

PORT PHILLIP PLANNING SCHEME

AMENDMENT C206PORT

EXPLANATORY REPORT

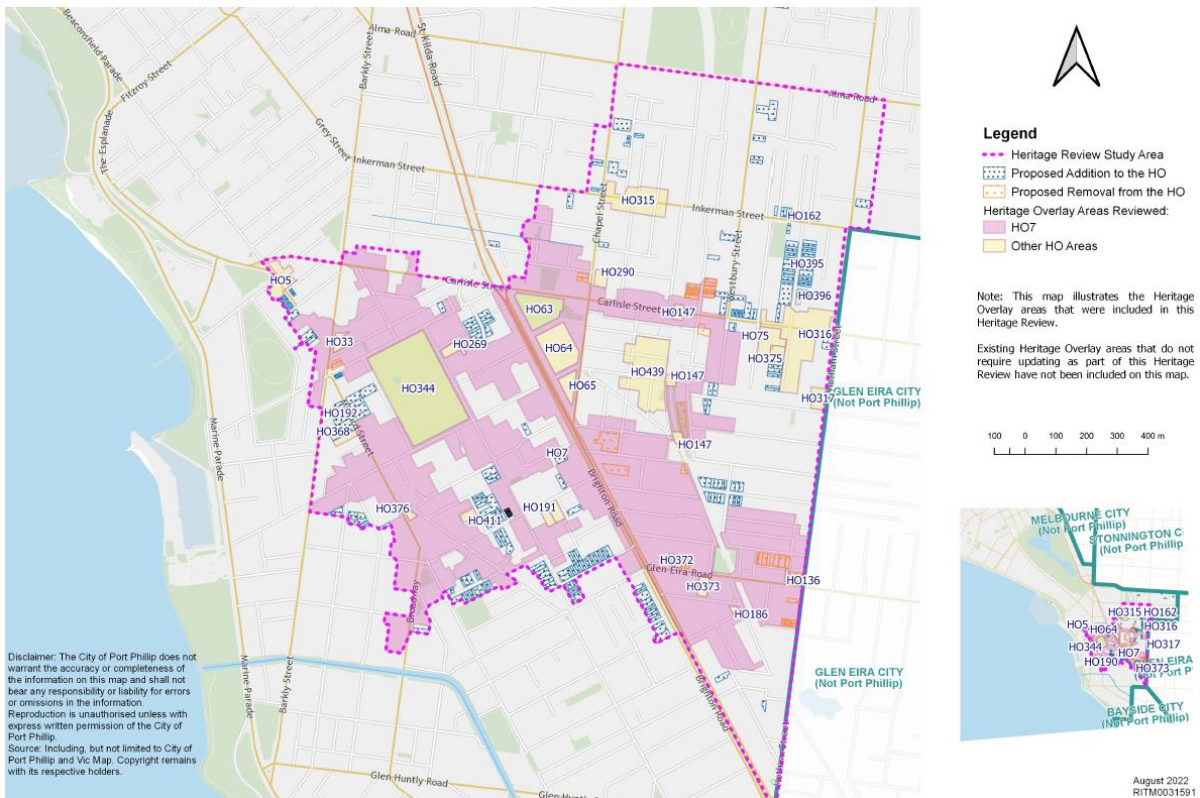
Who is the planning authority?

This amendment has been prepared by Port Phillip City Council, which is the planning authority for this amendment.

Land affected by the amendment

The amendment applies to land that is generally located in the suburbs of St Kilda, St Kilda East, Balaclava, Elwood and Ripponlea and specifically:

- The area identified as Heritage Overlay 7 – St Kilda, Balaclava, Ripponlea and Elwood (HO7) in the Port Phillip Planning Scheme.
- The area identified as Heritage Overlays 315 – Inkerman Street (East), 316 – Carlisle Street (East), 317 – Hotham Street (Balaclava) and 439 - Nightingale Street in the Port Phillip Planning Scheme.
- An additional 486 properties within the suburbs of St Kilda, St Kilda East, Balaclava, Elwood and Ripponlea as shown in Figure 1 (below) and listed in Attachments 1 and 2 at the end of this Explanatory Report.



A mapping reference table is attached at Attachment 1 to this Explanatory Report.

