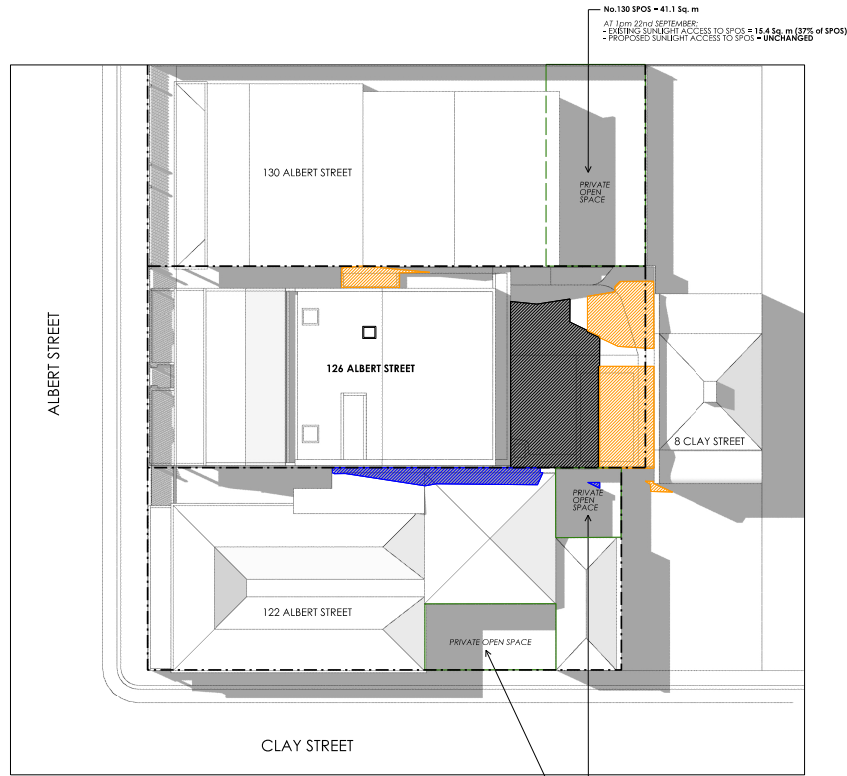
**City of Port Phillip  
 Advertised Plan  
 Planning Application No. PDPL/00842/2022  
 No. of Pages: 23 of 27**

