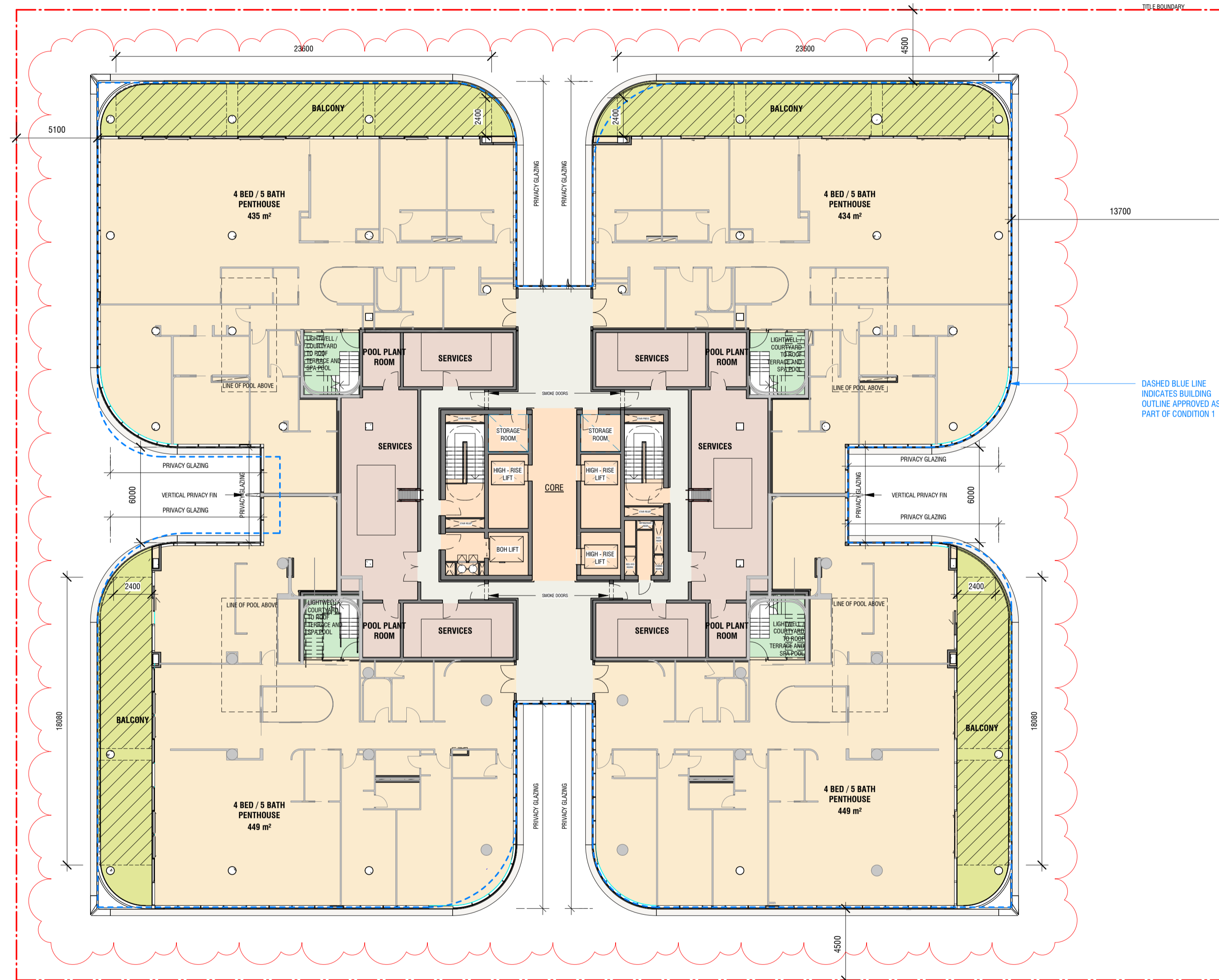


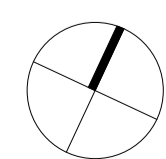
City of Port Phillip  
 Advertised Plan  
 Planning Application No. 1033/2018/A  
 No. of Pages: 21 of 40

**SUMMARY OF ARCHITECTURAL CHANGES:**

- 04: APARTMENT MIX CHANGED SINCE ENDORSEMENT.
- 26: GENERAL UPDATES TO STRUCTURE THROUGHOUT.
- 28: WESTERN FACADE ALCOVE WIDTH INCREASED TO 6M TO MIRROR THE EASTERN FACADE ALCOVE.
- 30: BALCONIES HAVE BEEN REMOVED FROM ALL BUT 4 APARTMENTS ON EACH HOTEL LEVEL & AC CONDENSER UNITS RELOCATED TO PENTHOUSE LEVEL PLANT AREA.
- 32: FRITTED PRIVACY GLAZING INCLUDED WHERE APARTMENTS OVERLOOK EACH OTHER.
- 34: SLAB OUTLINES RATIONALISED TO IMPROVE CONSTRUCTABILITY AND FACADE SHAPING. MINIMAL IMPACT TO BUILDING MASSING AND FORM.
- 35: FACADE FIN DETAILING AND MODELLING UPDATED.
- 42: BUILDING OUTLINE APPROVED AS PART OF CONDITION 1 SHOWN ON PLANS
- 51: WESTERN SETBACK INCREASE NOTED
- 52: VERTICAL TRANSPORT ARRANGEMENT UPDATED.



DASHED BLUE LINE INDICATES BUILDING OUTLINE APPROVED AS PART OF CONDITION 1



Project: **472-474 ST KILDA RD**

Drawing Title: **LEVEL 17 - PENTHOUSE**

Drawing Number: **TP-21-17**

Revision: Date: **10 17/02/2023**

Scale: **1 : 200 @ A1**

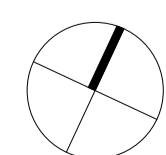
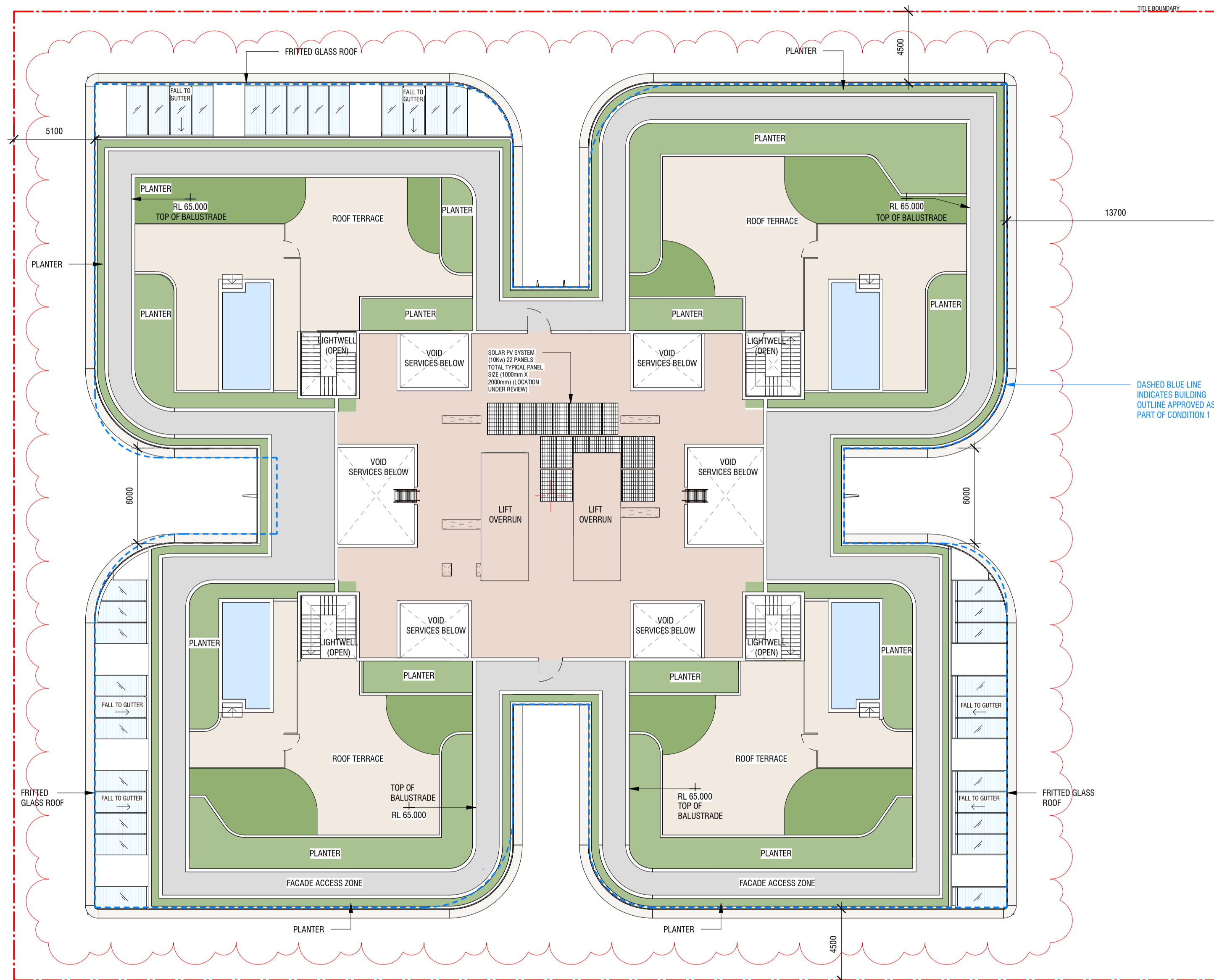
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 Planning Application No. 1033/2018/A  
 No. of Pages: 22 of 40

**SUMMARY OF ARCHITECTURAL CHANGES:**

- 22: ROOF TERRACE LANDSCAPE, POOL LOCATION AND LIGHTWELL LOCATION UPDATED.
- 26: GENERAL UPDATES TO STRUCTURE THROUGHOUT.
- 27: GLASS CANOPY AND STRUCTURAL BEAMS ADDED TO PENTHOUSE TERRACES.
- 28: WESTERN FACADE ALCOVE WIDTH INCREASED TO 6M TO MIRROR THE EASTERN FACADE ALCOVE.
- 34: SLAB OUTLINES RATIONALISED TO IMPROVE CONSTRUCTABILITY AND FACADE SHAPING. MINIMAL IMPACT TO BUILDING MASSING AND FORM.
- 35: FACADE FINS DETAILING AND MODELLING UPDATED.
- 42: BUILDING OUTLINE APPROVED AS PART OF CONDITION 1 SHOWN ON PLANS.
- 51: WESTERN SETBACK INCREASE NOTED
- 52: VERTICAL TRANSPORT ARRANGEMENT UPDATED.



Project:  
**472-474 ST KILDA RD**

Drawing Title:  
**ROOF TERRACE**

Drawing Number:  
**TP-21-18**

Revision: Date:  
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Scale:  
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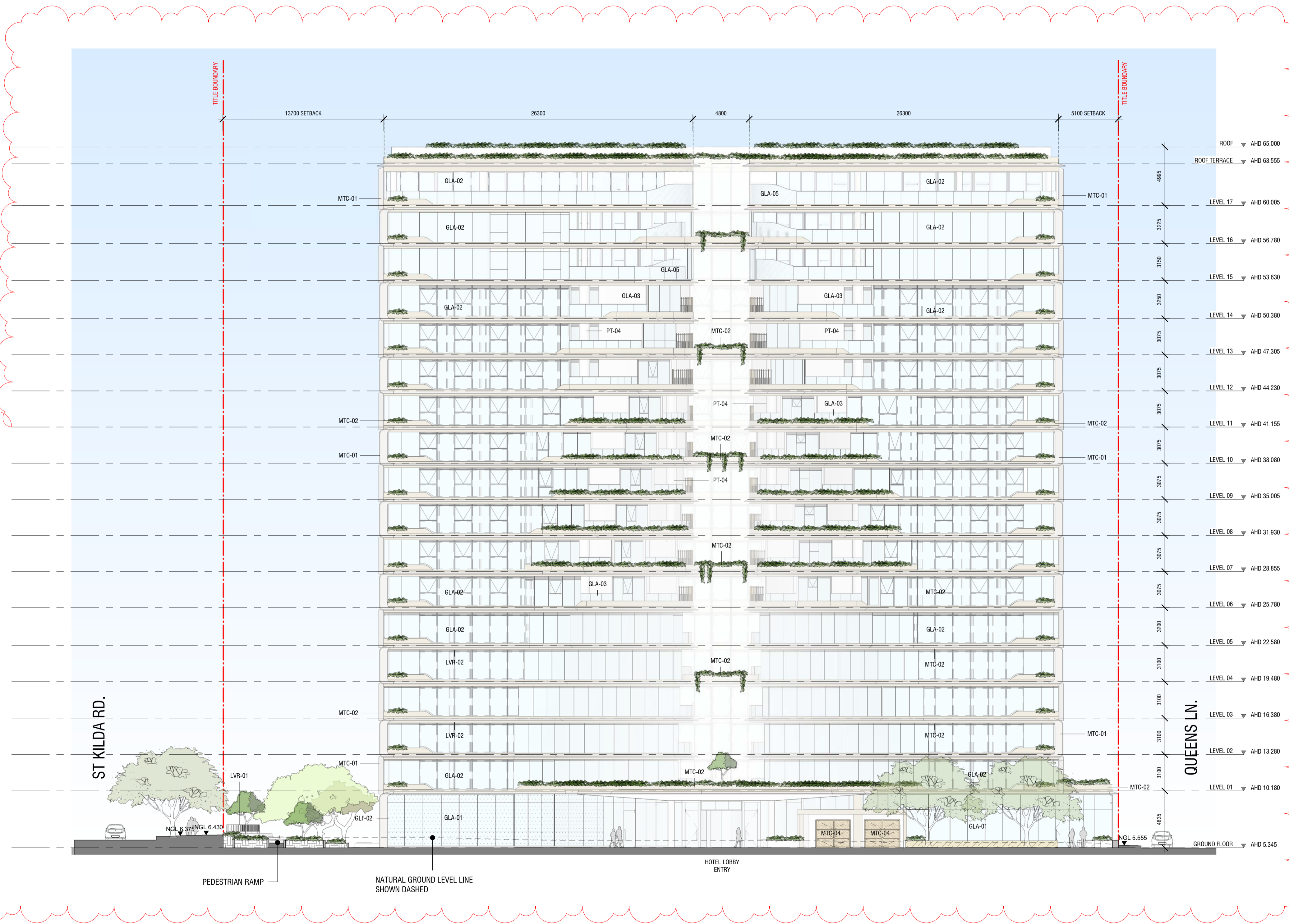
City of Port Phillip  
Advertised Plan  
Planning Application No. 1033/2018/A  
No. of Pages: 23 of 40

**SUMMARY OF ARCHITECTURAL CHANGES:**

- 1: DELETION OF LEVEL 01 PODIUM - LEVEL 01 NOW FORMS PART OF THE TOWER FORM AND IS THE FIRST LEVEL OF SERVICED APARTMENTS.
- 20: GROUND FLOOR LEVEL RAISED TO REDUCE DIFFERENTIAL TO STREET, AND IMPROVE CLEARANCE FOR CAR PARK RAMP ENTRY.
- 31: RESIDENTIAL PRIVACY SCREEN DESIGN AND DETAILING UPDATED.
- 32: FRITTED PRIVACY GLAZING INCLUDED WHERE APARTMENTS OVERLOOK EACH OTHER.
- 33: PRIVACY SCREENS REMOVED FROM HOTEL LEVELS.
- 43: LEVELS ON ELEVATIONS UPDATED TO REFER TO AHD.
- 51: WESTERN SETBACK INCREASE NOTED.
- 54: REDUCED NUMBER OF LARGE TREES TO HIGH RISE FACADE PLANTERS AS PER LANDSCAPE DOCUMENTATION.
- 55: UPDATED CODES, IMAGES AND DESCRIPTIONS OF MATERIALS.

**MATERIAL LEGEND**

- GLA-01** - Clear Glazing Total glass/frame system to achieve thermal performance as required by ESD and facade consultants. Max reflectivity 20%.
- GLA-02** - Silver with Low-E coating. Total glass/frame system to achieve thermal performance as required by ESD and facade consultants. Max reflectivity 20%.
- GLA-03** - Silver Balustrade Glazing. Total glass/frame system to achieve thermal performance as required by ESD and facade consultants. Max reflectivity 20%.
- GLA-04** - Fritted Privacy Glazing. Total glass/frame system to achieve thermal performance as required by ESD and facade consultants. Max reflectivity 20%.
- GLA-05** - Balustrade Glazing with Frit. Total glass/frame system to achieve thermal performance as required by ESD and facade consultants. Max reflectivity 20%.
- GLF-02** - Custom artwork decal
- MTC-01** - Powdercoated solid aluminium clad finish fins. Matte finish. Colour: TBC
- MTC-02** - Powdercoated solid aluminium clad finish panel. Matte finish. Colour: TBC
- MTC-03** - Powdercoated solid aluminium cladding. Matte finish. Colour: TBC
- MTC-04** - Powdercoated custom perforated aluminium clad finish panel. Matte finish. Colour: TBC
- LVR-01** - Vertical louvre screen
- LVR-02** - Horizontal mechanical louvres with perforated mesh
- CONC-01** - In-situ concrete. Class 2 finish to all exposed faces (smooth cast)
- CONC-02** - In-situ concrete wall with vertical ribs
- PT-03** - Exterior paint, Dulux Domino or similar
- PT-04** - Exterior paint, Dulux Natural White or similar



NORTH ELEVATION  
SCALE 1 : 200

Project:  
**472-474 ST KILDA RD**

Drawing Title:  
**NORTH ELEVATION**

Drawing Number:  
**TP-30-01**

Revision: Date:  
**7 17/02/2023**

Scale:  
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A1**

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No. of Pages: 24 of 40

**SUMMARY OF ARCHITECTURAL CHANGES:**

1: DELETION OF LEVEL 01 PODIUM - LEVEL 01 NOW FORMS PART OF THE TOWER FORM AND IS THE FIRST LEVEL OF SERVICED APARTMENTS.

20: GROUND FLOOR LEVEL RAISED TO REDUCE DIFFERENTIAL TO STREET, AND IMPROVE CLEARANCE FOR CAR PARK RAMP ENTRY.

31: RESIDENTIAL PRIVACY SCREEN DESIGN AND DETAILING UPDATED.

32: FRITTED PRIVACY GLAZING INCLUDED WHERE APARTMENTS OVERLOOK EACH OTHER.

33: PRIVACY SCREENS REMOVED FROM HOTEL LEVELS.

43: LEVELS ON ELEVATIONS UPDATED TO REFER TO AHD.

54: REDUCED NUMBER OF LARGE TREES TO HIGH RISE FACADE PLANTERS AS PER LANDSCAPE DOCUMENTATION.

55: UPDATED CODES, IMAGES AND DESCRIPTIONS OF MATERIALS.



**EAST ELEVATION**  
SCALE 1 : 200

**MATERIAL LEGEND**

- GLA-01** - Clear Glazing Total glass/frame system to achieve thermal performance as required by ESD and facade consultants. Max reflectivity 20%.
- GLA-02** - Silver with Low-E coating. Total glass/frame system to achieve thermal performance as required by ESD and facade consultants. Max reflectivity 20%.
- GLA-03** - Silver Balustrade Glazing. Total glass/frame system to achieve thermal performance as required by ESD and facade consultants. Max reflectivity 20%.
- GLA-04** - Fritted Privacy Glazing. Total glass/frame system to achieve thermal performance as required by ESD and facade consultants. Max reflectivity 20%.
- GLA-05** - Balustrade Glazing with Frit. Total glass/frame system to achieve thermal performance as required by ESD and facade consultants. Max reflectivity 20%.
- GLF-02** - Custom artwork decal
- MTC-01** - Powdercoated solid aluminium clad finish fins. Matte finish. Colour: TBC
- MTC-02** - Powdercoated solid aluminium clad finish panel. Matte finish. Colour: TBC
- MTC-03** - Powdercoated solid aluminium cladding. Matte finish. Colour: TBC
- MTC-04** - Powdercoated custom perforated aluminium clad finish panel. Matte finish. Colour: TBC
- LVR-01** - Vertical louvre screen
- LVR-02** - Horizontal mechanical louvres with perforated mesh
- CONC-01** - In-situ concrete. Class 2 finish to all exposed faces (smooth cast)
- CONC-02** - In-situ concrete wall with vertical ribs
- PT-03** - Exterior paint, Dulux Domino or similar
- PT-04** - Exterior paint, Dulux Natural White or similar

Project:  
**472-474 ST KILDA RD**

Drawing Title:  
**EAST ELEVATION**

Drawing Number:  
**TP-30-02**

Revision: Date:  
**7 17/02/2023**

Scale:  
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No. of Pages: 25 of 40

**SUMMARY OF ARCHITECTURAL CHANGES:**

1: DELETION OF LEVEL 01 PODIUM - LEVEL 01 NOW FORMS PART OF THE TOWER FORM AND IS THE FIRST LEVEL OF SERVICED APARTMENTS.

19: PLANNING ADJUSTMENTS TO SERVICES AT GROUND FLOOR ALONG QUEENS LANE AND THE SOUTHERN LANEWAY.

20: GROUND FLOOR LEVEL RAISED TO REDUCE DIFFERENTIAL TO STREET, AND IMPROVE CLEARANCE FOR CAR PARK RAMP ENTRY.