What the amendment does

The amendment proposes to give statutory effect to the 'Review of Heritage Overlay 7 and Surrounds' (HO7 Review) comprising the following reports commissioned by the City of Port Phillip:

- *Review of Heritage Precinct HO7: Elwood, St Kilda, Balaclava and Ripponlea – Stage 2 Report* (RBA Architects and Conservation Consultants, 2022)
- *Heritage Overlay 7 Review - Citations Update Report* (David Helms and Peter Barrett, 2022)

Specifically, the amendment proposes the following changes to the Port Phillip Planning Scheme:

1. Amend the Schedule to Clause 43.01 (Heritage Overlay) and Planning Scheme Maps 6HO and 7HO, 8HO and 9HO, to:

Heritage precincts

- a. delete HO7 and apply HO530 (Carlisle Street Commercial and Public Precinct), HO531 (Balaclava Flats Residential Precinct), HO533 (Brunnings Estate and Environs Precinct), HO535 (Ripponlea Commercial Precinct), HO536 (Ripponlea Residential Precinct), HO537 (St Kilda Botanical Gardens & Environs Precinct), HO538 (Village Belle Commercial Precinct), HO539 (Westbury Close Precinct) to properties formerly in the HO7 precinct, and as outlined in Tables 1, 2, 4, 6, 7, 8, 9 and 10 (Attachment 2), and list the Statement of Significance for each precinct. Properties listed in Table 12 will no longer be included in the Heritage Overlay.
- b. apply HO532 (Balston Street Precinct) to 2-50 Balston Street and 9-37 Balston Street, Balaclava and list the Statement of Significance.
- c. apply HO534 (Inkerman Street Commercial Precinct) to 244-280 Inkerman Street, St Kilda East and 353-355 Inkerman Street, St Balaclava and list the Statement of Significance.
- d. delete HO439 (Nightingale Street Precinct) and apply HO531 (Balaclava Flats Residential Precinct) to properties formerly in the HO439 precinct as outlined in Table 2.
- e. extend HO316 (Carlisle Street (East)) to apply to 311, 313, 332-336, 342, 356, 360 and 378 Carlisle Street and 2-24 Hawsleigh Avenue and list the Statement of Significance.
- f. remove HO5 from 18 properties on Acland Street and apply HO538 (Village Belle Commercial Precinct) as outlined in Table 9.
- g. remove 11 Burnett Street, St Kilda from HO5 as it will be included in HO35 (Benshemesh Flats Group Listing 1).
- h. remove 247 Inkerman Street from HO315 as it will be included in HO559 (Feldhagen Flats Group Listing 1).
- i. List the Statements of Significance for HO315 and HO317.

Individual heritage places

- j. apply individual HO526, HO527, HO528, HO556 and HO557 to properties formally in HO7, that are of individual heritage significance and are to be included in an individual heritage overlay as outlined in Table 15, and list the Statements of Significance.
- k. apply HO529, HO540, HO541, HO542, HO543, HO544, HO545, HO546, HO547, HO548, HO549, HO550, HO551, HO552, HO553, HO554, HO555 to individually significant places as outlined in Table 15, and list the Statements of Significance.
- l. delete heritage overlays HO33, HO75, HO162, HO192, HO269, HO290, HO372, HO373, HO375, HO376, HO395, and HO411 as the places of individual significance are being transferred to precinct Heritage Overlays as outlined in Table 11.

Group listing heritage places

- m. apply HO558 (Joseph Tarry Houses) to 149 & 151 Argyle Street and 1 Queen Street, St Kilda East, and list the Statement of Significance.
- n. apply HO559 (Feldhagen Flats Group Listing 1) to 169 Hotham Street, 247 Inkerman Street and 99 Westbury Street and list the Statement of Significance.