DATE	ISSUE	REVISIONS
28.11.22	A	FOR PLANNING PERMIT
23.01.23	B	FOR PLANNING PERMIT - R1

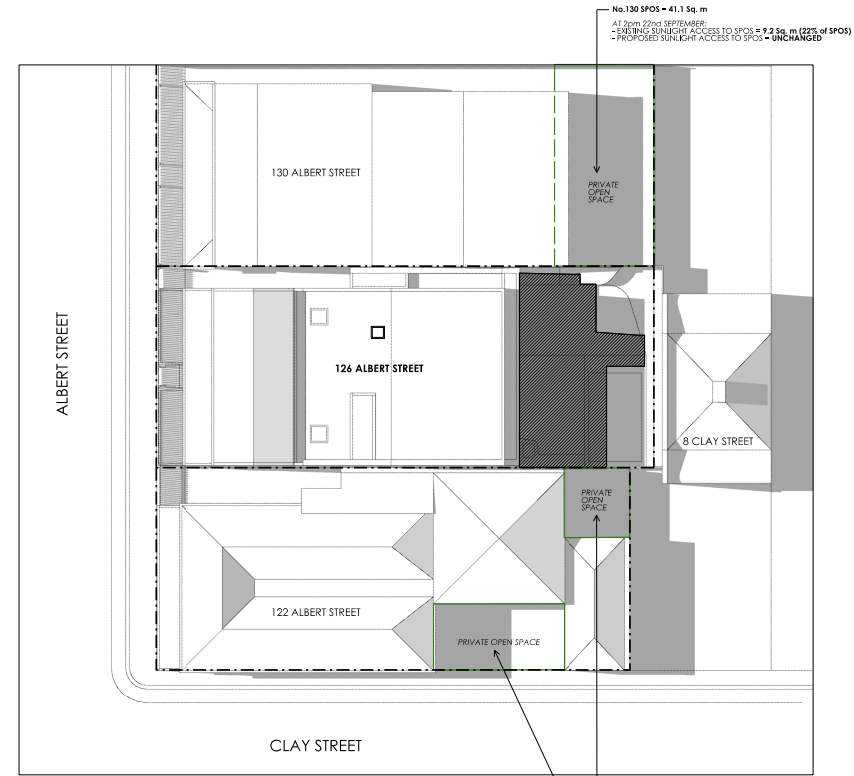


<b>PROJECT</b> 126 ALBERT ST, PORT MELBOURNE FOR NICHOLE PROVATAS + NIELS HEYVAERT	<b>DRAWING</b> SHADOW DIAGRAMS - 22nd SEPTEMBER - 11am + 12pm
<b>STUDIO ARKIVE</b> Arkive Pty Ltd 101/108-110/114 Riverview Rd, North Melbourne VIC 3048 Phone: 03 9489 1111 www.studioarkive.com.au	BEFORE THE COMMENCEMENT OF WORK, SURVEY AND VERIFY ALL DETAILS CHECK ALL DIMENSIONS ON SITE. USE REVERSED DIMENSIONS CHECK TO NO SCALE. COMPLY WITH RELEVANT AUTHORITIES REGULATIONS. COMPLY WITH ALL RELEVANT AUSTRALIAN STANDARDS. COPYRIGHT IN ALL DOCUMENTS AND DRAWINGS PREPARED BY STUDIO ARKIVE.

<b>PROJECT NO.</b> 0008	<b>DRAWN</b> GM
<b>SCALE</b> AS 1 : 200	<b>CHECKED</b> GM
<b>DWG NO.</b> PPA-S-02	<b>ISSUE</b> B



01 SHADOW DIAGRAM - 22nd SEPTEMBER - 1pm



02 SHADOW DIAGRAM - 22nd SEPTEMBER - 2pm

**City of Port Phillip  
Advertised Plan  
Planning Application No. PDPL/00842/2022  
No. of Pages: 24 of 27**

DATE	ISSUE	REVISIONS
28.11.22	A	FOR PLANNING PERMIT
23.01.23	B	FOR PLANNING PERMIT - R1



PROJECT  
126 ALBERT ST, PORT MELBOURNE  
FOR NICHOLE PROVATAS + NIELS HEYVAERT

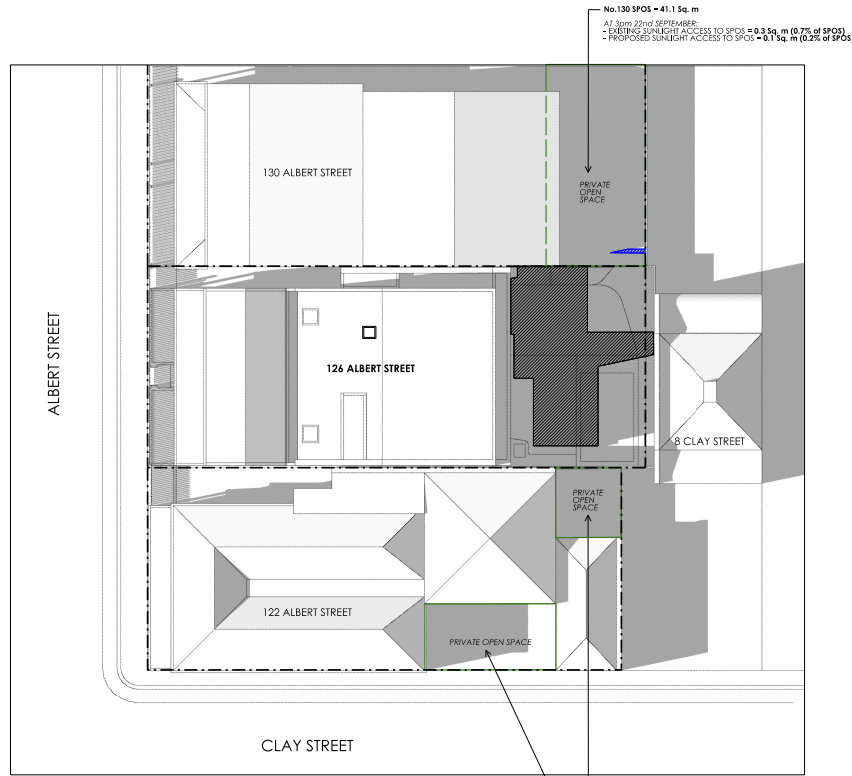
STUDIO ARKIVE  
Melbourne, VIC 3004  
PH: 03 9550 0184  
WWW.STUDIOARKIVE.COM  
PROJECT NO: PPA-003-2022-001