31: RESIDENTIAL PRIVACY SCREEN DESIGN AND DETAILING UPDATED.

32: FRITTED PRIVACY GLAZING INCLUDED WHERE APARTMENTS OVERLOOK EACH OTHER.

33: PRIVACY SCREENS REMOVED FROM HOTEL LEVELS.

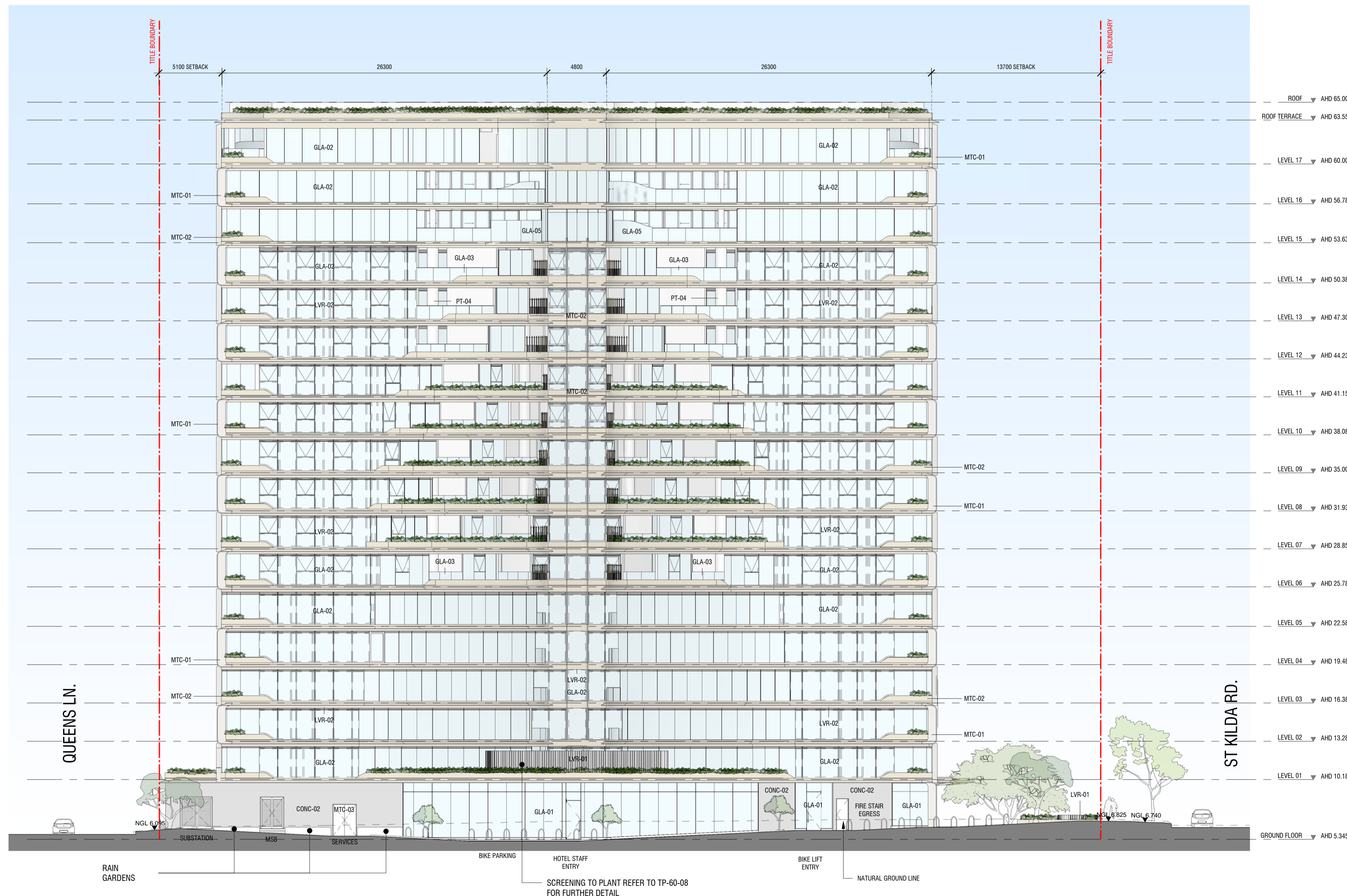
43: LEVELS ON ELEVATIONS UPDATED TO REFER TO AHD.

51: WESTERN SETBACK INCREASE NOTED.

53: LARGE FACADE PLANTERS REMOVED FROM SOUTHERN ELEVATION AS PER CONSULTANT ADVICE THERE WOULD BE INSUFFICIENT LIGHT FOR HEALTHY PLANT GROWTH.

54: REDUCED NUMBER OF LARGE TREES TO HIGH RISE FACADE PLANTERS AS PER LANDSCAPE DOCUMENTATION.

55: UPDATED CODES, IMAGES AND DESCRIPTIONS OF MATERIALS.



**MATERIAL LEGEND**

- GLA-01** - Clear Glazing Total glass/frame system to achieve thermal performance as required by ESD and facade consultants. Max reflectivity 20%.
- GLA-02** - Silver with Low-E coating. Total glass/frame system to achieve thermal performance as required by ESD and facade consultants. Max reflectivity 20%.
- GLA-03** - Silver Balustrade Glazing. Total glass/frame system to achieve thermal performance as required by ESD and facade consultants. Max reflectivity 20%.
- GLA-04** - Fritted Privacy Glazing. Total glass/frame system to achieve thermal performance as required by ESD and facade consultants. Max reflectivity 20%.
- GLA-05** - Balustrade Glazing with Frit. Total glass/frame system to achieve thermal performance as required by ESD and facade consultants. Max reflectivity 20%.
- GLF-02** - Custom artwork decal
- MTC-01** - Powdercoated solid aluminium clad finish fins. Matte finish. Colour: TBC
- MTC-02** - Powdercoated solid aluminium clad finish panel. Matte finish. Colour: TBC
- MTC-03** - Powdercoated solid aluminium cladding. Matte finish. Colour: TBC
- MTC-04** - Powdercoated custom perforated aluminium clad finish panel. Matte finish. Colour: TBC
- LVR-01** - Vertical louvre screen
- LVR-02** - Horizontal mechanical louvers with perforated mesh
- CONC-01** - In-situ concrete. Class 2 finish to all exposed faces (smooth cast)
- CONC-02** - In-situ concrete wall with vertical ribs
- PT-03** - Exterior paint, Dulux Domino or similar
- PT-04** - Exterior paint, Dulux Natural White or similar

**SOUTH ELEVATION**  
SCALE 1 : 200

Project:  
**472-474 ST KILDA RD**

Drawing Title:  
**SOUTH ELEVATION**

Drawing Number:  
**TP-30-03**

Revision: Date:  
**8 17/02/2023**

Scale:  
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 No. of Pages: 26 of 40

**SUMMARY OF ARCHITECTURAL CHANGES:**

1: DELETION OF LEVEL 01 PODIUM - LEVEL 01 NOW FORMS PART OF THE TOWER FORM AND IS THE FIRST LEVEL OF SERVICED APARTMENTS.

14: FRITTED GLASS REMOVED FROM WEST FACADE.

19: PLANNING ADJUSTMENTS TO SERVICES AT GROUND FLOOR ALONG QUEENS LANE AND THE SOUTHERN LANEWAY.

20: GROUND FLOOR LEVEL RAISED TO REDUCE DIFFERENTIAL TO STREET, AND IMPROVE CLEARANCE FOR CAR PARK RAMP ENTRY.

31: RESIDENTIAL PRIVACY SCREEN DESIGN AND DETAILING UPDATED.

32: FRITTED PRIVACY GLAZING INCLUDED WHERE APARTMENTS OVERLOOK EACH OTHER.

33: PRIVACY SCREENS REMOVED FROM HOTEL LEVELS.

43: LEVELS ON ELEVATIONS UPDATED TO REFER TO AHD.

54: REDUCED NUMBER OF LARGE TREES TO HIGH RISE FACADE PLANTERS AS PER LANDSCAPE DOCUMENTATION.

55: UPDATED CODES, IMAGES AND DESCRIPTIONS OF MATERIALS.



WEST ELEVATION  
 SCALE 1 : 200

**MATERIAL LEGEND**

- GLA-01** - Clear Glazing Total glass/frame system to achieve thermal performance as required by ESD and facade consultants. Max reflectivity 20%.
- GLA-02** - Silver with Low-E coating. Total glass/frame system to achieve thermal performance as required by ESD and facade consultants. Max reflectivity 20%.
- GLA-03** - Silver Balustrade Glazing. Total glass/frame system to achieve thermal performance as required by ESD and facade consultants. Max reflectivity 20%.
- GLA-04** - Fritted Privacy Glazing. Total glass/frame system to achieve thermal performance as required by ESD and facade consultants. Max reflectivity 20%.
- GLA-05** - Balustrade Glazing with Frit. Total glass/frame system to achieve thermal performance as required by ESD and facade consultants. Max reflectivity 20%.
- GLF-02** - Custom artwork decal
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- MTC-03** - Powdercoated solid aluminium cladding. Matte finish. Colour: TBC
- MTC-04** - Powdercoated custom perforated aluminium clad finish panel. Matte finish. Colour: TBC
- LVR-01** - Vertical louvre screen
- LVR-02** - Horizontal mechanical louvres with perforated mesh
- CONC-01** - In-situ concrete. Class 2 finish to all exposed faces (smooth cast)
- CONC-02** - In-situ concrete wall with vertical ribs
- PT-03** - Exterior paint, Dulux Domino or similar
- PT-04** - Exterior paint, Dulux Natural White or similar

Project:  
**472-474 ST KILDA RD**

Drawing Title:  
**WEST ELEVATION**

Drawing Number:  
**TP-30-04**

Revision: Date:  
**10 17/02/2023**

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**SUMMARY OF ARCHITECTURAL CHANGES:**

1: DELETION OF LEVEL 01 PODIUM - LEVEL 01 NOW FORMS PART OF THE TOWER FORM AND IS THE FIRST LEVEL OF SERVICED APARTMENTS.

19: PLANNING ADJUSTMENTS TO SERVICES AT GROUND FLOOR ALONG QUEENS LANE AND THE SOUTHERN LANEWAY.

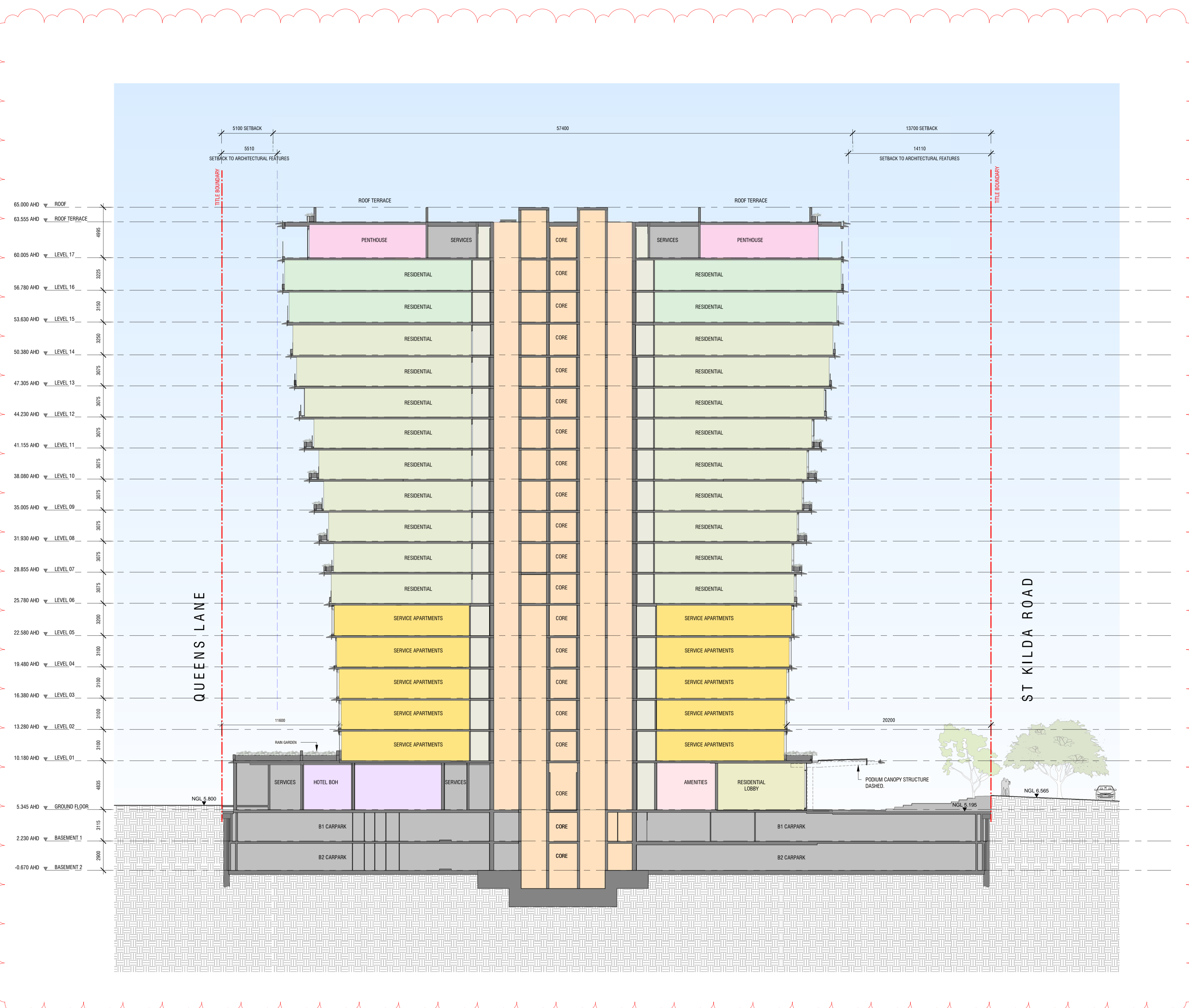
20: GROUND FLOOR LEVEL RAISED TO REDUCE DIFFERENTIAL TO STREET, AND IMPROVE CLEARANCE FOR CAR PARK RAMP ENTRY.

44: VERTICAL LINE ADDED TO SHOW EXTENSION OF ARCHITECTURAL FEATURES IN RELATION TO SETBACK REQUIREMENTS.

49: RAINGARDENS ADDED ON GROUND FLOOR AND LEVEL 01.

51: WESTERN SETBACK INCREASE NOTED.

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No. of Pages: 27 of 40



Project:  
**472-474 ST KILDA RD**

Drawing Title:  
**SECTION A-A**

Drawing Number:  
**TP-40-01**

Revision: Date:  
**7 17/02/2023**

Scale:  
**1 : 200 @ A1**

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**SUMMARY OF ARCHITECTURAL CHANGES:**

1: DELETION OF LEVEL 01 PODIUM - LEVEL 01 NOW FORMS PART OF THE TOWER FORM AND IS THE FIRST LEVEL OF SERVICED APARTMENTS.

19: PLANNING ADJUSTMENTS TO SERVICES AT GROUND FLOOR ALONG QUEENS LANE AND THE SOUTHERN LANEWAY.

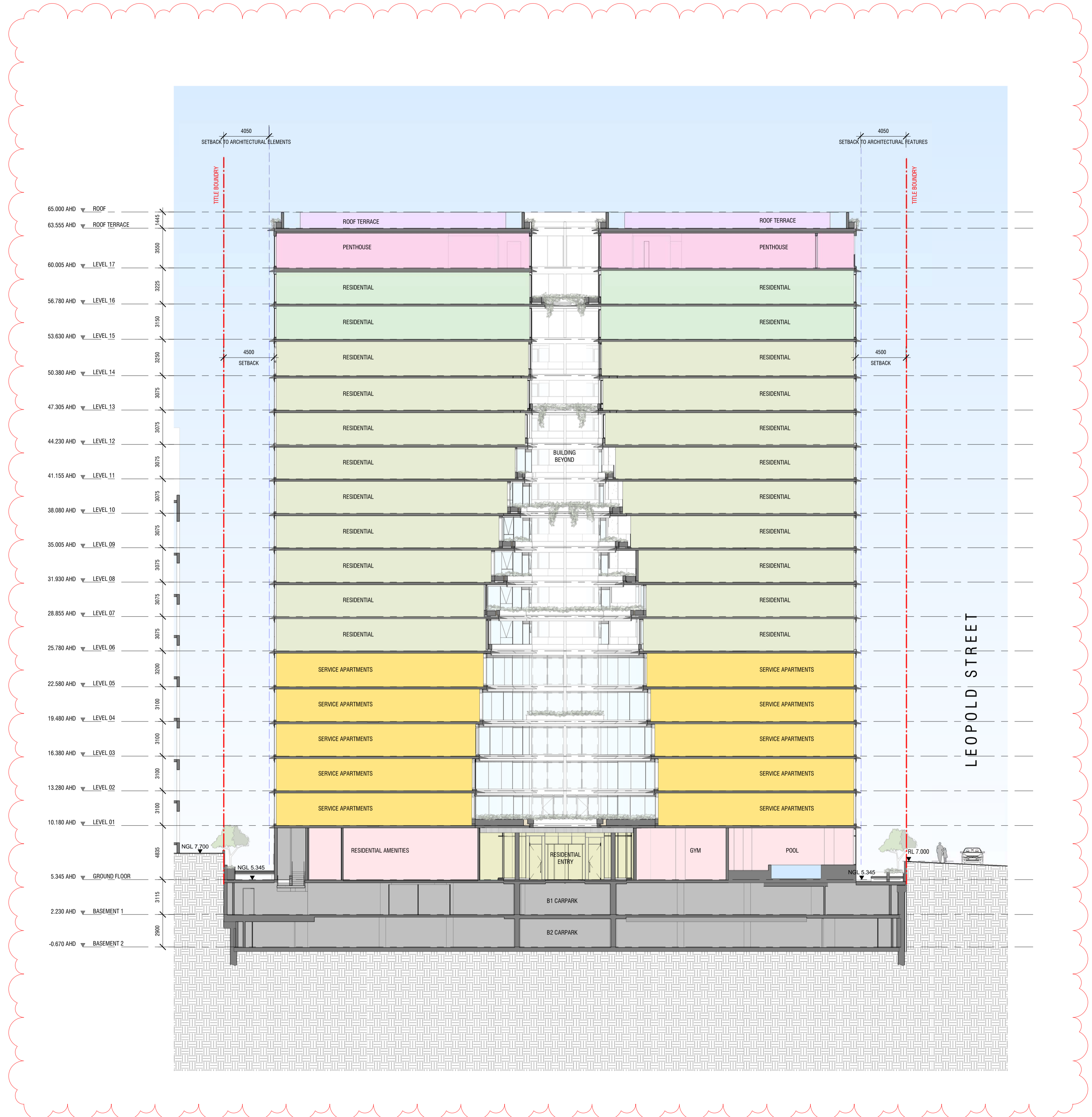
20: GROUND FLOOR LEVEL RAISED TO REDUCE DIFFERENTIAL TO STREET, AND IMPROVE CLEARANCE FOR CAR PARK RAMP ENTRY.

44: VERTICAL LINE ADDED TO SHOW EXTENSION OF ARCHITECTURAL FEATURES IN RELATION TO SETBACK REQUIREMENTS.

49: RAINGARDENS ADDED ON GROUND FLOOR AND LEVEL 01.

51: WESTERN SETBACK INCREASE NOTED.