- o. apply HO560 (Benshemesh Flats Group Listing 2) to 306 Dandenong Road, 16 Lansdowne Road, 8 Westbury Street, St Kilda East.
 - p. apply HO561 (Sheffield Manor and Wansbeck) to 110 and 125 Westbury Street, Balaclava and the list the Statement of Significance.
 - q. amend HO35 to apply to 11 Burnett Street, St Kilda, 62 Hotham Street and 38 Westbury Street, St Kilda East and the list the Statement of Significance.
 - r. amend HO418 applying to 2 Hotham Grove, Ripponlea to include 12 Hotham Grove, Ripponlea as the 'Arden and Woodside' Group Listing and list the Statement of Significance.
2. Amend the Schedule to Clause 72.04 (Documents incorporated in this scheme) to include 41 new incorporated documents, being the Statements of Significance for:
 - a. new precincts HO530, HO531, HO532, HO533, HO534, HO535, HO536, HO537, HO537, HO539
 - b. new individually significant properties HO526, HO527, HO528, HO529, HO540, HO541, HO542, HO544, HO545, HO546, HO547, HO548, HO549, HO551, HO552, HO553, HO554, HO556 and HO557
 - c. new group listings HO541, HO542, HO543, HO550, HO555, HO558, HO559, HO560 and HO561; and
 - d. updated precincts HO315, HO316 and HO317.
 3. Amend Clause 22.04 (Heritage Policy) to:
 - a. Include new heritage grading definitions.
 - b. List the RBA Architects and Conservation Consultants: *Review of Heritage Precinct HO7: Elwood, St Kilda, Balaclava and Ripponlea – Stage 2 Report (2022)* and *David Helms and Peter Barrett: Heritage Overlay 7 Review - Citations Update Report (2022)* as background documents.
 4. Update the incorporated *Port Phillip Heritage Review Volumes 1-6* to:
 - a. Remove the precinct citation for HO7 and include ten new precinct citations for HO530, HO531, HO532, HO533, HO534, HO535, HO536, HO537, HO538 and HO539.
 - b. Replace the precinct citations for HO315, HO316 and HO317 with new citations.
 - c. Replace 85 existing individual property citations with new citations.
 - d. Include 18 new citations for new individually significant properties.
 - e. Include 6 new citations for new group listings.
 - f. Remove the citations for 34 individual places, as the places are no longer individually significant.
 5. Update the incorporated *City of Port Phillip Heritage Policy Map* to apply heritage gradings to properties as outlined in Attachment 2.
 6. Update the incorporated *City of Port Phillip Neighbourhood Character Map* to show removal of 'Contributory Outside HO' grading applying to 284 properties now included within the Heritage Overlay.
 7. Make other consequential changes to Clauses 21.07 (Incorporated Documents), Clause 22.04 (Heritage Policy) and the Schedule to Clause 72.04 (Documents incorporated in this scheme) to update the version number and date of the *Port Phillip Heritage Review* (including the *City of Port Phillip Heritage Policy Map* and the *City of Port Phillip Neighbourhood Character Map*).

Strategic assessment of the amendment

Why is the amendment required?

HO7 is a large precinct-based Heritage Overlay that applies to many properties within the St Kilda, Balaclava, Ripponlea and Elwood area and has not been holistically reviewed since its introduction in

2001. The precinct was identified as a priority for review in the *Port Phillip Planning Scheme Review Audit Report 2018*.

The Review of HO7 is part of Port Phillip Council's on-going Heritage Program to review heritage precincts to address the limitations of existing 'Statements of Significance' which generally cover extensive areas and lack detail as well as address identified gaps in the extent of heritage precincts and update heritage gradings where required. A similar review was completed in 2020 for HO6 (St Kilda East).

The Review ensures that heritage controls in the Port Phillip Planning Scheme remain current and reflect best practice to assist in the conservation of heritage places.

The amendment is required to apply, update and remove the Heritage Overlay as recommended by the HO7 Review, revise the incorporated *Port Phillip Heritage Review Volumes 1-6 (Exhibition Version)* and associated maps (*Heritage Policy Map and Neighbourhood Character Map*) to reflect changes to property heritage gradings and existing citations as well as the introduction of citations for new properties. The citations and statements of significance have been updated, or prepared, consistent with the principles outlined in *Planning Practice Note 1: Applying the Heritage Overlay*.

How does the amendment implement the objectives of planning in Victoria?

The amendment implements the following objectives of planning in Victoria, under Section 4 of the *Planning and Environment Act 1987*:

- 4(1)(d) - to conserve and enhance those buildings, areas or other places which are of scientific, aesthetic, architectural or historical interest, or otherwise of special cultural value;
- 4(1)(f) - to facilitate development in accordance with the objectives set out in paragraphs (a), (b), (c), (d) and (e);
- 4(1)(g) - to balance the present and future interests of all Victorians.

How does the amendment address any environmental, social and economic effects?

The amendment will have a positive environmental impact by protecting a place of historic significance and allowing the reuse and recycling of existing building stock. The amendment will have a positive social effect through the preservation of a historically and culturally significant place for the benefit of current and future generations. The amendment is not expected to have any significant economic impact.

Does the amendment address relevant bushfire risk?

The municipal area of Port Phillip does not have any designated bushfire prone areas.

Does the amendment comply with the requirements of any Minister's Direction applicable to the amendment?