DRAWING  
SHADOW DIAGRAMS - 22nd SEPTEMBER - 1pm + 2pm

BEFORE THE COMMENCEMENT OF WORK, SURVEY AND VERIFY ALL DIMENSIONS. CHECK ALL DIMENSIONS ON SITE. USE RELEVANT DIMENSIONS ON SITE. COMPLY WITH RELEVANT AUTHORITIES REGULATIONS. CONSULT WITH ALL RELEVANT AUTHORITIES. COPYRIGHT IN ALL DOCUMENTS AND DRAWINGS PREPARED BY STUDIO ARKIVE.

PROJECT NO.	DRAWN
0008	GM
SCALE	CHECKED
AS 1:200	GM
DWG NO.	ISSUE
PPA-S-03	B





01 SHADOW DIAGRAM - 22nd SEPTEMBER - 3pm

- EXISTING SHADOW
- ADDITIONAL SHADOW TO SUBJECT SITE
- ADDITIONAL SHADOW TO NEIGHBOURING PROPERTIES
- ADDITIONAL SUNLIGHT
- NEIGHBOURING SPoS

**SUMMARY:**  
 - NO ADDITIONAL OVERSHADOWING  
 PROPOSED TO 130 SPoS  
 - SUNLIGHT ACCESS DECREASED TO 122 SPoS  
 BY ONLY 0.09%

City of Port Phillip  
 Advertised Plan  
 Planning Application No. PDPL/00842/2022  
 No. of Pages: 25 of 27