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Advertised Plan  
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No. of Pages: 28 of 40**



Project:  
**472-474 ST KILDA RD**

Drawing Title:  
**SECTION B-B**

Drawing Number:  
**TP-40-02**

Revision: Date:  
**6 17/02/2023**

Scale:  
**1 : 200 @ A1**

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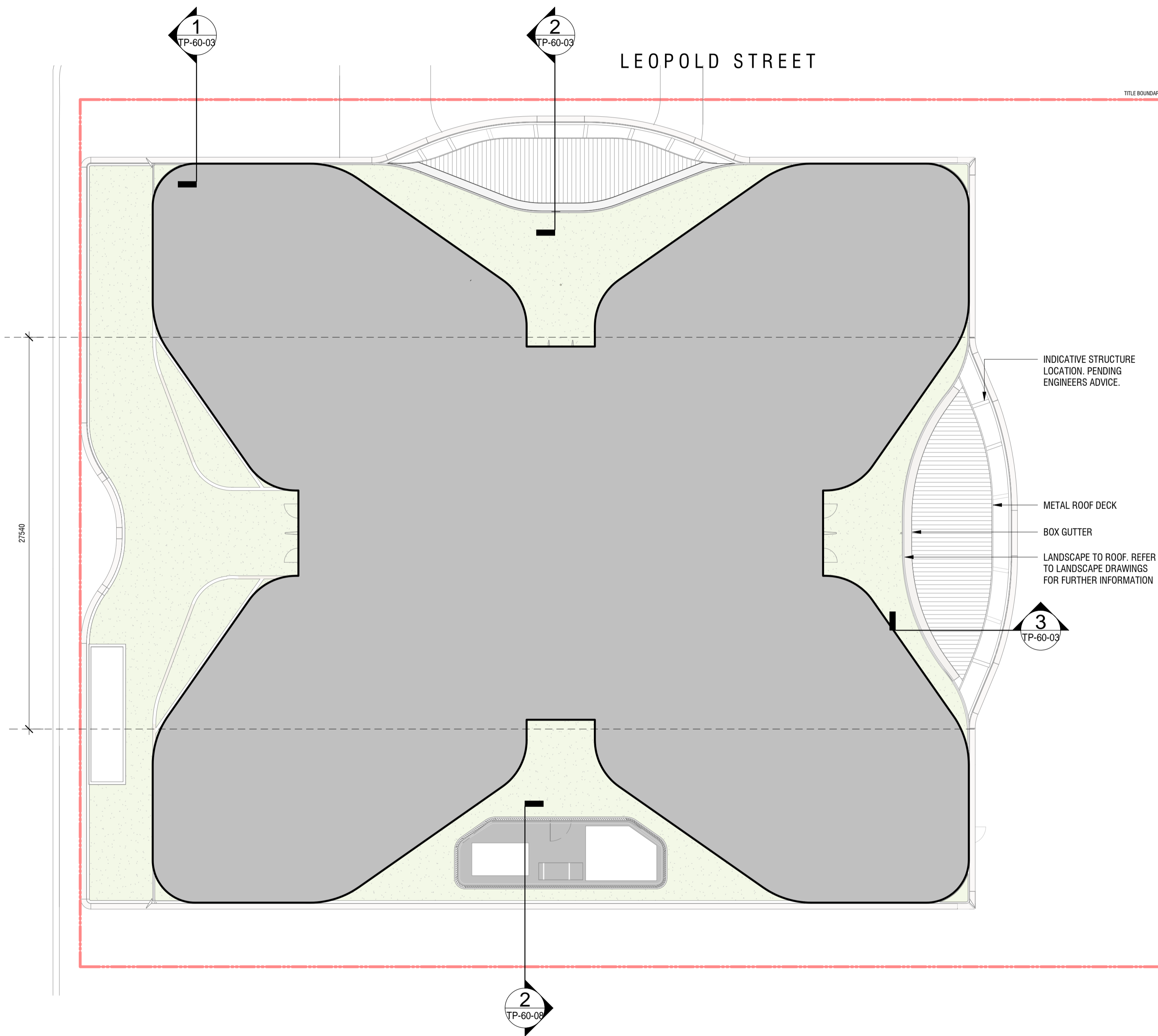


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 Planning Application No. 1033/2018/A  
 No. of Pages: 29 of 40

**SUMMARY OF ARCHITECTURAL CHANGES:**

1: DELETION OF LEVEL 01 PODIUM - LEVEL 01 NOW FORMS PART OF THE TOWER FORM AND IS THE FIRST LEVEL OF SERVICED APARTMENTS.

25: GROUND FLOOR CANOPY TO ST KILDA RD AND LEOPOLD ST DESIGN AND DETAILING DEVELOPED.



**1** CANOPY PLAN  
 A12-0010 SCALE 1:200



**MTC-01**  
 Powdercoated solid aluminium clad finish  
 fms. Matte finish. Colour: TBC

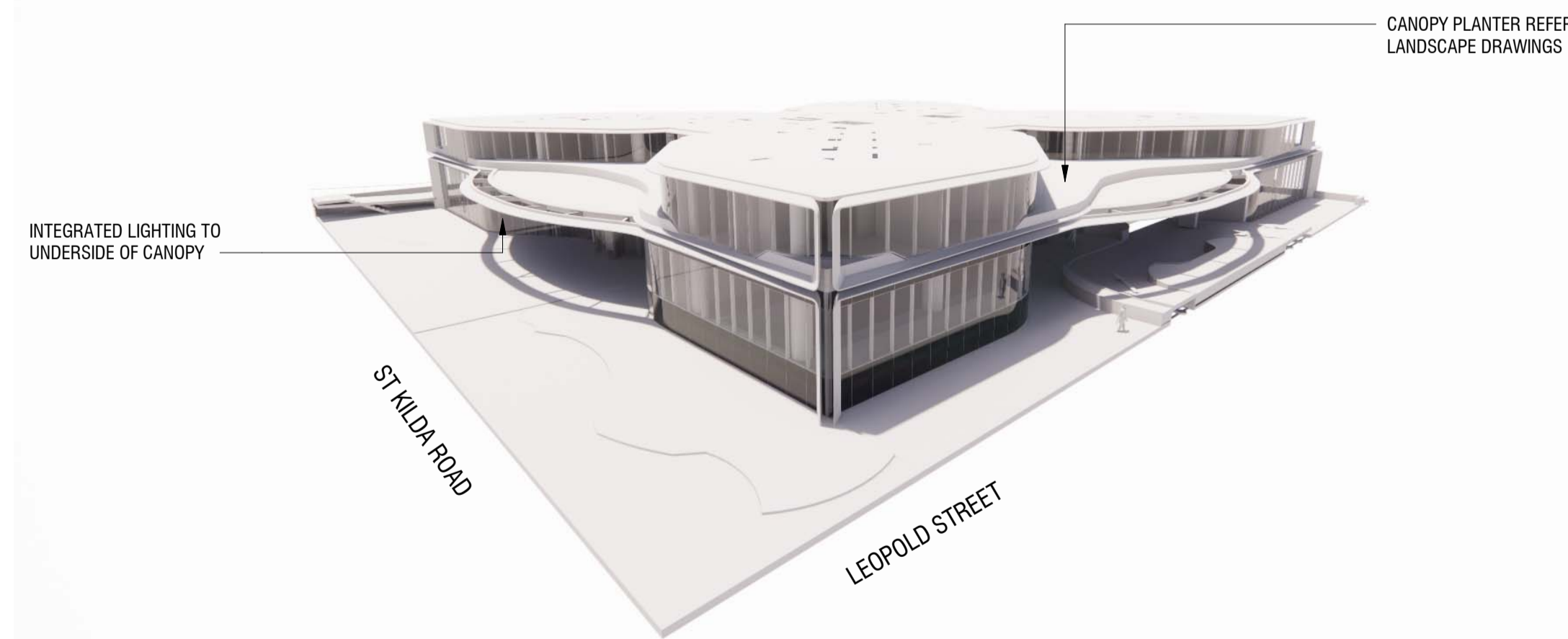


**2** CANOPY VIEW FROM ST KILDA ROAD  
 SCALE 1:1



IMAGE INDICATIVE ONLY - FOR LANDSCAPE GREENERY INTENT

ST KILDA ROAD



**3** PODIUM CANOPY  
 SCALE 1:1

Project:  
**472-474 ST KILDA RD**

Drawing Title:  
**PODIUM CANOPY**

Drawing Number:  
**TP-60-02**

Revision: Date:  
**3 17/02/2023**

Scale:  
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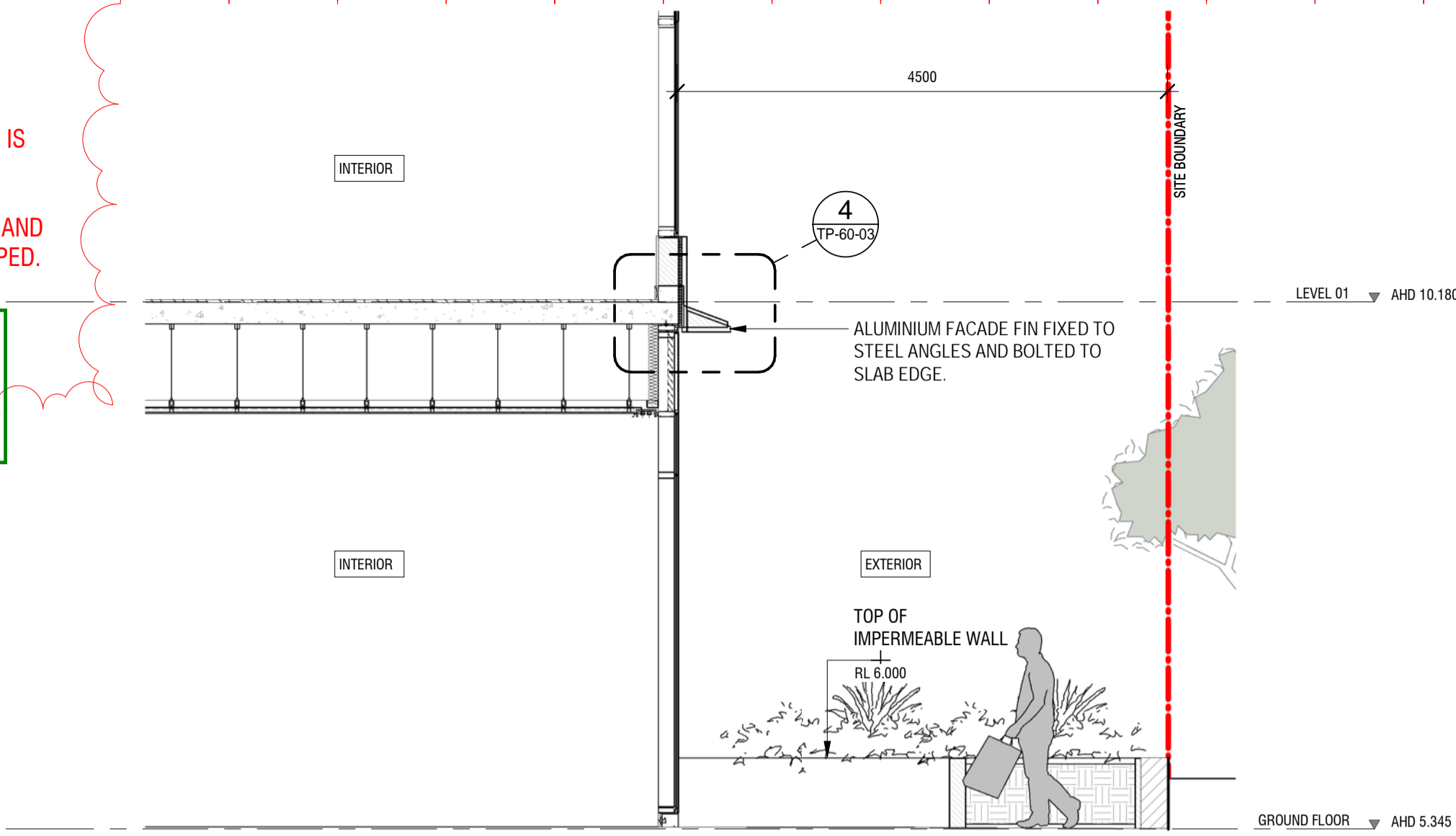


**SUMMARY OF ARCHITECTURAL CHANGES:**

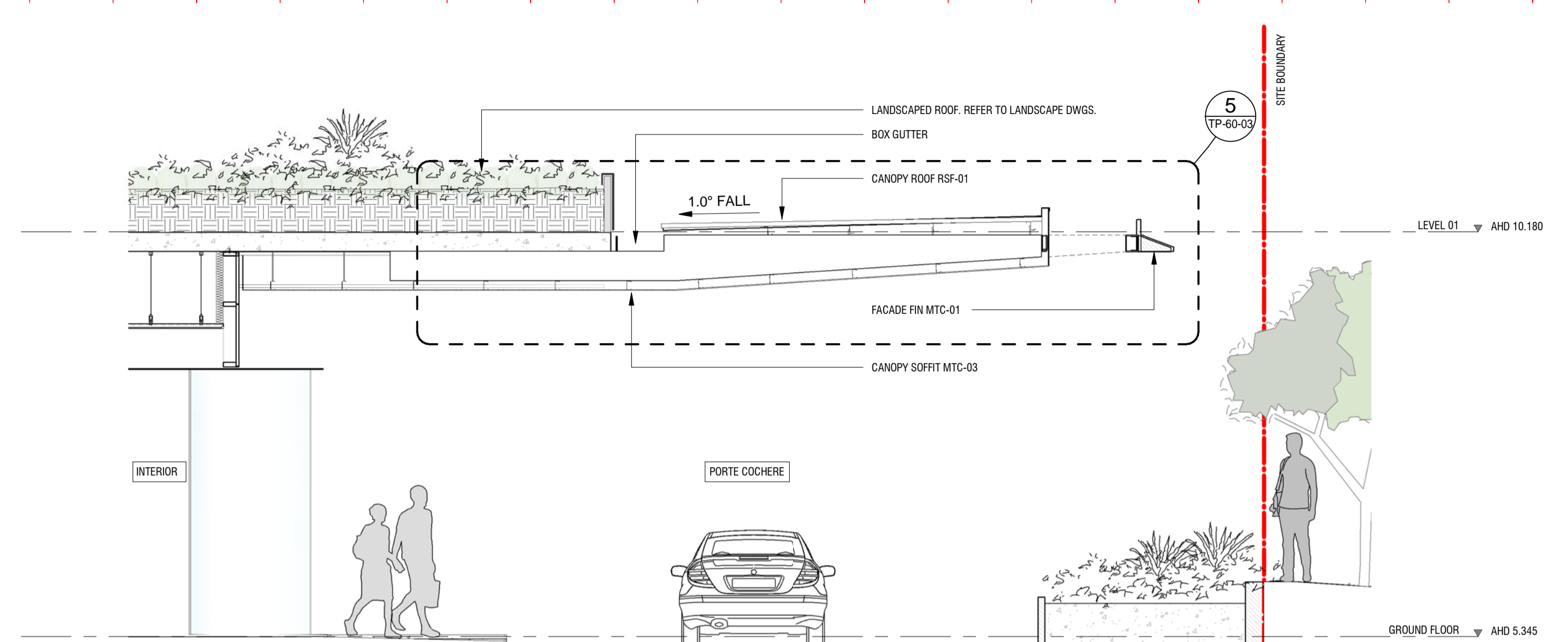
1: DELETION OF LEVEL 01 PODIUM - LEVEL 01 NOW FORMS PART OF THE TOWER FORM AND IS THE FIRST LEVEL OF SERVICED APARTMENTS.

25: GROUND FLOOR CANOPY TO ST KILDA RD AND LEOPOLD ST DESIGN AND DETAILING DEVELOPED.

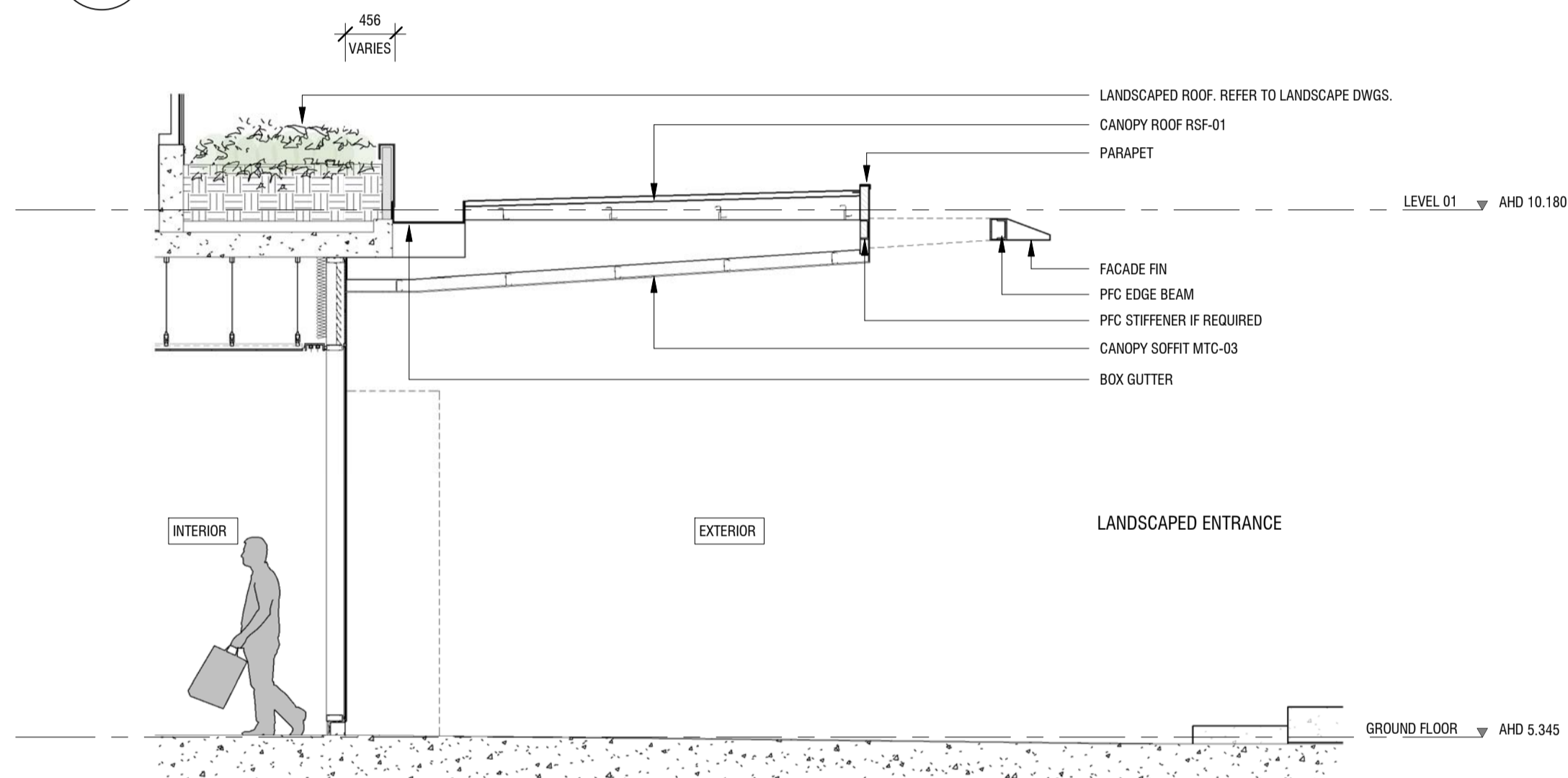
City of Port Phillip  
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Planning Application No. 1033/2018/A  
No. of Pages: 30 of 40



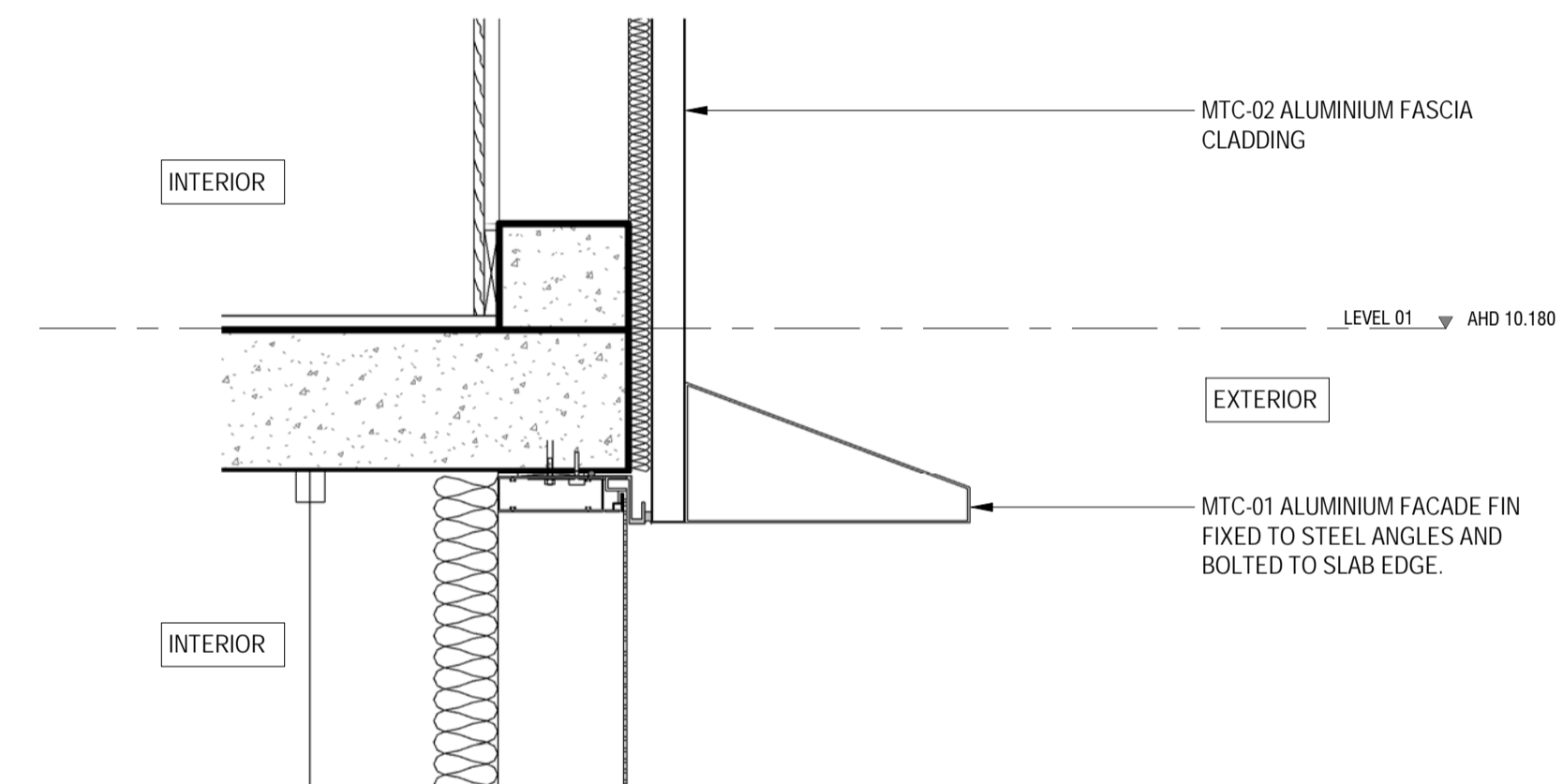
1 TYPICAL PODIUM CANOPY LEOPOLD ST- SECTION 1  
SCALE 1:50



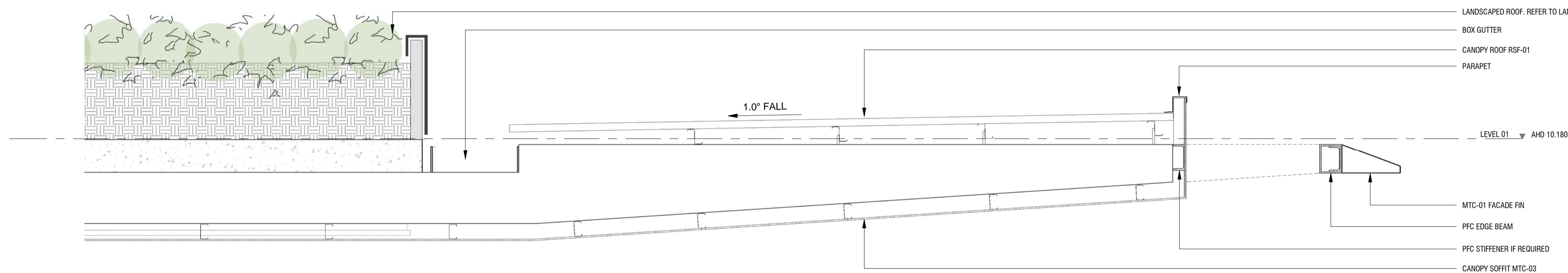
2 TYPICAL PODIUM CANOPY LEOPOLD ST- SECTION 3  
SCALE 1:50



3 TYPICAL PODIUM CANOPY ST KILDA RD - SECTION 2  
SCALE 1:50



4 PODIUM CANOPY - TYPICAL SECTION 1  
SCALE 1:10



5 PODIUM CANOPY - TYPICAL SECTION 2  
SCALE 1:20



**SUMMARY OF ARCHITECTURAL CHANGES:**

**29: VOIDS INTRODUCED TO THE LARGE FACADE PLANTERS AT ALCOVES FOR FACADE ACCESS AND IMPROVED DAYLIGHT PENETRATION.**

**32: RESIDENTIAL PRIVACY SCREEN DESIGN AND DETAILING UPDATED.**

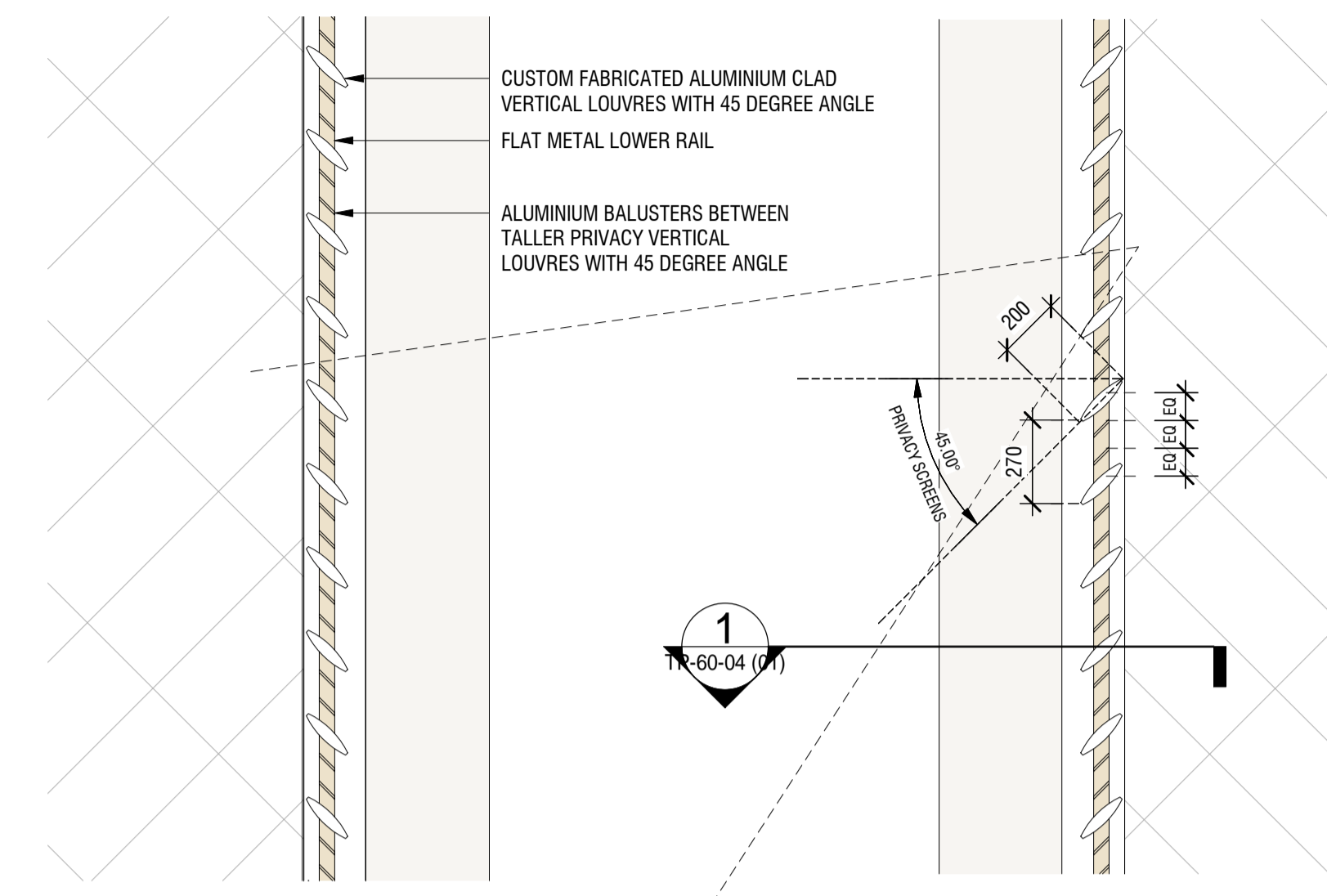
**35: FACADE FINS DETAILING AND MODELLING UPDATED.**

CUSTOM FABRICATED 1700MM HEIGHT ALUMINIUM CLAD VERTICAL LOUVRES WITH 45 DEGREE ANGLE  
FLAT METAL BALUSTRADE

VERTICAL PRIVACY FIN  
CUSTOM FABRICATED 1700MM HEIGHT ALUMINIUM CLAD VERTICAL LOUVRES WITH 45 DEGREE ANGLE  
FLAT METAL BALUSTRADE



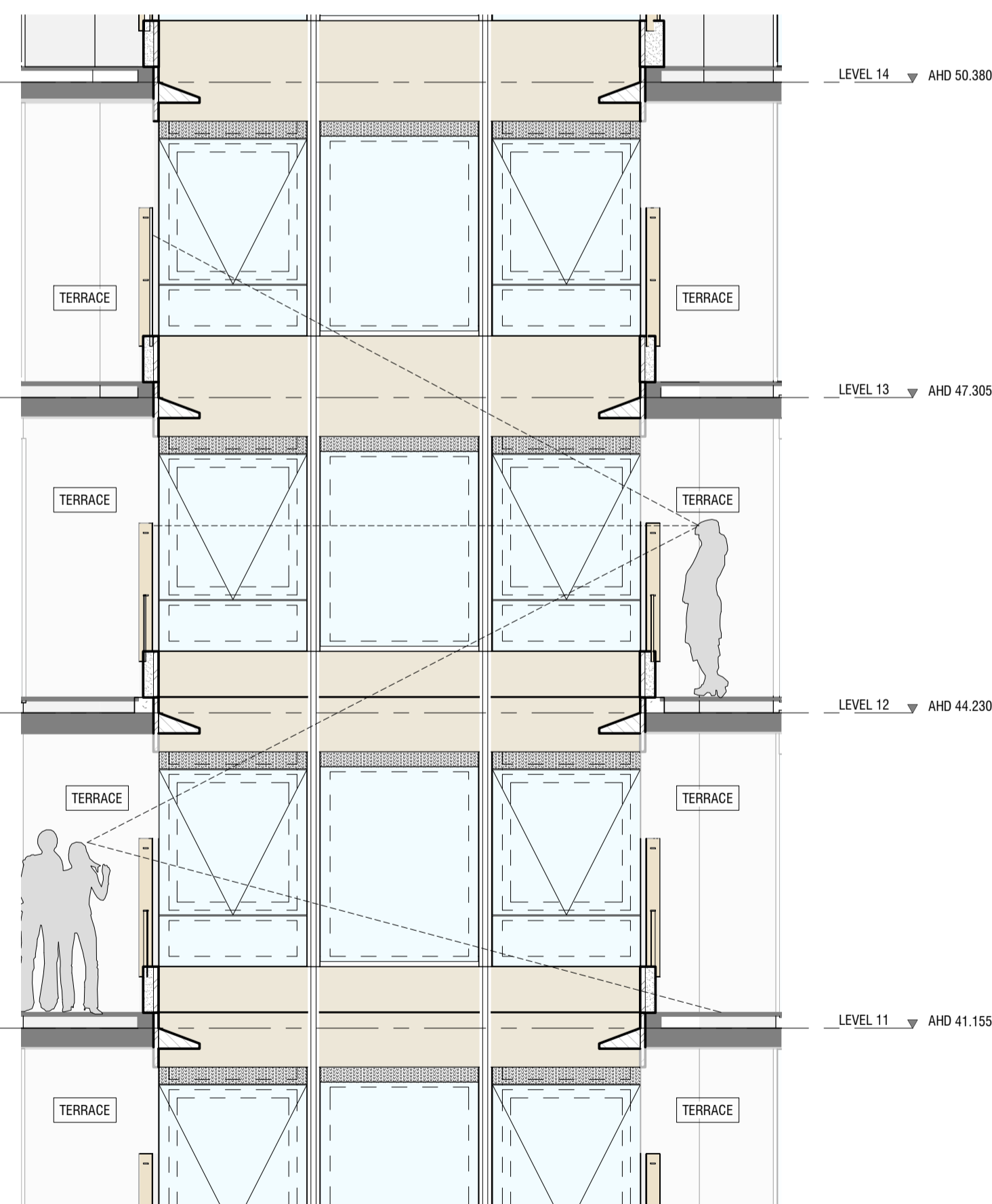
**City of Port Phillip  
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Planning Application No. 1033/2018/A  
No. of Pages: 31 of 40**



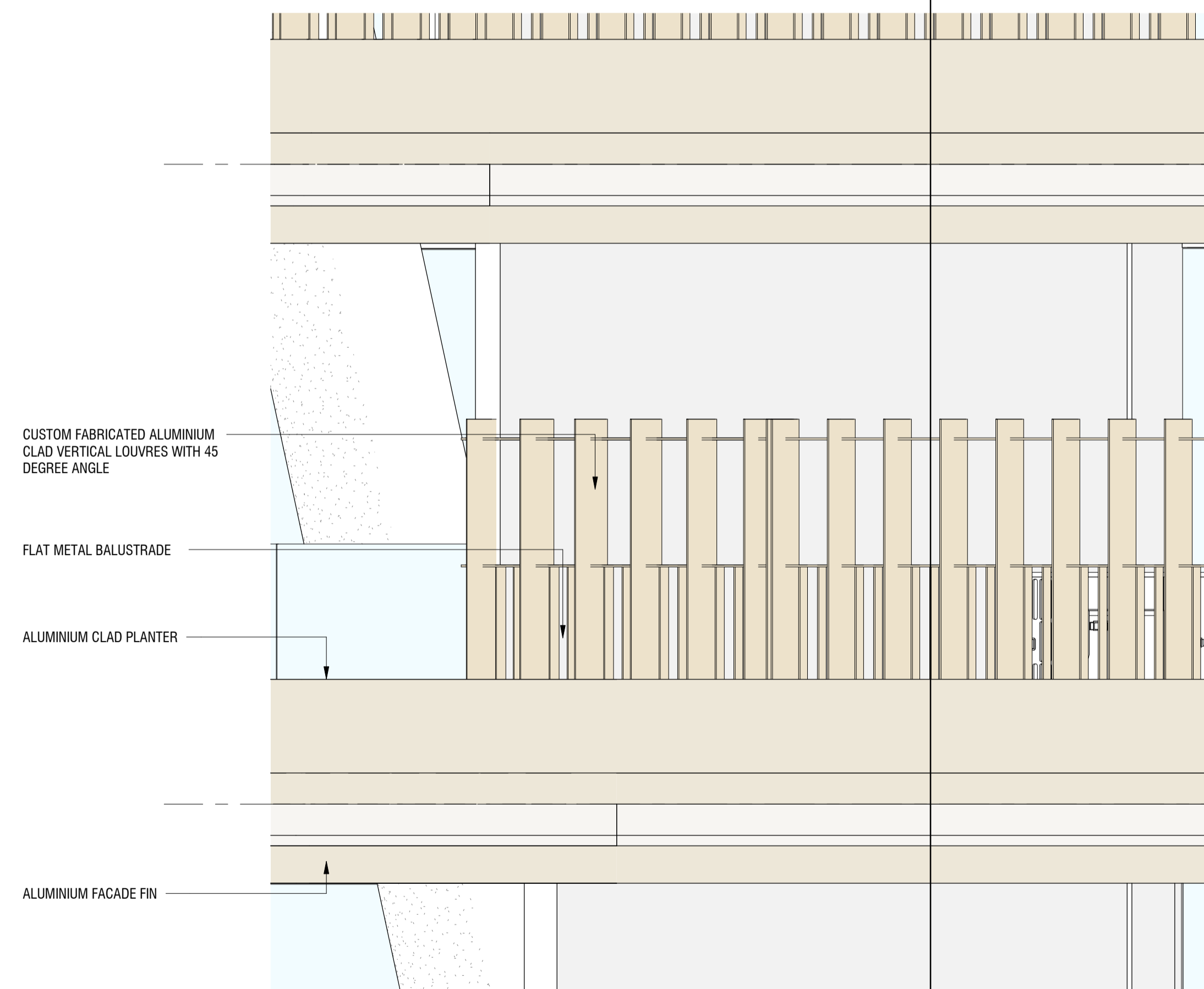
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TP-60-04 (01)

**PRIVACY SCREENS - SOUTH WEST**  
SCALE 1:20

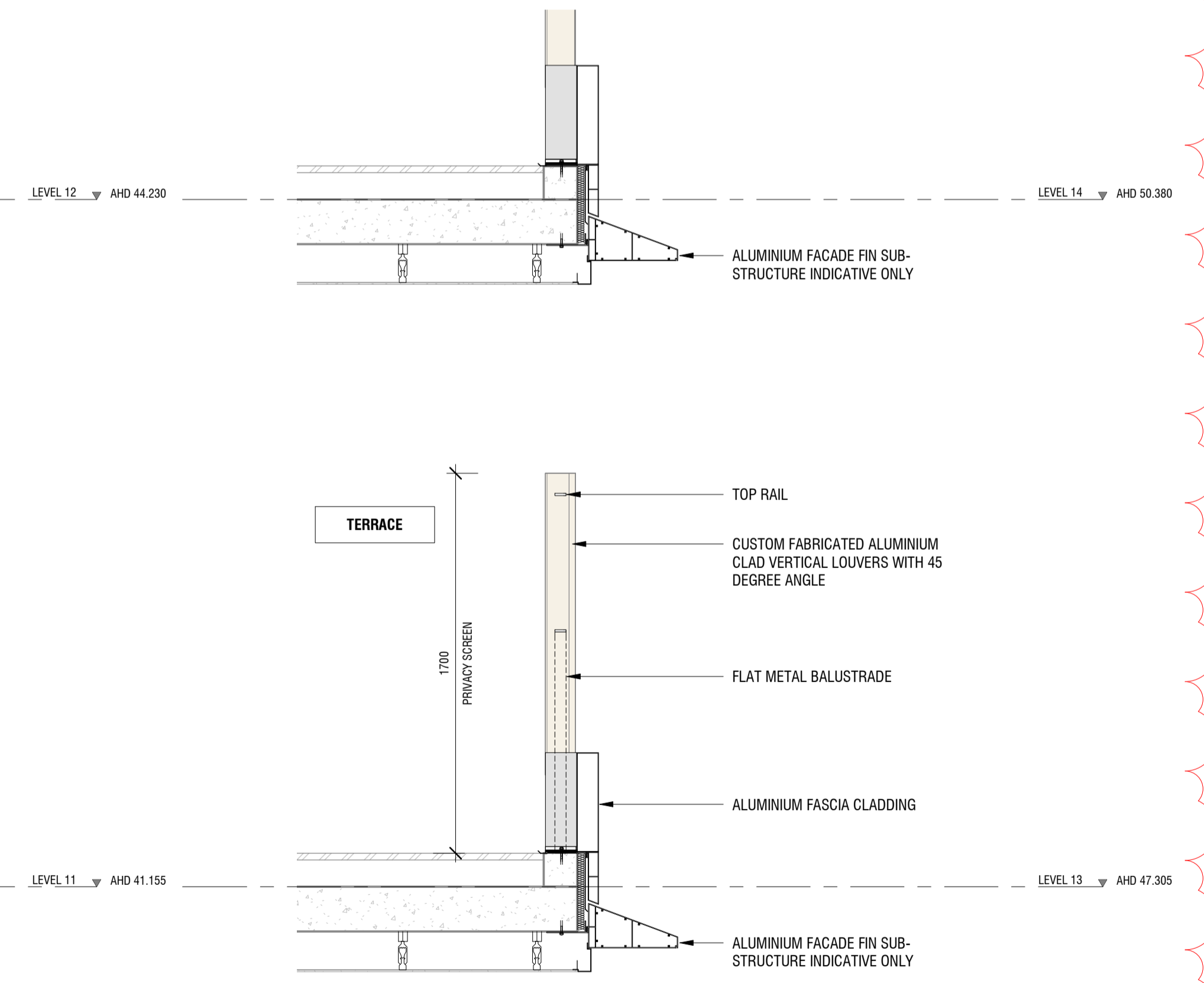
**PRIVACY SCREENS - SOUTH EAST**  
SCALE 1:20



**VERTICAL FINS AND PRIVACY SCREEN ELEVATION**  
SCALE 1:50



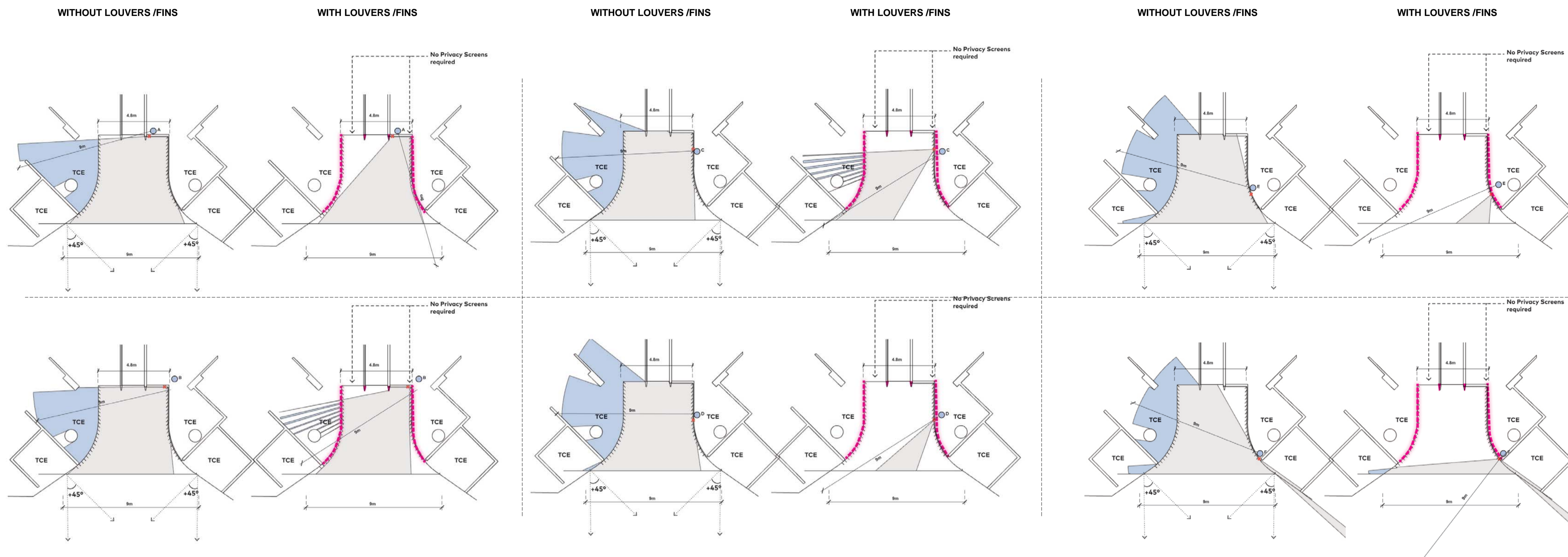
**PRIVACY SCREEN ELEVATION**  
SCALE 1:20