Attachment 2: Plans

DATE	ISSUE	REVISIONS
28.11.22	A	FOR PLANNING PERMIT
23.01.23	B	FOR PLANNING PERMIT - R1



PROJECT  
 126 ALBERT ST, PORT MELBOURNE  
 FOR NICHOLE PROVATAS + NIELS HEYVAERT

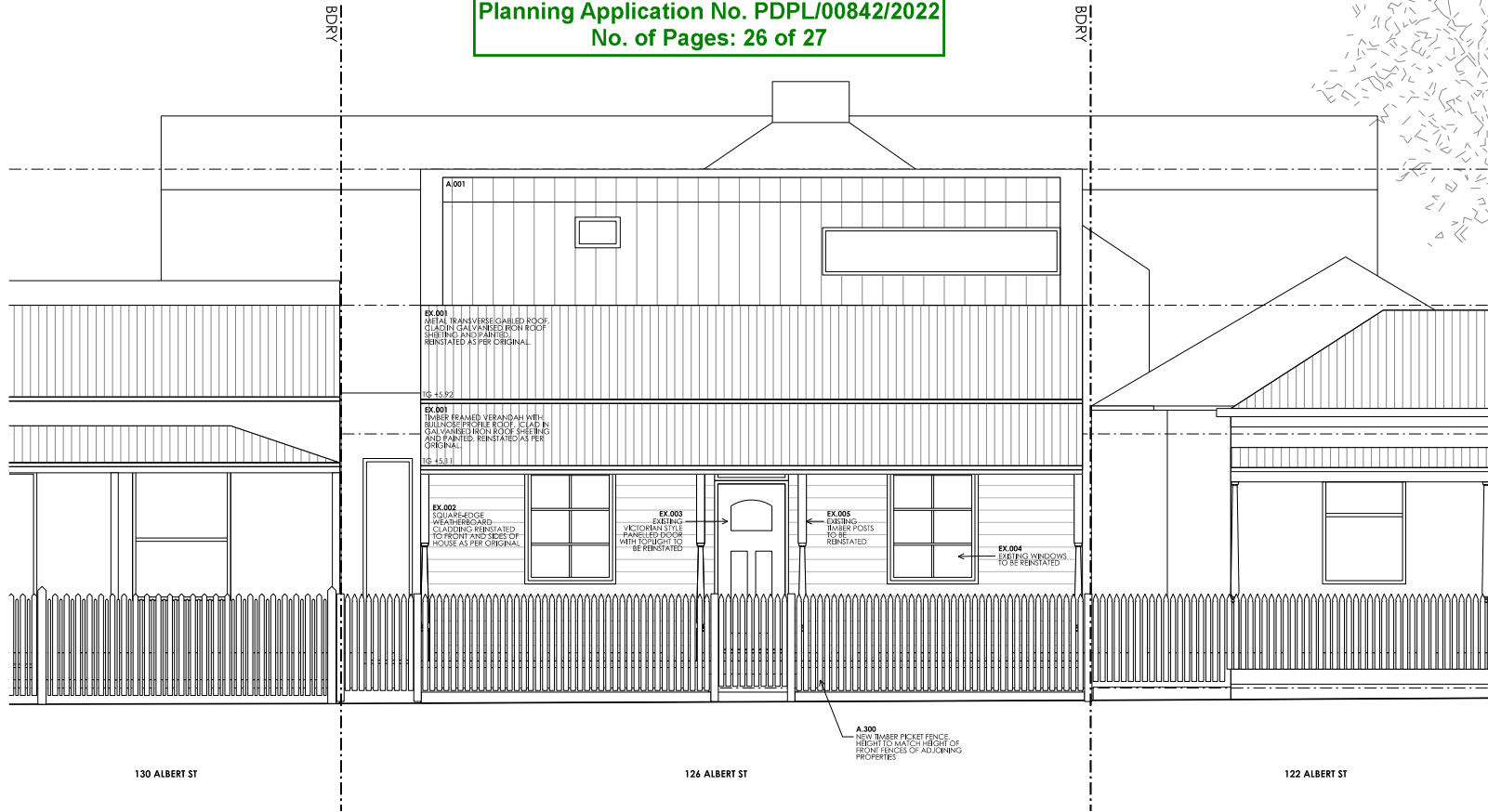
STUDIO ARKIVE  
 1/100 NEW 22nd  
 PORT PHILLIP VIC 3207  
 PH: 03 9588 0316  
 WWW.STUDIOARKIVE.COM  
 PORT PHILLIP PROJECT ID: MCG/2019/NSW ARB #7754 VIC ARB #19267

DRAWING  
 SHADOW DIAGRAMS - 22nd SEPTEMBER - 3pm

BEFORE THE COMMENCEMENT OF WORK, SURVEY AND VERIFY ALL GUIDELINES CHECKED ON-SITE.  
 USE REDDED OVERLAYS ON THIS SCALE.  
 COMPLY WITH RELEVANT AUSTRALIAN REGULATIONS.  
 COMPLY WITH ALL RELEVANT AUSTRALIAN STANDARDS.  
 COPYRIGHT IN ALL DOCUMENTS AND DRAWINGS PREPARED BY STUDIO ARKIVE

PROJECT NO. 0008	DRAWN GM
SCALE @ AS 1:200	CHECKED GM
DWG NO. PPA-S-04	ISSUE B

**City of Port Phillip  
Advertised Plan  
Planning Application No. PDPL/00842/2022  
No. of Pages: 26 of 27**



Attachment 2: Plans

DATE	ISSUE	REVISIONS
28.11.22	A	FOR PLANNING PERMIT
23.01.23	B	FOR PLANNING PERMIT - RH

PROJECT  
126 ALBERT ST, PORT MELBOURNE  
FOR NICHOLE PROVATAS + NIELS HEVYAERT

DRAWING  
DETAILED FRONT (NORTH-WEST) ELEVATION

PROJECT NO.  
0008

DRAWN  
GM

STUDIO ARKIVE  
ARCHITECTS  
11/111 NEW 2204  
210 FOSKETT ROAD  
PORT MELBOURNE VIC 3207  
PH: 081 480 0000  
WWW.STUDIOARKIVE.COM