**TYPICAL PRIVACY SCREEN SECTION DETAIL**  
SCALE 1:20



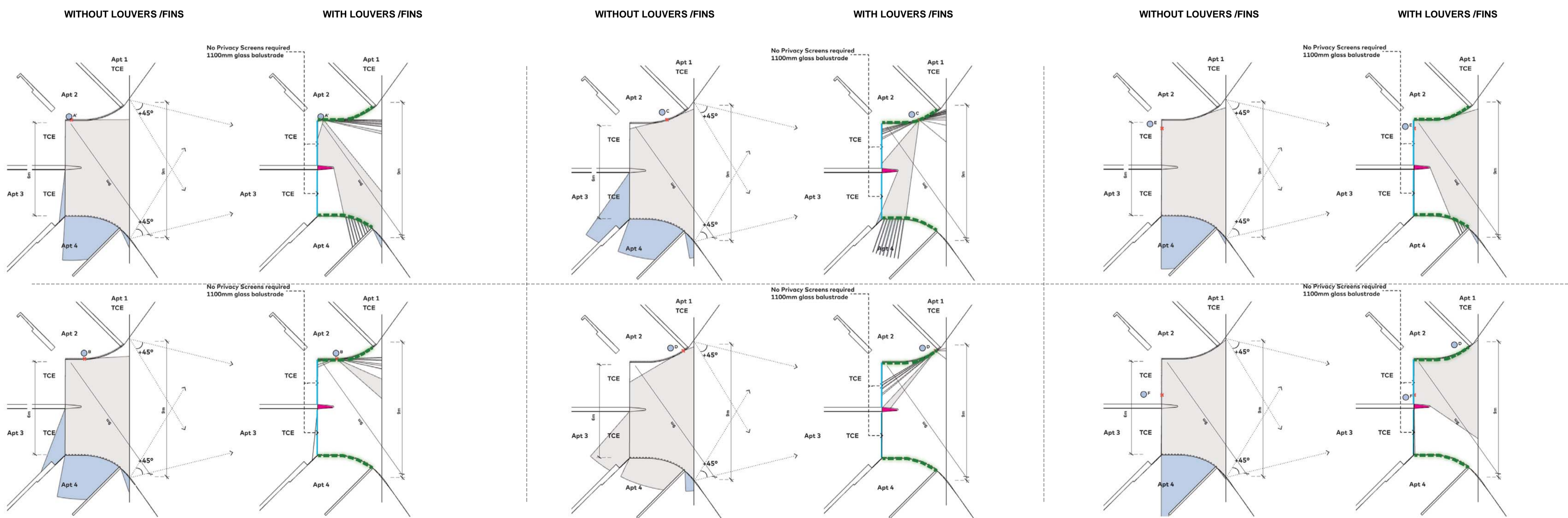
**ANALYSIS OF THE EXTENT AND DENSITY OF THE PRIVACY SCREENS TO THE EAST, WEST, NORTH AND SOUTH FAÇADE ELEVATION**



VISIBILITY PERCENTAGES - PRIVACY SCREENING TO THE SOUTH / NORTH



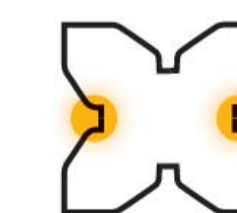
	Step 1 No louvers	Step 2 Two side louvers
A	9.2	0
VISIBILITY %	100%	0%
B	15	1.4
VISIBILITY %	100%	9.3%
C	18	2
VISIBILITY %	100%	25%
D	21	0
VISIBILITY %	100%	0%
E	21	0
VISIBILITY %	100%	0%
F	15	0.3
VISIBILITY %	100%	0%



VISIBILITY PERCENTAGES - PRIVACY SCREENING TO THE EAST / WEST



	Step 1 No louvers	Step 2 Two side louvers		
	APT. 03	APT. 04	APT. 03	APT. 04
A	0.5	7.5	0	0.5
VISIBILITY %	100%	100%	0%	0%
B	2.3	8	0	0
VISIBILITY %	100%	100%	0%	0%
C	5	8	0.5	0.4
VISIBILITY %	100%	100%	10%	5%
D	0	0.5	0	0
VISIBILITY %	100%	100%	0%	0%
E	0	8	0	0.2
VISIBILITY %	100%	100%	0%	2.5%
F	0	8.8	0	0
VISIBILITY %	100%	100%	0%	0%



**Legend**

- Louvers / Fins
- Fitted Glass Full height
- Glass Balustrade 1100 height
- Full height Fin

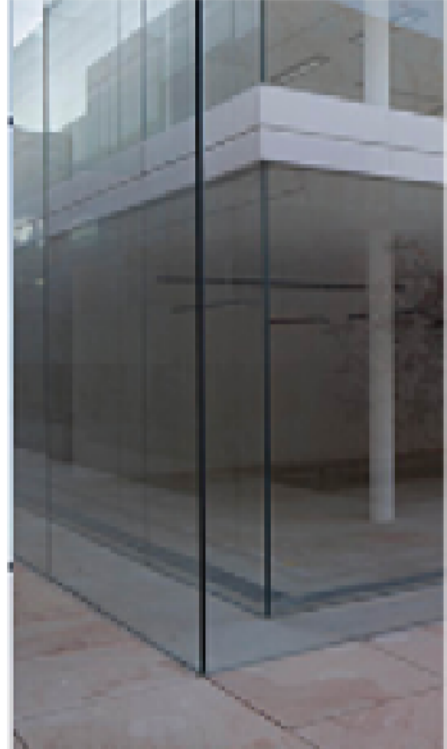
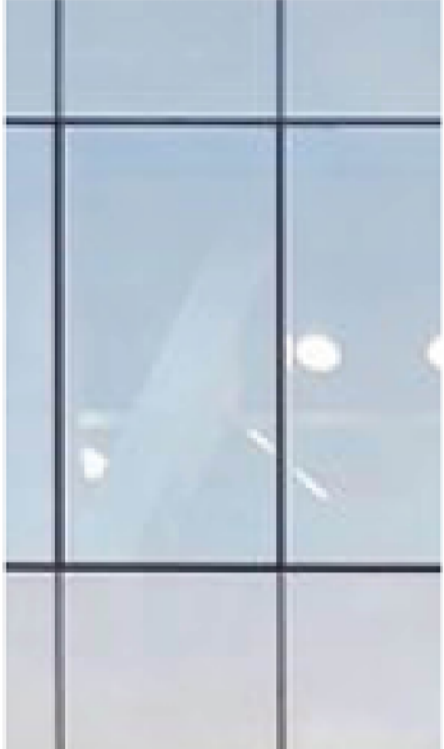
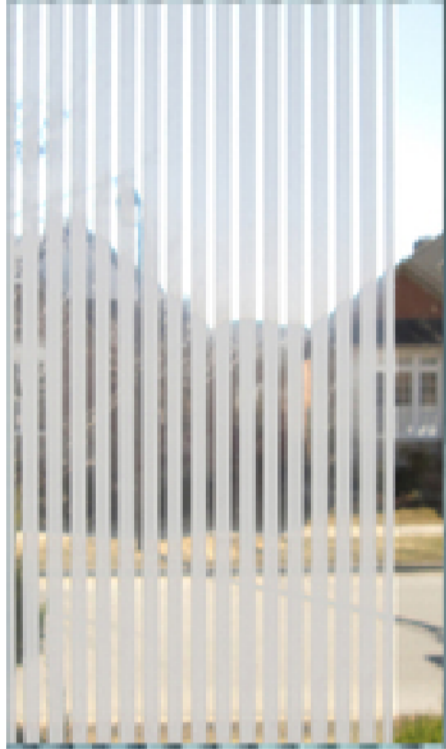
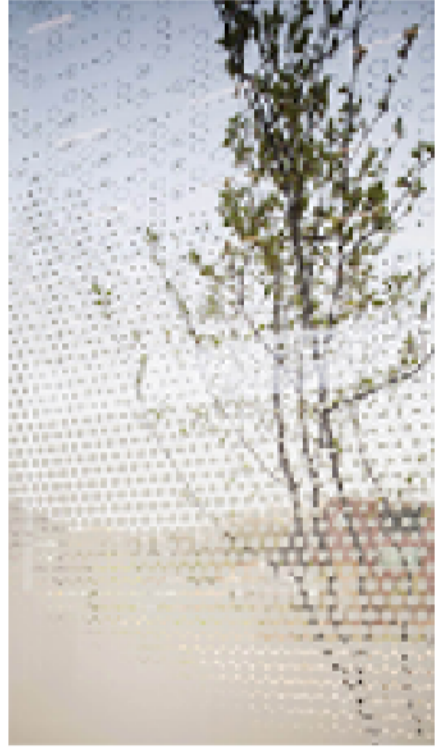



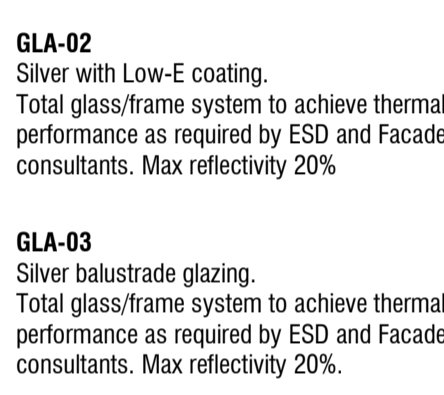
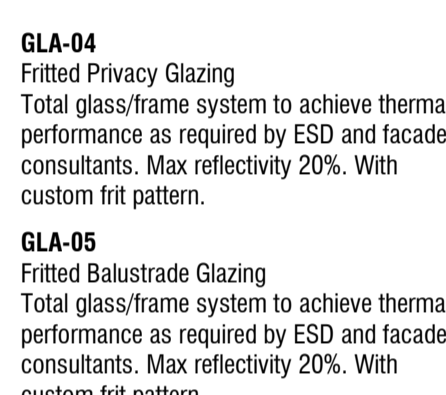

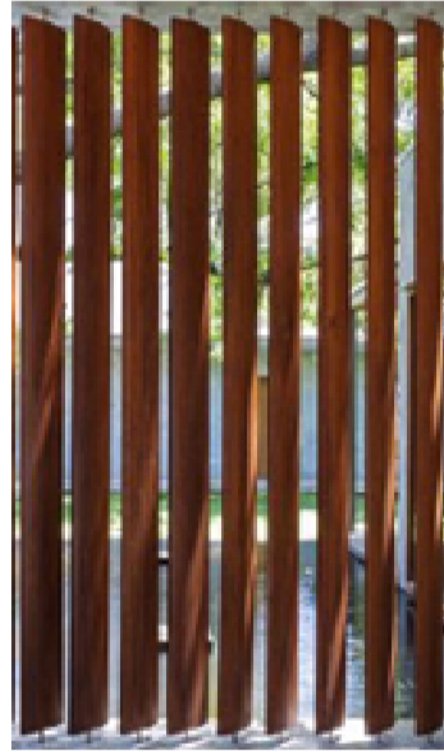
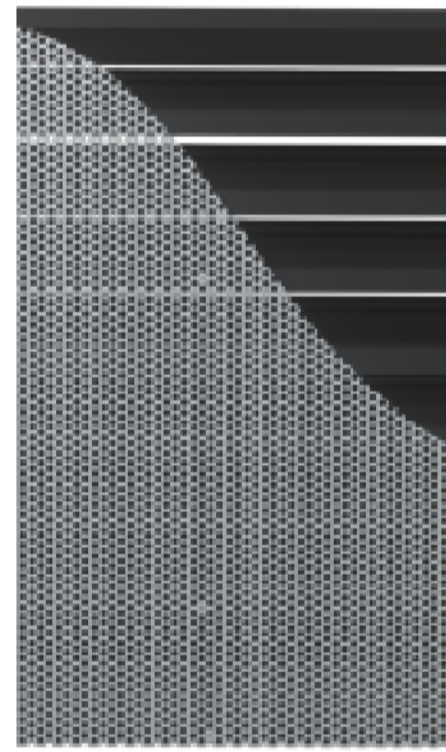


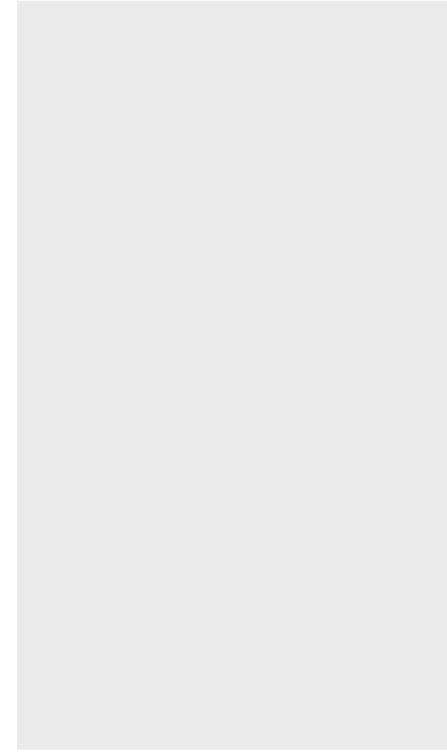
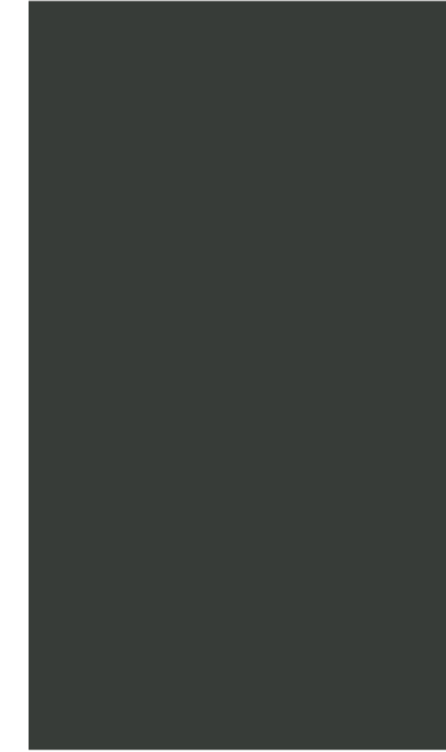
**SUMMARY OF ARCHITECTURAL CHANGES:**  
32: RESIDENTIAL PRIVACY SCREEN DESIGN AND  
DETAILING UPDATED.



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Advertised Plan  
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No. of Pages: 33 of 40

SUMMARY OF ARCHITECTURAL CHANGES:

55: UPDATED CODES, IMAGES AND DESCRIPTIONS OF MATERIALS

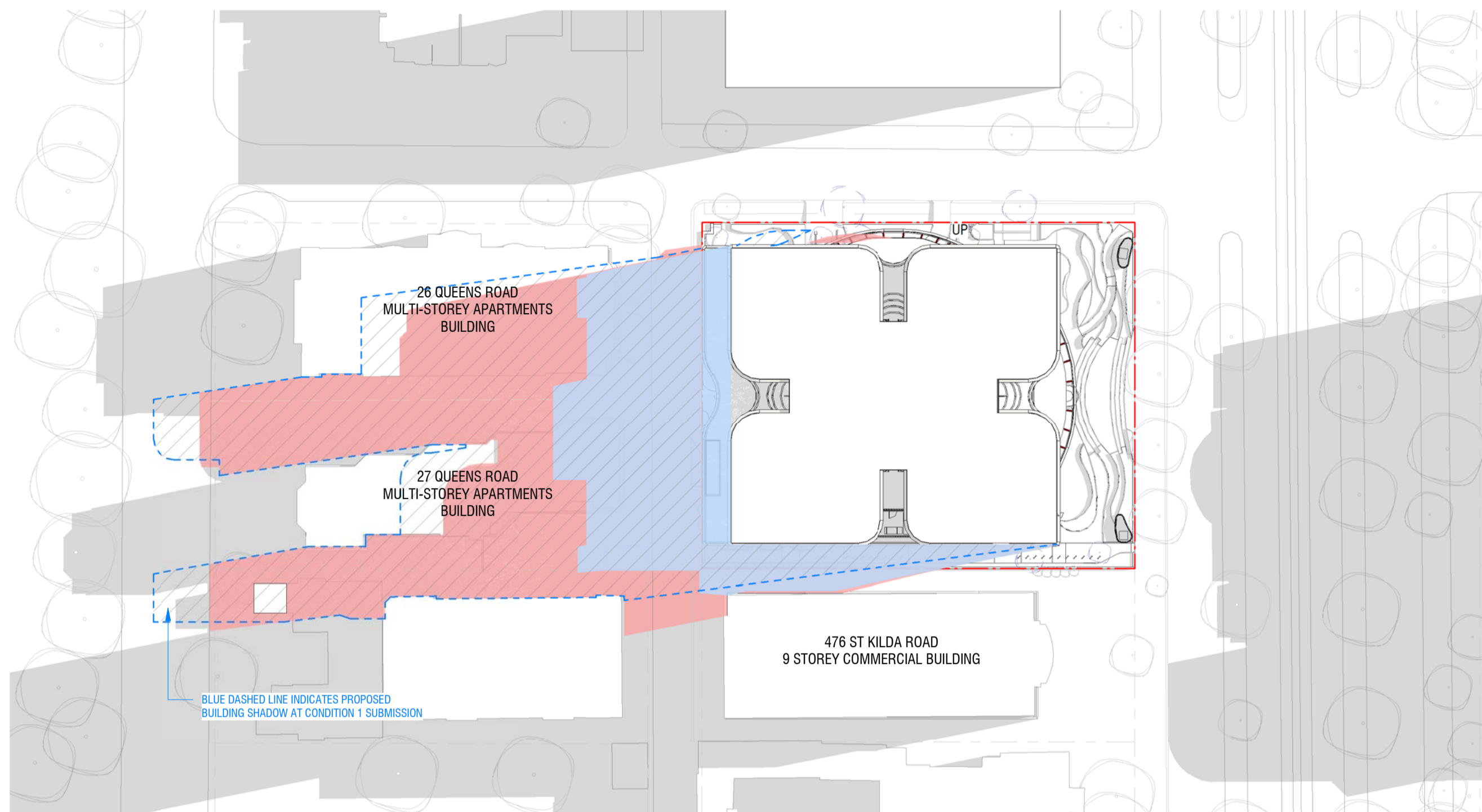
						
<b>GLA-01</b> Clear Glazing Total glass/frame system to achieve thermal performance as required by ESD and Facade consultants. Max reflectivity 20%	<b>GLA-02</b> Silver with Low-E coating. Total glass/frame system to achieve thermal performance as required by ESD and Facade consultants. Max reflectivity 20%	<b>GLA-04</b> Fritted Privacy Glazing Total glass/frame system to achieve thermal performance as required by ESD and facade consultants. Max reflectivity 20%. With custom frit pattern.	<b>GLF-02</b> Custom Artwork Decal	<b>MTC-01</b> Powdercoated solid aluminium clad finish fins. Matte finish. Colour: TBC	<b>MTC-02</b> Powdercoated solid aluminium clad finish panel. Matte finish. Colour: TBC	<b>MTC-03</b> Powdercoated solid aluminium cladding. Matte finish. Colour: TBC
						
	<b>GLA-03</b> Silver balustrade glazing. Total glass/frame system to achieve thermal performance as required by ESD and Facade consultants. Max reflectivity 20%.	<b>GLA-05</b> Fritted Balustrade Glazing Total glass/frame system to achieve thermal performance as required by ESD and facade consultants. Max reflectivity 20%. With custom frit pattern.				
						
<b>MTC-04</b> Powdercoated custom perforated aluminium clad finish panel. Matte finish. Colour: TBC	<b>LVR-01</b> Vertical louvre screen.	<b>LVR-02</b> Horizontal mechanical louvres with perforated mesh.	<b>CONC-01</b> In-situ concrete, Class 2 finish to all exposed faces (smooth cast)	<b>CONC-02</b> In-situ concrete wall with vertical ribs.	<b>PT-04</b> Exterior Paint Dulux Natural White or similar	<b>PT-03</b> Exterior Paint Dulux Domino or similar

MATERIAL LEGEND

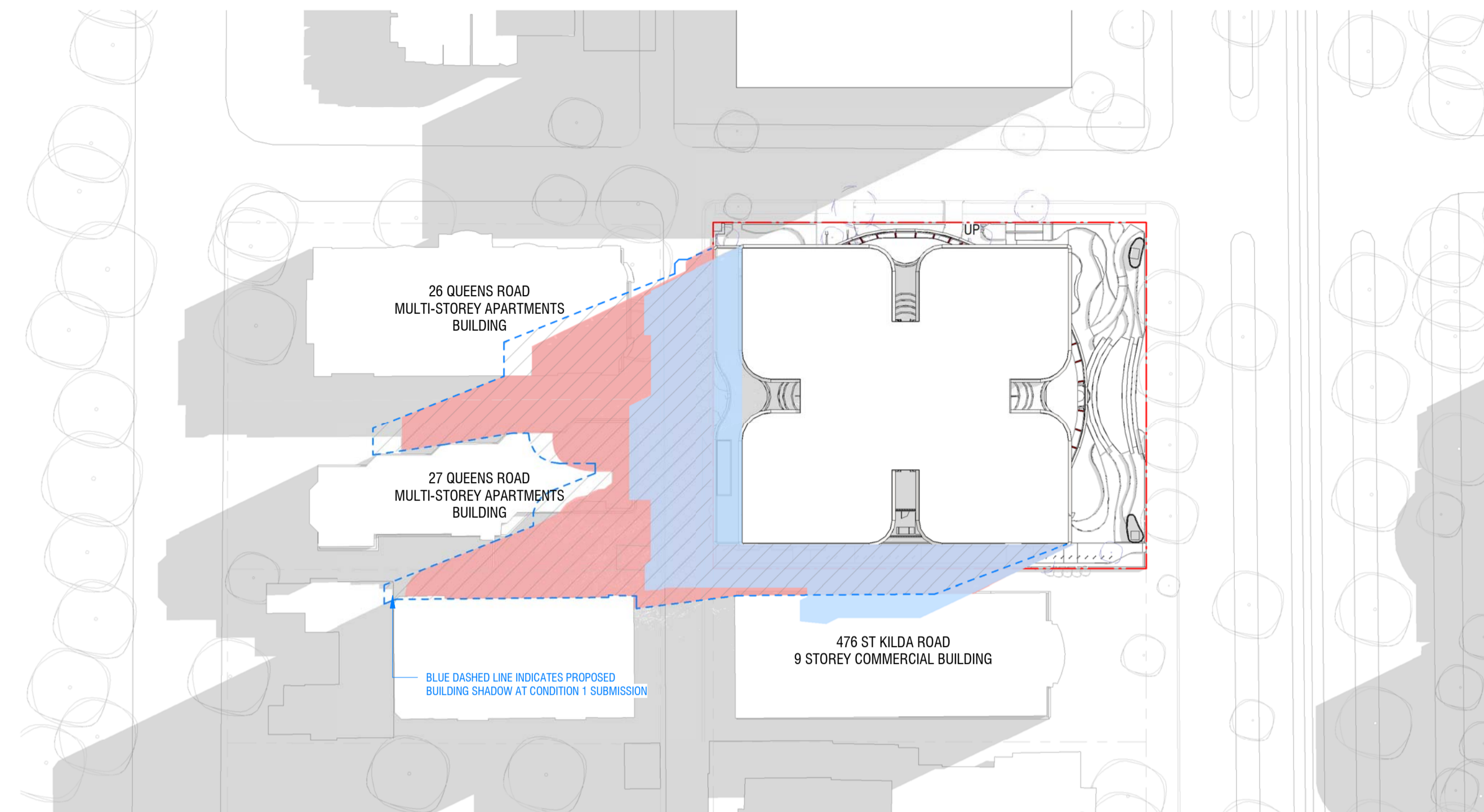
- GLA-01** - Clear Glazing Total glass/frame system to achieve thermal performance as required by ESD and facade consultants. Max reflectivity 20%.
- GLA-02** - Silver with Low-E coating. Total glass/frame system to achieve thermal performance as required by ESD and facade consultants. Max reflectivity 20%.
- GLA-03** - Silver Balustrade Glazing. Total glass/frame system to achieve thermal performance as required by ESD and facade consultants. Max reflectivity 20%.
- GLA-04** - Fritted Privacy Glazing. Total glass/frame system to achieve thermal performance as required by ESD and facade consultants. Max reflectivity 20%.
- GLA-05** - Balustrade Glazing with Frit. Total glass/frame system to achieve thermal performance as required by ESD and facade consultants. Max reflectivity 20%.
- GLF-02** - Custom artwork decal
- MTC-01** - Powdercoated solid aluminium clad finish fins. Matte finish. Colour: TBC
- MTC-02** - Powdercoated solid aluminium clad finish panel. Matte finish. Colour: TBC
- MTC-03** - Powdercoated solid aluminium cladding. Matte finish. Colour: TBC
- MTC-04** - Powdercoated custom perforated aluminium clad finish panel. Matte finish. Colour: TBC
- LVR-01** - Vertical louvre screen
- LVR-02** - Horizontal mechanical louvres with perforated mesh
- CONC-01** - In-situ concrete, Class 2 finish to all exposed faces (smooth cast)
- CONC-02** - In-situ concrete wall with vertical ribs
- PT-03** - Exterior paint, Dulux Domino or similar
- PT-04** - Exterior paint, Dulux Natural White or similar



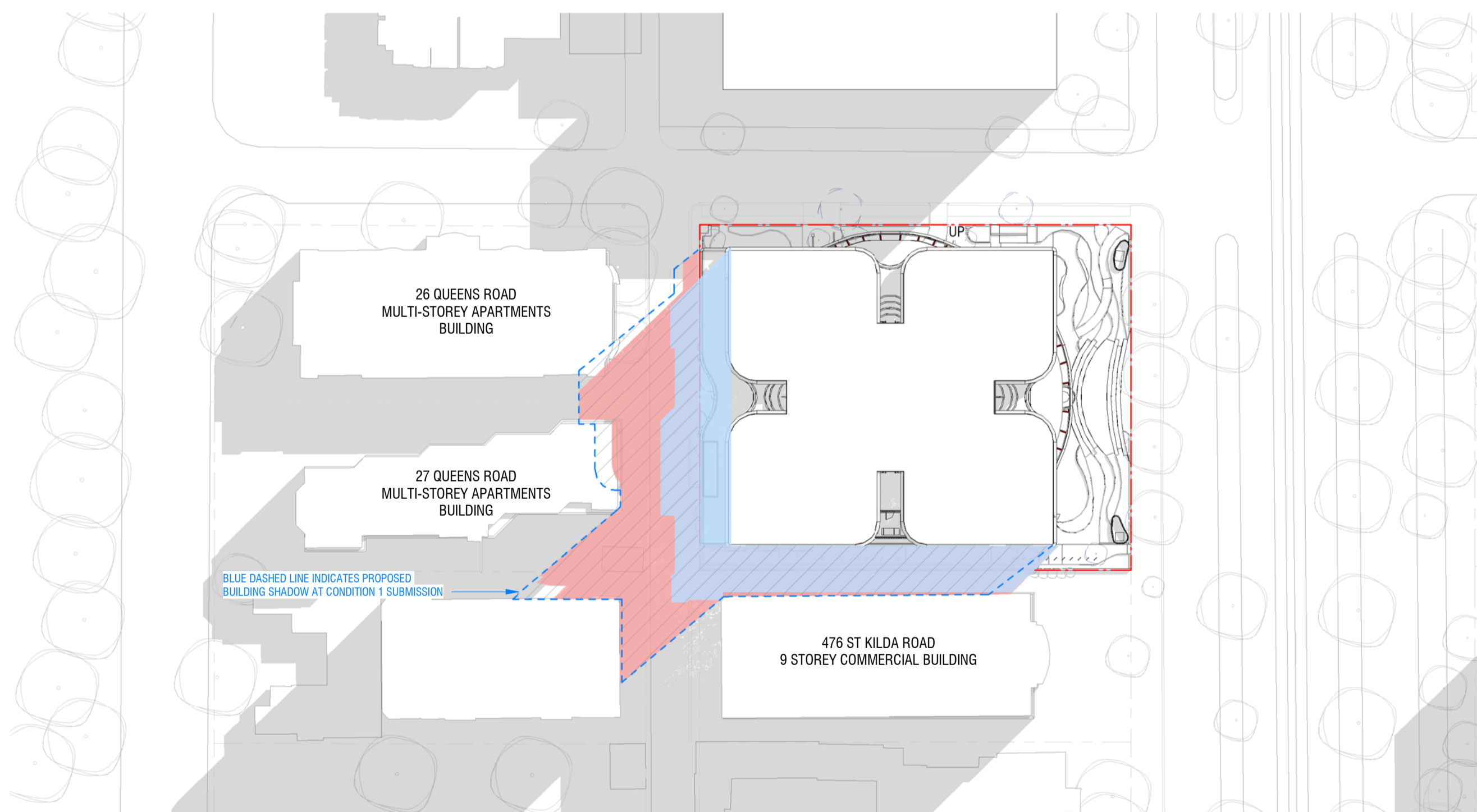
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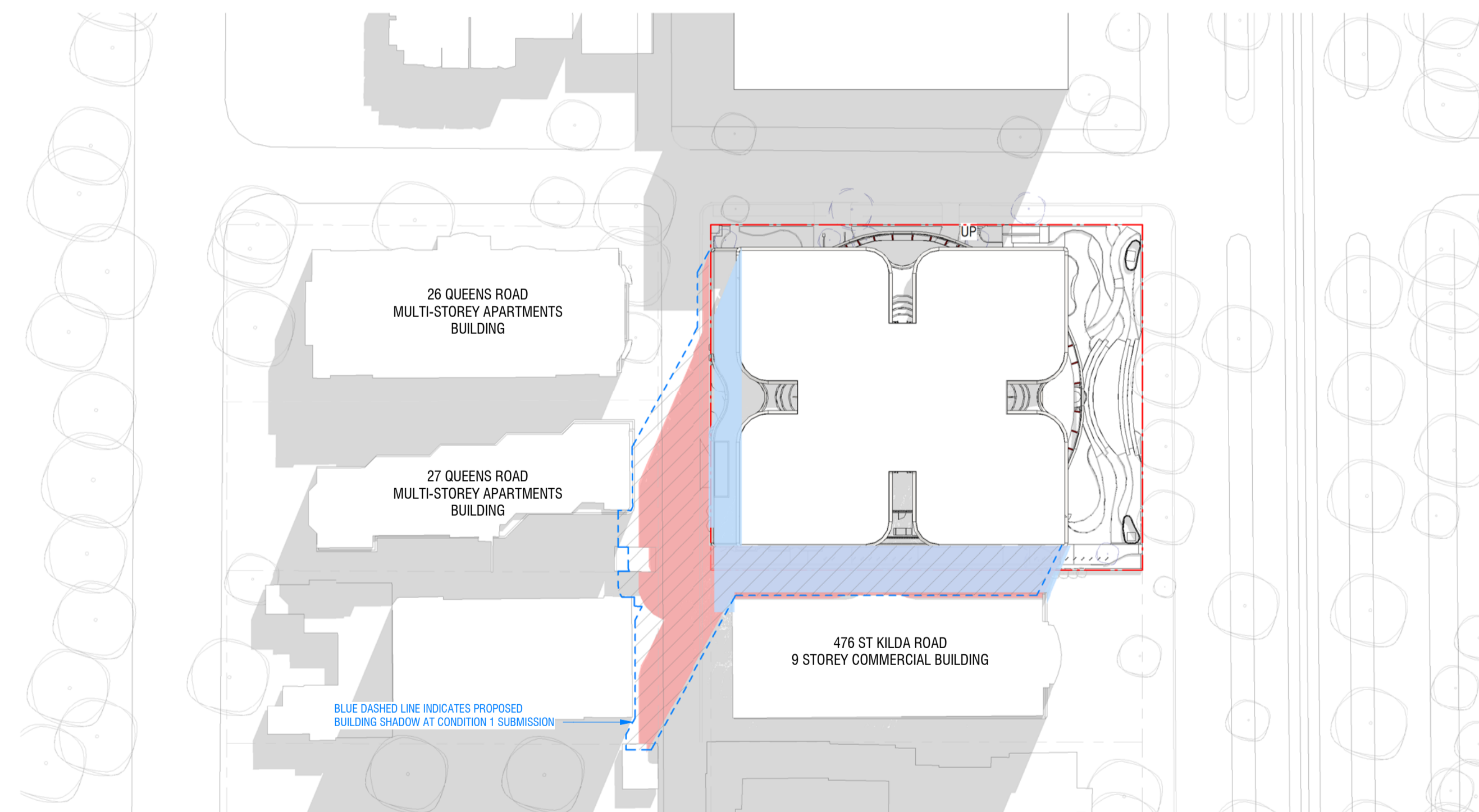
23rd September Equinox - 9am  
 SCALE 1 : 750



23rd September Equinox - 10am  
 SCALE 1 : 750



23rd September Equinox - 11am  
 SCALE 1 : 750



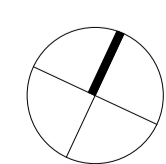
23rd September Equinox - 12pm  
 SCALE 1 : 750

**DISCLAIMER**  
 SHADOW DISCREPANCY ON PLANS DUE TO ERROR IN SHADOW STUDY AT  
 CONDITION 1 - SHADOW STUDY PLANS INCORRECTLY DONE IN MARCH RATHER  
 THAN SEPTEMBER. COX HAVE RECTIFIED THIS AS PART OF S72 RFI SUBMISSION.

**SUMMARY OF ARCHITECTURAL CHANGES:**  
 45: CONDITION 1 SHADOW COMPARISON.  
 46: ERROR IN PREVIOUS SHADOW STUDY PLANS NOTED.

**LEGEND :**

	SHADOW CAST BY SURROUNDING CONTEXT
	SHADOW CAST BY EXISTING BUILDING
	SHADOW CAST BY PROPOSED BUILDING IN ENDORSED CONDITION 1 DRAWINGS
	SHADOW CAST BY PROPOSED BUILDING



Project:  
**472-474 ST KILDA RD**

Drawing Title:  
**SHADOW STUDY - PLANS**

Drawing Number:  
**TP-60-09**

Revision: Date:  
**4 17/02/2023**

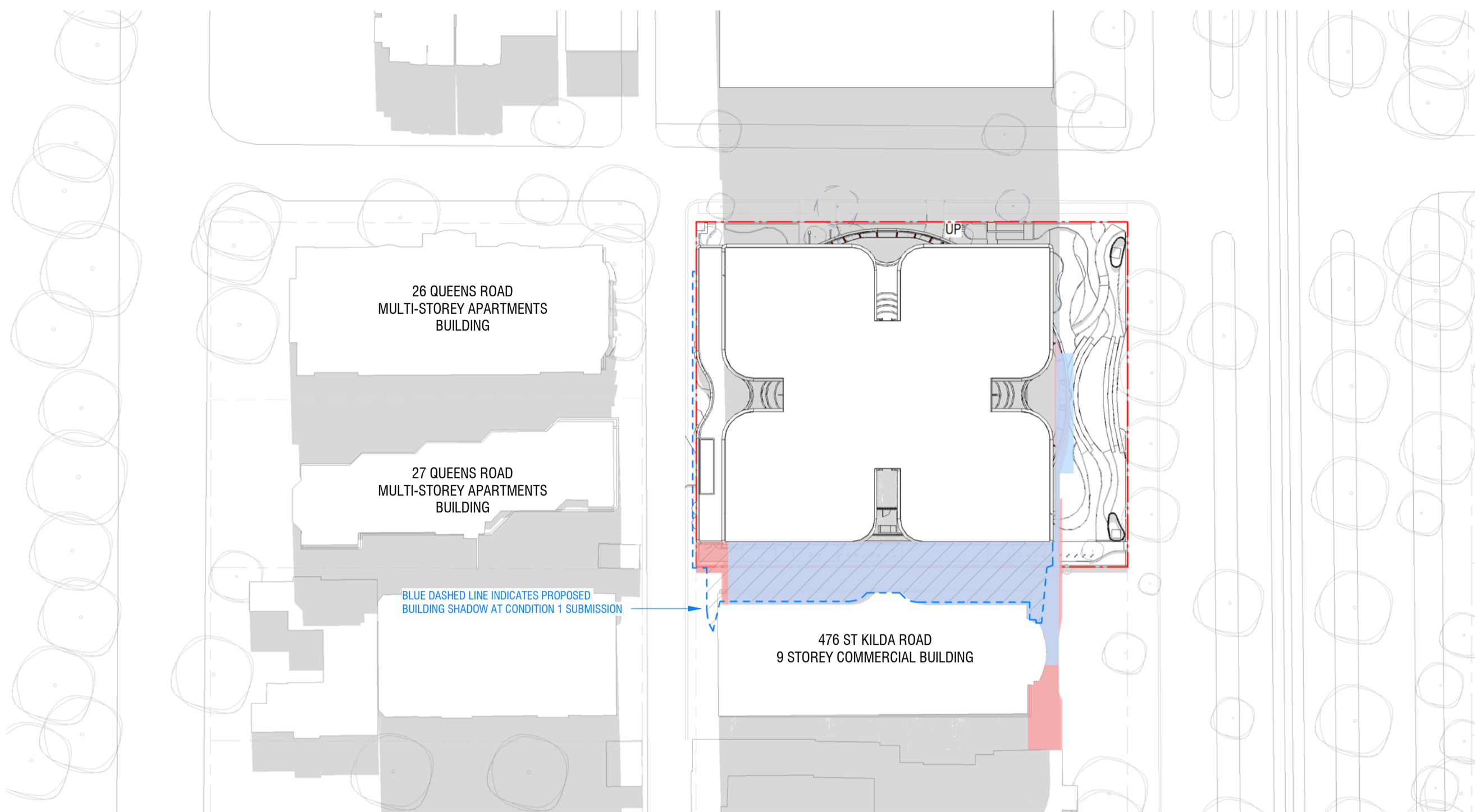
Scale:  
**As indicated @  
 A1**

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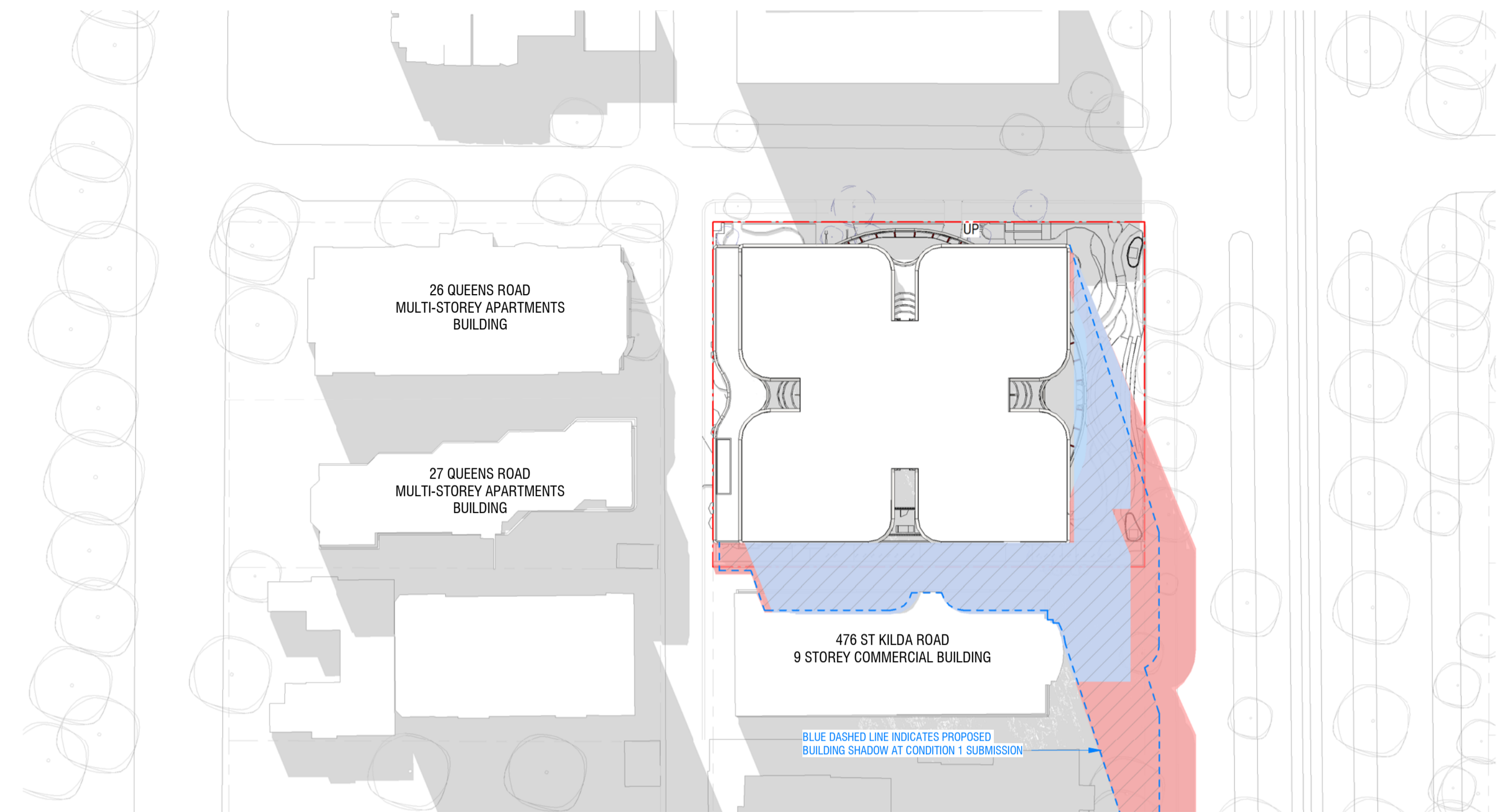