PLEASE TO THE COMMENCEMENT OF WORK, SURVEY AND VERIFY ALL DIMENSIONS.  
CHECK ALL DIMENSIONS ON SITE.  
USE REDDED DIMENSIONS CHECKED NOT SCALE.  
COMPLY WITH RELEVANT AUTHORITY REGULATIONS.  
COMPLY WITH ALL RELEVANT AUTHORITY REGULATIONS.  
COPYRIGHT IN ALL DOCUMENTS AND DRAWINGS PREPARED BY STUDIO ARKIVE

SCALE @ A3  
1 : 50

DWG NO.  
PPA-2-01

CHECKED  
GM

ISSUE  
B

EXISTING FRONT FACADE



**EX.001**  
GALVANISED IRON ROOF SHEETING (AS PER ORIGINAL)  
FINISH: PAINTED DARK GREY AS PER ORIGINAL  
LOCATION: FRONT TRANSVERSE GABLED ROOF + VERANDAH BULLNOSE ROOF



**EX.002**  
WEATHERBOARD CLADDING (SQUARE-EDGED)  
FINISH: PAINTED AS PER ORIGINAL  
LOCATION: FRONT FACADE WALLS + SIDE FACADE WALLS AT EXISTING PORTION OF HOUSE



**EX.003**  
REINSTATED ORIGINAL VICTORIAN STYLE PANELLED DOOR WITH TOPLIGHT  
FINISH: PAINTED AS PER ORIGINAL  
LOCATION: FRONT FACADE



**EX.004**  
REINSTATED ORIGINAL WINDOWS WITH SIMPLE ARCHITRAVE SURROUND  
FINISH: PAINTED AS PER ORIGINAL  
LOCATION: FRONT FACADE



**EX.005**  
REINSTATED TIMBER VERANDAH POSTS  
FINISH: PAINTED AS PER ORIGINAL  
LOCATION: FRONT FACADE VERANDAH



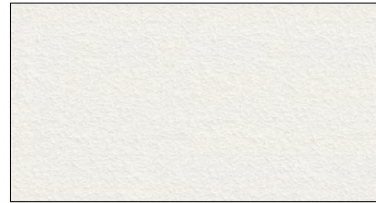
**A.300**  
TIMBER PICKET FENCE  
FINISH: PAINTED AS PER ORIGINAL  
LOCATION: FRONT FENCE



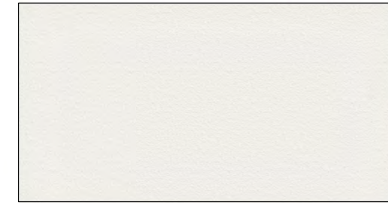
**A.301**  
TIMBER DECKING  
FINISH: NATURAL TIMBER  
LOCATION: FRONT VERANDAH DECKING

DATE	ISSUE	REVISIONS
28.11.22	A	FOR PLANNING PERMIT
23.01.23	B	FOR PLANNING PERMIT + R1

PROPOSED REAR FACADE



**A.001**  
TEXTURED RENDER WALL FINISH 01  
FINISH: OFF-WHITE BEIGE COLOUR  
LOCATION: REAR FACADE AT GROUND FLOOR



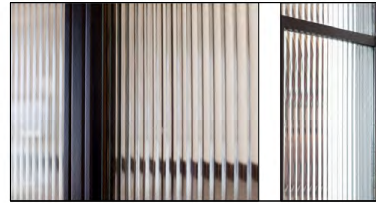
**A.002**  
TEXTURED RENDER WALL FINISH 02  
FINISH: OFF-WHITE BEIGE COLOUR  
LOCATION: REAR FACADE AT FIRST FLOOR, SIDE WALLS AT GF FACADE