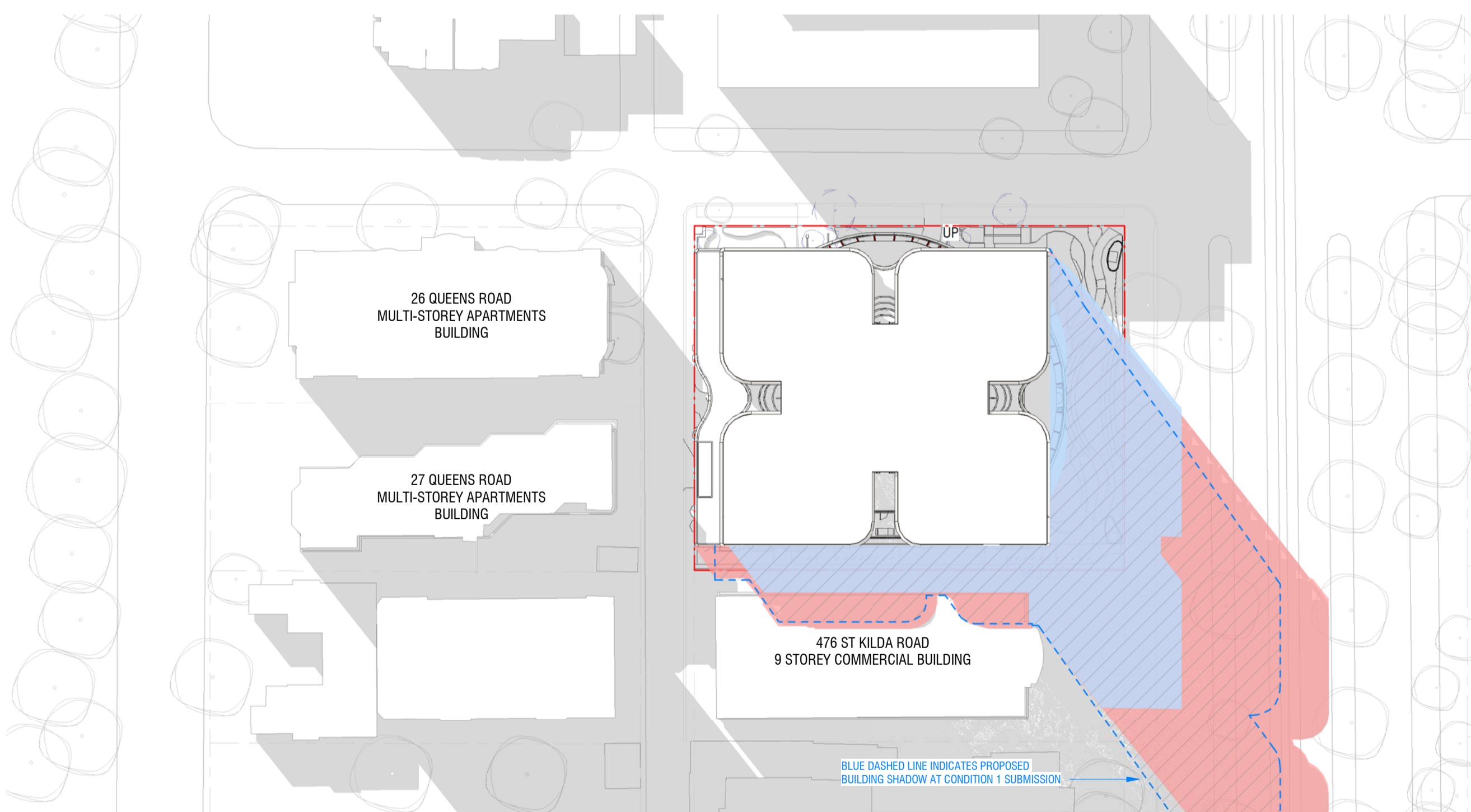
City of Port Phillip  
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23rd September Equinox - 1pm  
 SCALE 1:750



23rd September Equinox - 2pm  
 SCALE 1:750



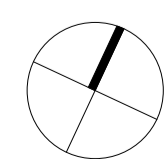
23rd September Equinox - 3pm  
 SCALE 1:750

**DISCLAIMER**  
 SHADOW DISCREPANCY ON PLANS DUE TO ERROR IN SHADOW STUDY AT  
 CONDITION 1 - SHADOW STUDY PLANS INCORRECTLY DONE IN MARCH RATHER  
 THAN SEPTEMBER. COX HAVE RECTIFIED THIS AS PART OF S72 RFI SUBMISSION.

**SUMMARY OF ARCHITECTURAL CHANGES:**  
 45: CONDITION 1 SHADOW COMPARISON.  
 46: ERROR IN PREVIOUS SHADOW STUDY PLANS NOTED.

**LEGEND :**

	SHADOW CAST BY SURROUNDING CONTEXT
	SHADOW CAST BY EXISTING BUILDING
	SHADOW CAST BY PROPOSED BUILDING IN ENDORSED CONDITION 1 DRAWINGS
	SHADOW CAST BY PROPOSED BUILDING



Project:  
**472-474 ST KILDA RD**

Drawing Title:  
**SHADOW STUDY - PLANS**

Drawing Number:  
**TP-60-10**

Revision: Date:  
**4 17/02/2023**

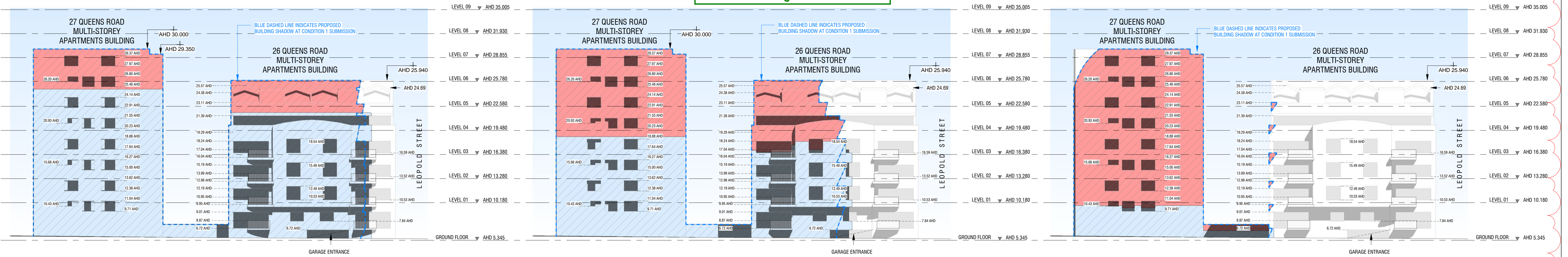
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**As indicated @  
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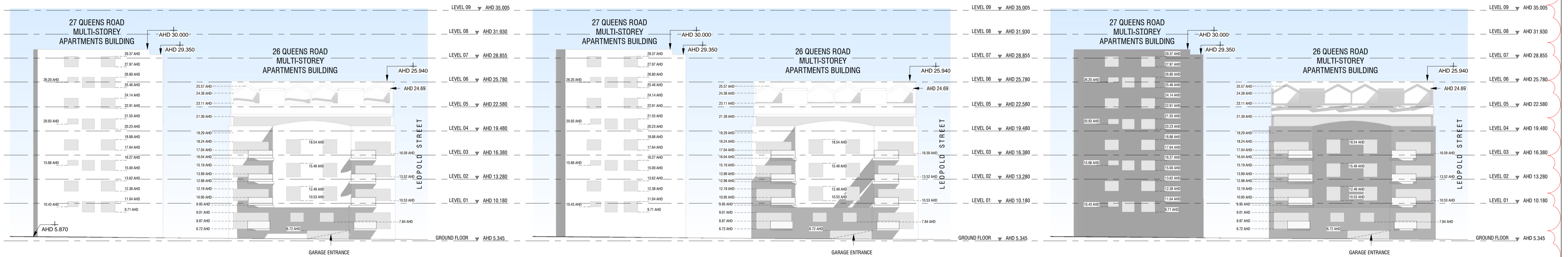
City of Port Phillip  
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23rd September Equinox - 9am  
SCALE 1 : 250

23rd September Equinox - 10am  
SCALE 1 : 250

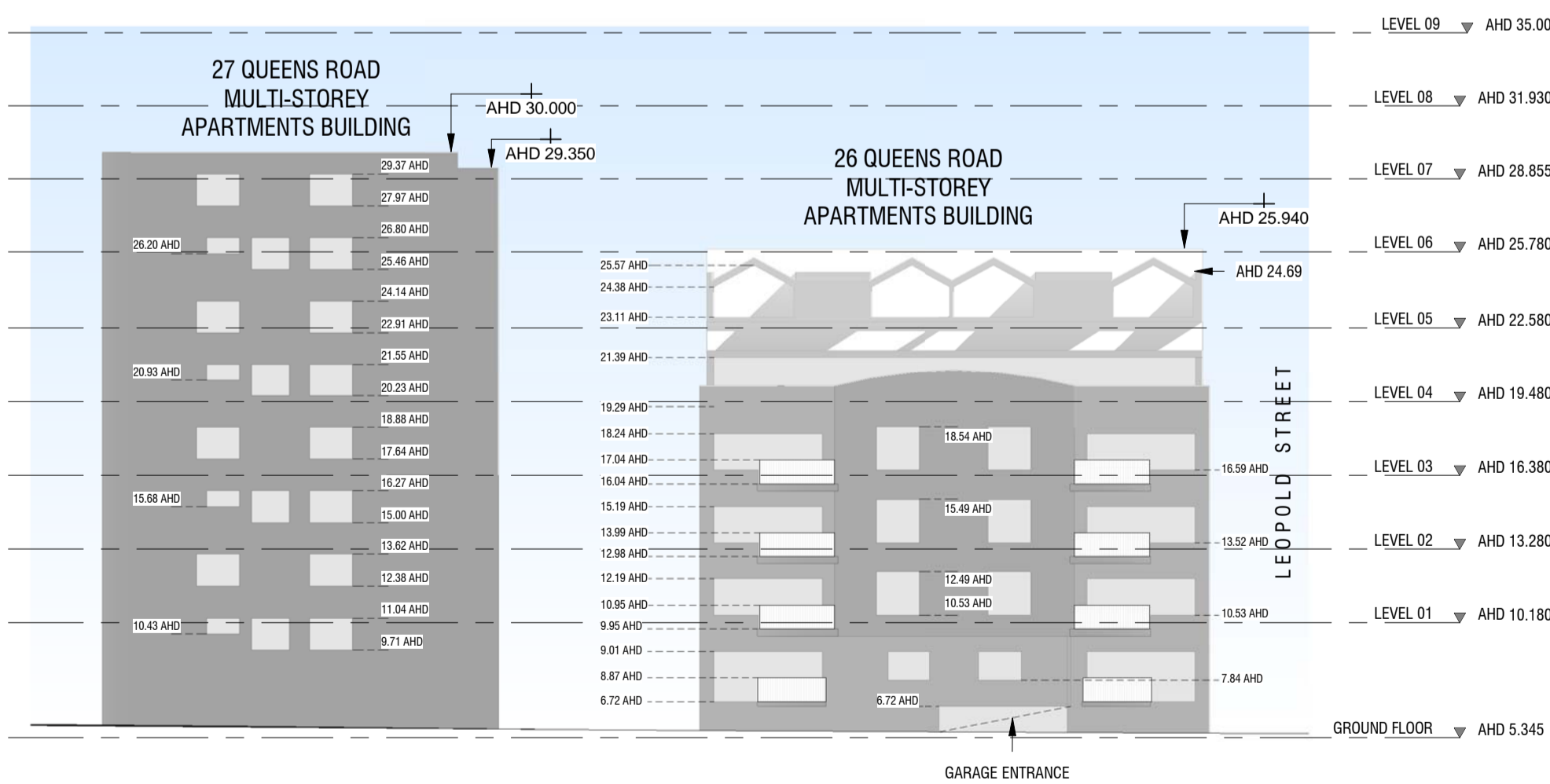
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SCALE 1 : 250



23rd September Equinox - 12pm  
SCALE 1 : 250

23rd September Equinox - 1pm  
SCALE 1 : 250

23rd September Equinox - 2pm  
SCALE 1 : 250



23rd September Equinox - 3pm  
SCALE 1 : 250

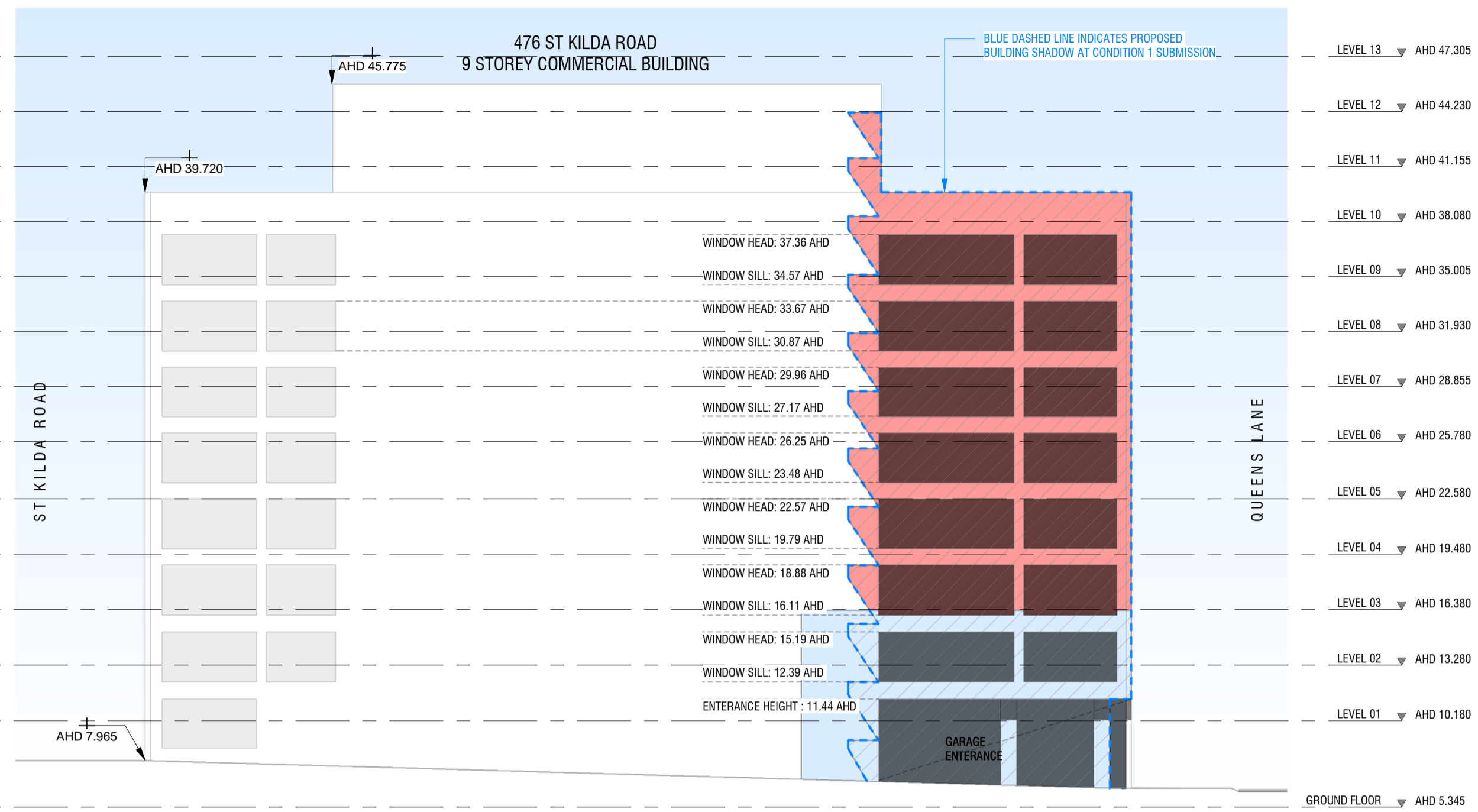
**LEGEND :**

- SHADOW CAST BY SURROUNDING CONTEXT
- SHADOW CAST BY EXISTING BUILDING
- SHADOW CAST BY PROPOSED BUILDING IN ENDORSED CONDITION 1 DRAWINGS
- SHADOW CAST BY PROPOSED BUILDING

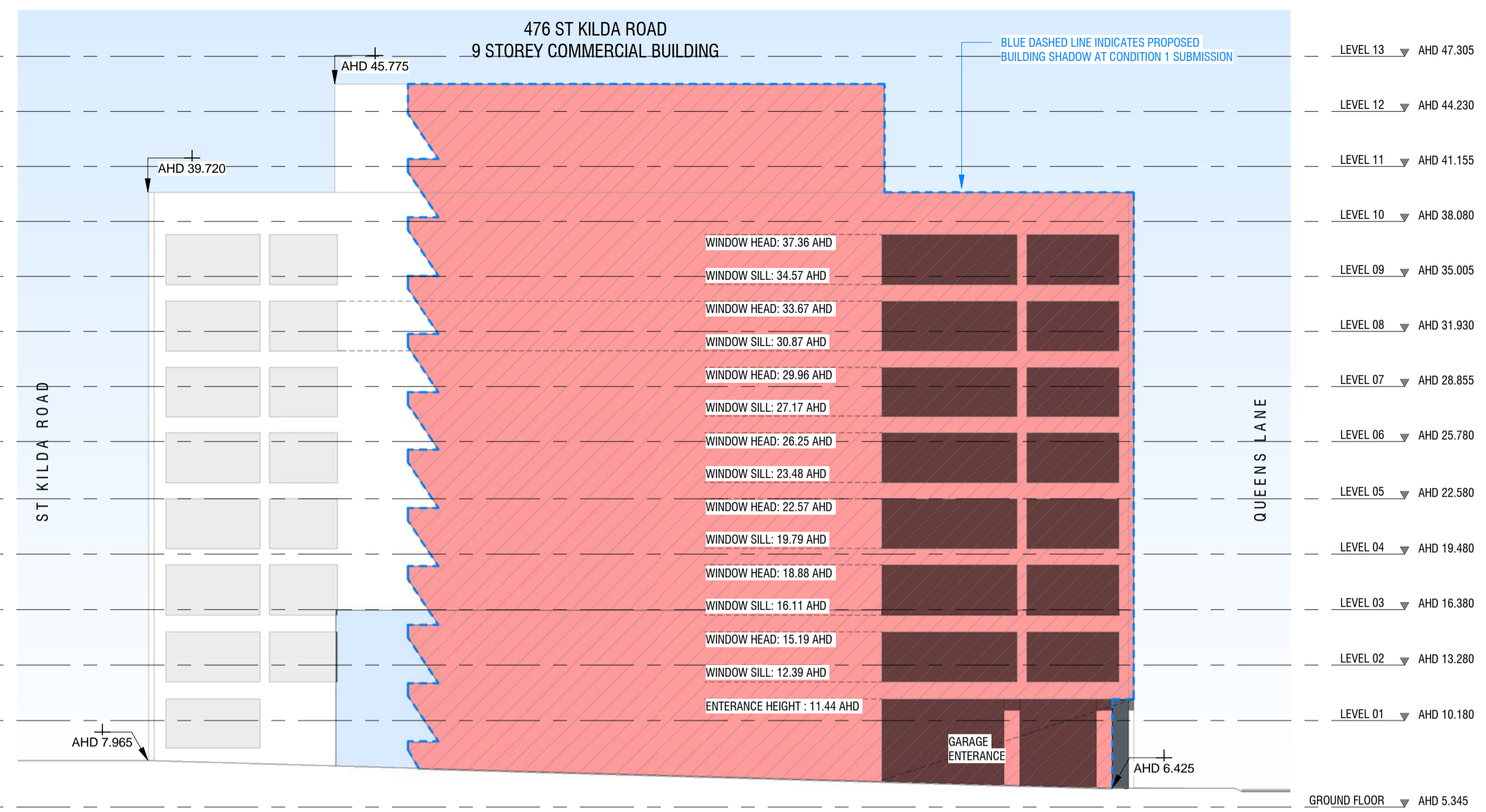
**SUMMARY OF ARCHITECTURAL CHANGES:**  
45: CONDITION 1 SHADOW COMPARISON.