**A.502**  
STEEL DOORS  
FINISH: BLACK STEEL FRAMES, CLEAR GLASS  
LOCATION: REAR FACADE AT GROUND FLOOR



**A.501**  
LONGSPAN METAL ROOF SHEETING  
FINISH: SURFMASTER  
LOCATION: REAR ROOF EXTENSION



**A.503**  
STEEL WINDOWS WITH OBSCURED GLASS  
FINISH: BLACK STEEL FRAMES WITH NARROWLINE OBSCURED GLASS TO 1700MM ABOVE FF.  
LOCATION: REAR FACADE AT FIRST FLOOR, FF ENSURE GF BATHROOM

**City of Port Phillip**  
**Advertised Plan**  
**Planning Application No. PDPL/00842/2022**  
**No. of Pages: 27 of 27**

PROJECT 126 ALBERT ST, PORT MELBOURNE FOR NICHOLE PROVATAS + NIELS HEYVAERT	DRAWING EXTERNAL FINISHES SCHEDULE	PROJECT NO. 0008	DRAWN GM
STUDIO ARKIVE 14/100-110/112/114/116/118/120/122/124/126/128/130/132/134/136/138/140/142/144/146/148/150/152/154/156/158/160/162/164/166/168/170/172/174/176/178/180/182/184/186/188/190/192/194/196/198/200/202/204/206/208/210/212/214/216/218/220/222/224/226/228/230/232/234/236/238/240/242/244/246/248/250/252/254/256/258/260/262/264/266/268/270/272/274/276/278/280/282/284/286/288/290/292/294/296/298/300/302/304/306/308/310/312/314/316/318/320/322/324/326/328/330/332/334/336/338/340/342/344/346/348/350/352/354/356/358/360/362/364/366/368/370/372/374/376/378/380/382/384/386/388/390/392/394/396/398/400/402/404/406/408/410/412/414/416/418/420/422/424/426/428/430/432/434/436/438/440/442/444/446/448/450/452/454/456/458/460/462/464/466/468/470/472/474/476/478/480/482/484/486/488/490/492/494/496/498/500/502/504/506/508/510/512/514/516/518/520/522/524/526/528/530/532/534/536/538/540/542/544/546/548/550/552/554/556/558/560/562/564/566/568/570/572/574/576/578/580/582/584/586/588/590/592/594/596/598/600/602/604/606/608/610/612/614/616/618/620/622/624/626/628/630/632/634/636/638/640/642/644/646/648/650/652/654/656/658/660/662/664/666/668/670/672/674/676/678/680/682/684/686/688/690/692/694/696/698/700/702/704/706/708/710/712/714/716/718/720/722/724/726/728/730/732/734/736/738/740/742/744/746/748/750/752/754/756/758/760/762/764/766/768/770/772/774/776/778/780/782/784/786/788/790/792/794/796/798/800/802/804/806/808/810/812/814/816/818/820/822/824/826/828/830/832/834/836/838/840/842/844/846/848/850/852/854/856/858/860/862/864/866/868/870/872/874/876/878/880/882/884/886/888/890/892/894/896/898/900/902/904/906/908/910/912/914/916/918/920/922/924/926/928/930/932/934/936/938/940/942/944/946/948/950/952/954/956/958/960/962/964/966/968/970/972/974/976/978/980/982/984/986/988/990/992/994/996/998/1000	PRIOR TO THE COMMENCEMENT OF WORK, SURVEY AND VERIFY ALL DIMENSIONS CHECK ALL DIMENSIONS ON SITE USE REDUCED DIMENSIONS CHECK DO NOT SCALE COMPLY WITH RELEVANT AUSTRALIAN REGULATIONS COMPLY WITH ALL RELEVANT AUSTRALIAN STANDARDS COMPLY WITH ALL RELEVANT AUSTRALIAN STANDARDS COPYRIGHT IN ALL DOCUMENTS AND DRAWINGS PREPARED BY STUDIO ARKIVE	SCALE @ A3 N15	CHECKED GM
		DWG NO. PPA-1-02	ISSUE B