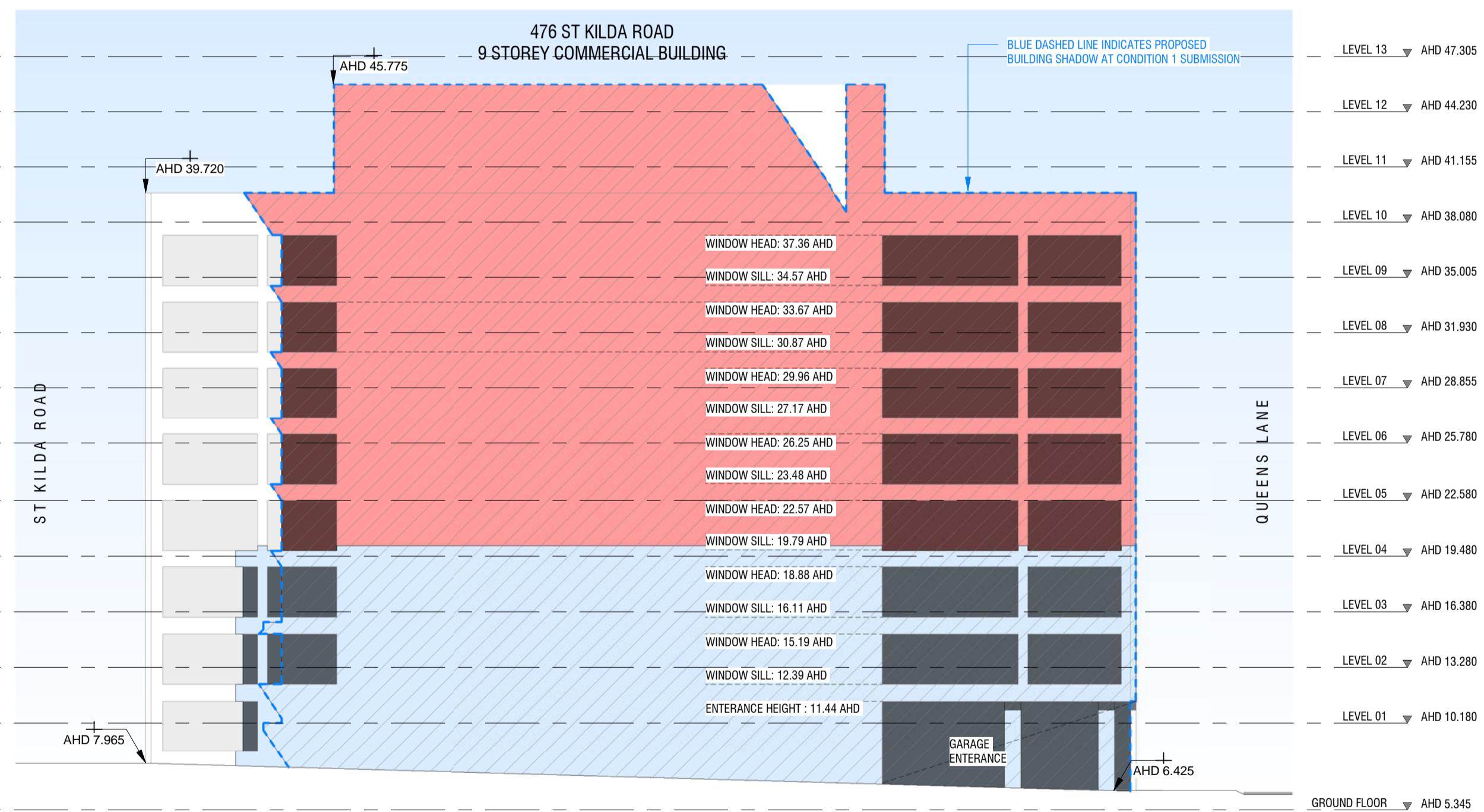
City of Port Phillip  
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 Planning Application No. 1033/2018/A  
 No. of Pages: 37 of 40



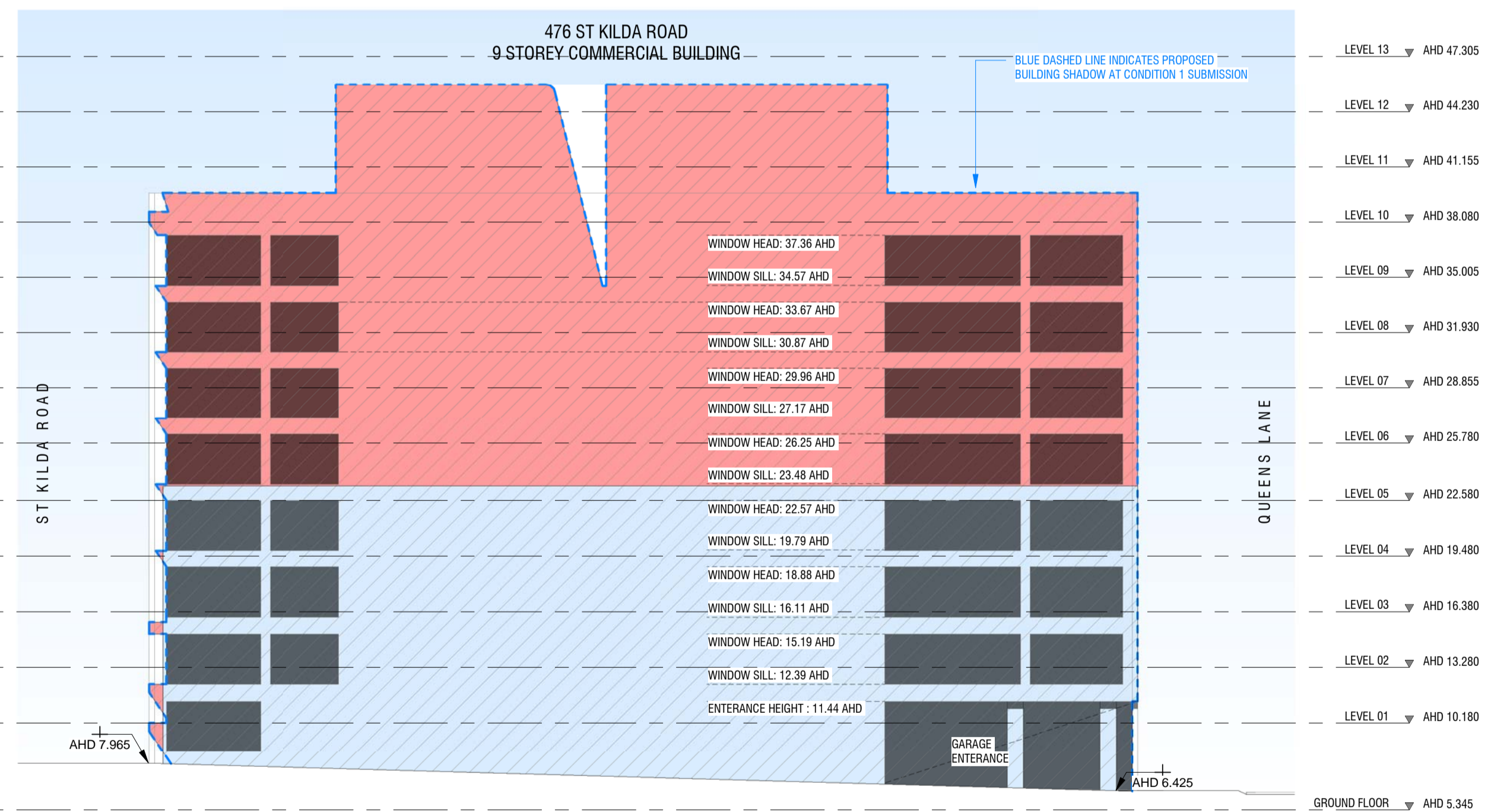
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 SCALE 1 : 250



23rd September Equinox - 10am  
 SCALE 1 : 250



23rd September Equinox - 11am  
 SCALE 1 : 250



23rd September Equinox - 12pm  
 SCALE 1 : 250

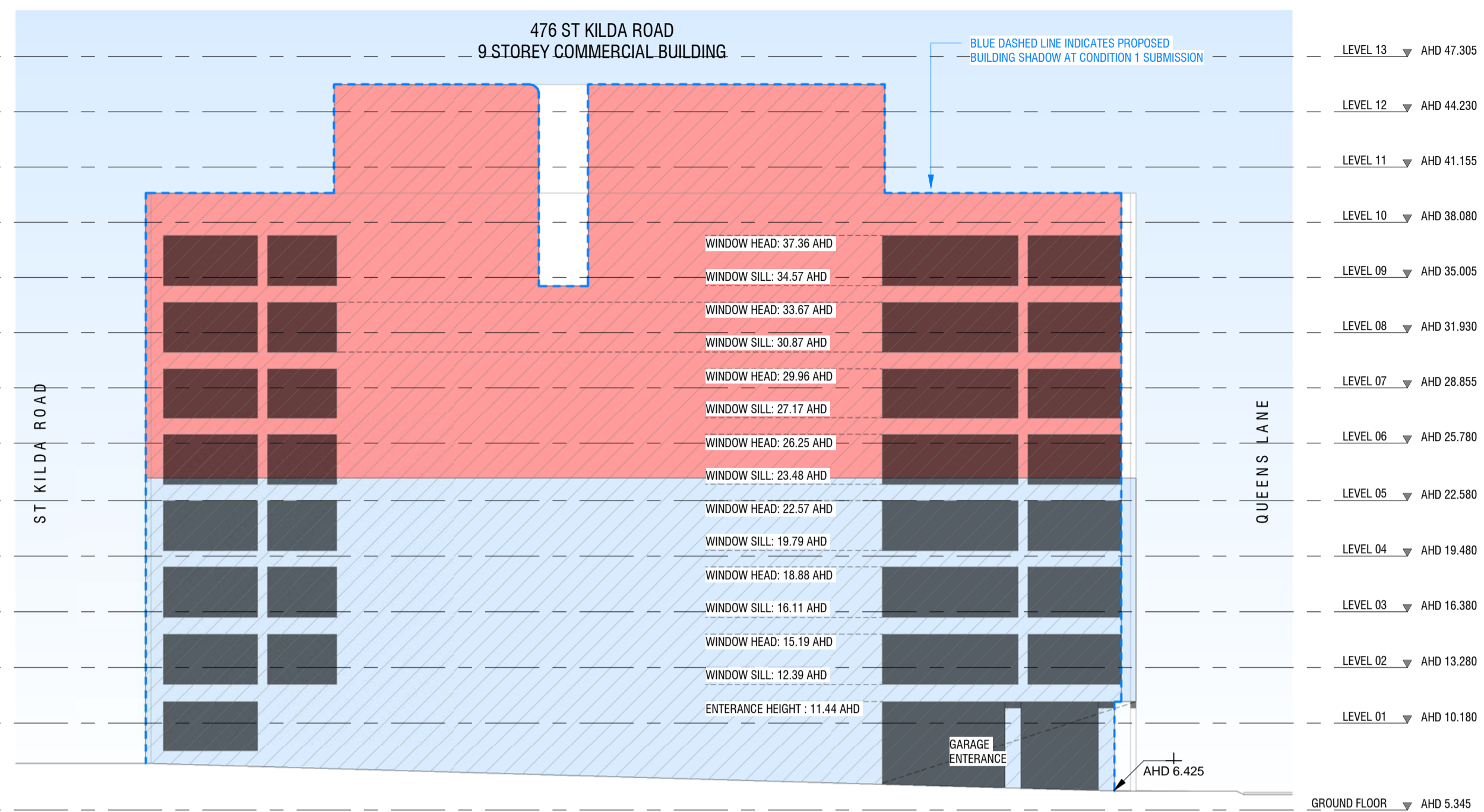
**LEGEND :**

- SHADOW CAST BY SURROUNDING CONTEXT
- SHADOW CAST BY EXISTING BUILDING
- SHADOW CAST BY PROPOSED BUILDING IN ENDORSED CONDITION 1 DRAWINGS
- SHADOW CAST BY PROPOSED BUILDING

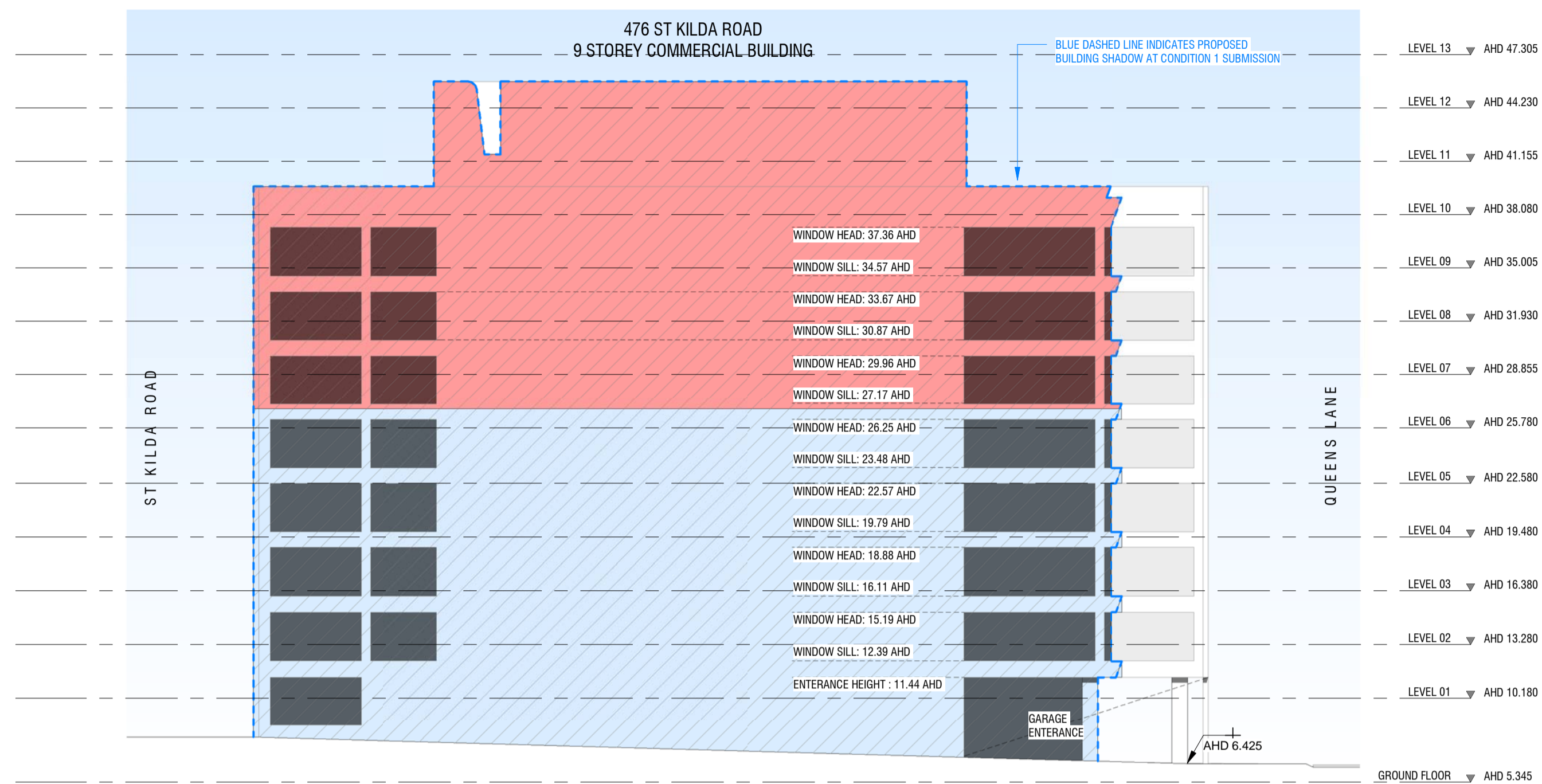
**SUMMARY OF ARCHITECTURAL CHANGES:**  
 45: CONDITION 1 SHADOW COMPARISON.



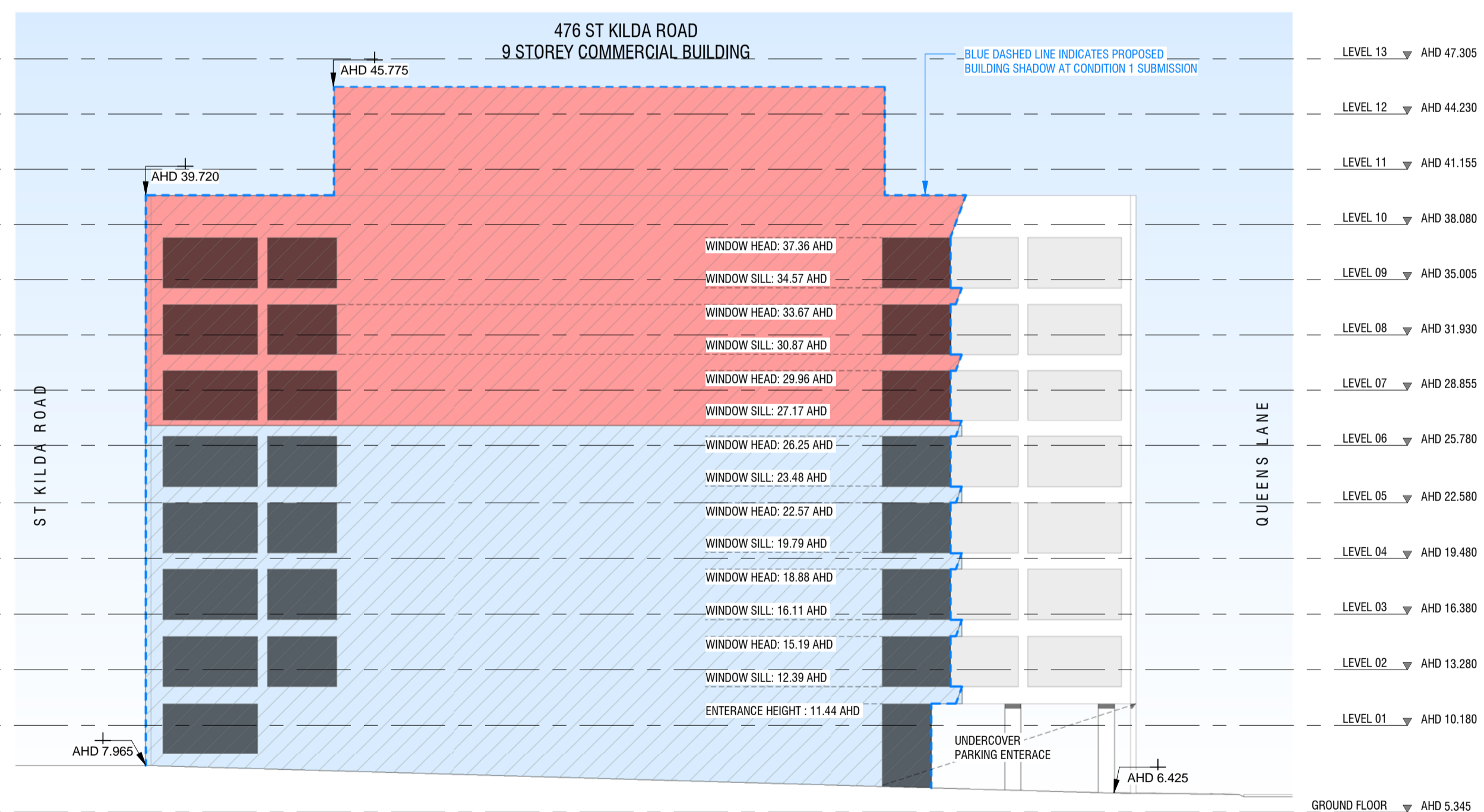
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Planning Application No. 1033/2018/A  
No. of Pages: 38 of 40



23rd September Equinox - 1pm  
SCALE 1 : 250



23rd September Equinox - 2pm  
SCALE 1 : 250



23rd September Equinox - 3pm  
SCALE 1 : 250

**LEGEND :**

- SHADOW CAST BY SURROUNDING CONTEXT
- SHADOW CAST BY EXISTING BUILDING
- SHADOW CAST BY PROPOSED BUILDING IN ENDORSED CONDITION 1 DRAWINGS
- SHADOW CAST BY PROPOSED BUILDING

**SUMMARY OF ARCHITECTURAL CHANGES:**  
45: CONDITION 1 SHADOW COMPARISON.



**SUMMARY OF ARCHITECTURAL CHANGES:**

1: DELETION OF LEVEL 01 PODIUM - LEVEL 01 NOW FORMS PART OF THE TOWER FORM AND IS THE FIRST LEVEL OF SERVICED APARTMENTS.

20: GROUND FLOOR LEVEL RAISED TO REDUCE DIFFERENTIAL TO STREET, AND IMPROVE CLEARANCE FOR CAR PARK RAMP ENTRY.

31: RESIDENTIAL PRIVACY SCREEN DESIGN AND DETAILING UPDATED.

32: FRITTED PRIVACY GLAZING INCLUDED WHERE APARTMENTS OVERLOOK EACH OTHER.

33: PRIVACY SCREENS REMOVED FROM HOTEL LEVELS.

35: FACADE FINIS DETAILING AND MODELLING UPDATED.

54: REDUCED NUMBER OF LARGE TREES TO HIGH RISE FACADE PLANTERS AS PER LANDSCAPE DOCUMENTATION.

55: UPDATED CODES, IMAGES AND DESCRIPTIONS OF MATERIALS



NOTE: ARTISTS IMPRESSION. INDICATIVE CONCEPT IMAGE ONLY.

Project:  
**472-474 ST KILDA RD**

Drawing Title:  
**RENDER**

Drawing Number:  
**TP-60-50**

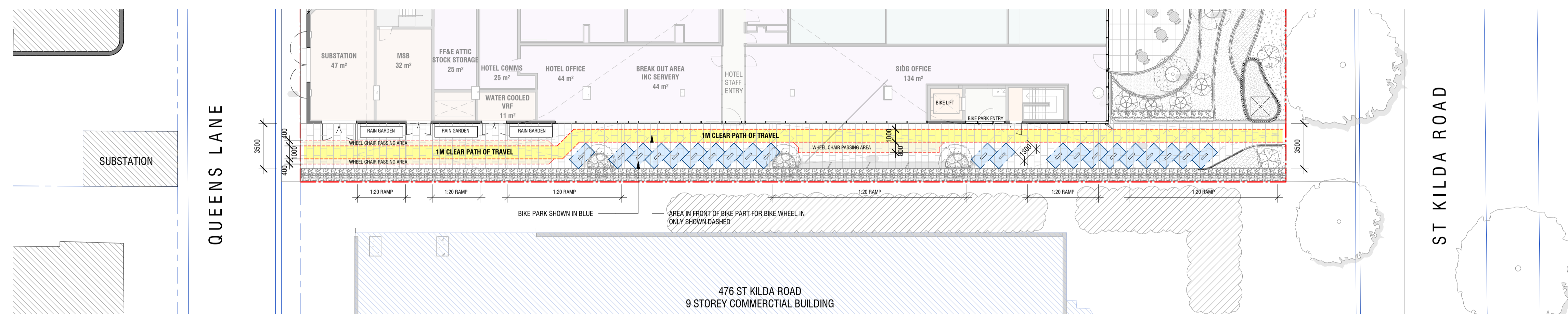
Revision: Date:  
**2 17/02/2023**

Scale:  
**@ A1**

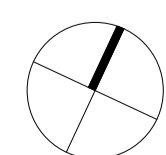
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1 GROUND FLOOR - LANEWAY PLAN  
A12-0010 SCALE 1 : 200



Project: **472-474 ST KILDA RD**

Drawing Title: **LANEWAY DDA ACCESS PATH**

Drawing Number: **TP-60-60**

Revision: Date: **23/03/23**

Scale: **1 : 200 @ A1**

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