The amendment is consistent with *Ministerial Direction No. 9 – Metropolitan Strategy* pursuant to Section 12 of the *Planning and Environment Act 1987* - that requires planning authorities to have regard to the Metropolitan Strategy (*Plan Melbourne 2017-2050*).

Direction 4.4 of *Plan Melbourne 2017-2050* seeks to "respect our heritage as we build for the future". The amendment is consistent with this policy direction as it proposes to make changes to ensure the Planning Scheme continues to guide appropriate development in the municipality, and that the built heritage of the municipality is maintained.

The amendment is also consistent with the Ministerial Direction on the *Form and Content of Planning Schemes* under Section 7(5) of the Act.

How does the amendment support or implement the Planning Policy Framework and any adopted State policy?

The amendment supports the following aspects of the State Planning Policy Framework:

Clause 15.03-1 Heritage Conservation:

Objective: To ensure the conservation of places of heritage significance.

Strategies: Identify, assess and document places of natural or cultural heritage significance as a basis for their inclusion in the planning scheme.

Provide for the protection of natural heritage sites and man-made resources.

Provide for the conservation and enhancement of those places which are of, aesthetic, archaeological, architectural, cultural, scientific, or social significance.

Encourage appropriate development that respects places with identified heritage values.

Retain those elements that contribute to the importance of the heritage place.

Encourage the conservation and restoration of contributory elements of a heritage place.

Ensure an appropriate setting and context for heritage places is maintained or enhanced.

Support adaptive reuse of heritage buildings where their use has become redundant.

The amendment ensures that the policy directions for heritage conservation can be met through the identification, assessment and protection of heritage places within Port Phillip. The protection of heritage properties will encourage appropriate development and the conservation and restoration of the contributory elements of the heritage places.

How does the amendment support or implement the Local Planning Policy Framework, and specifically the Municipal Strategic Statement?

This amendment is consistent with the objectives and strategies outlined in the Local Planning Policy Framework of the Port Phillip Planning Scheme.

In accordance with Clause 21.05-1 of the Municipal Strategic Statement, the vision is to conserve and enhance the architectural and cultural heritage of Port Phillip with policy seeking to:

- Protect, conserve and enhance all identified significant and contributory places, including buildings, trees and streetscapes.
- Support the restoration and renovation of heritage buildings and discourage their demolition.
- Encourage high quality design that positively contributes to identified heritage values.
- Ensure that new development respects and enhances the scale, form and setbacks of nearby heritage buildings.
- Encourage urban consolidation only where it can be achieved without affecting heritage significance.

To achieve this vision, Clause 22.04 – Heritage Policy (Local Planning Policies) outlines the objectives that are relevant to the conservation and protection of heritage places, as follows:

- To retain and conserve all significant and contributory heritage places.
- To discourage the demolition of significant and contributory heritage places.
- To ensure all new development and redevelopment of significant and contributory places is respectfully and harmoniously integrated with the surrounding character.
- To promote design excellence (in terms of building siting, scale, massing, articulation and materials) which clearly and positively supports the heritage significance of all Heritage Overlay areas.
- To ensure that new development and any publicly visible additions and/or alterations in or to a heritage place maintains the significance of the heritage place and employs a contextual design approach.
- To encourage development, in particular use of materials, that responds to the historic character of laneways and to minimise elements that adversely impact on that character.

- To ensure that reconstruction and repair of significant heritage bluestone kerb and channelling, bluestone laneways and significant concrete kerb and channel is carried out in a way that reflects as closely as possible the original appearance.

How does the amendment support or implement the Municipal Planning Strategy?

Not applicable.

Does the amendment make proper use of the Victoria Planning Provisions?

The amendment makes proper use of the Victorian Planning Provisions by maintaining the approach of a schedule to the Heritage Overlay to place heritage controls over the properties identified to be of heritage significance.

Application of the Heritage Overlay in the Port Phillip Planning Scheme is consistent with *Practice Note 1 - Applying the Heritage Overlay*.

How does the amendment address the views of any relevant agency?

The amendment does not affect any agency.

Does the amendment address relevant requirements of the Transport Integration Act 2010?

The amendment will not have a significant impact on the transport system, as defined by section 3 of the *Transport Integration Act 2010*.

Resource and administrative costs

- **What impact will the new planning provisions have on the resource and administrative costs of the responsible authority?**

The amendment will increase the number of properties affected by the Heritage Overlay and therefore increase the number of permits triggered. However, a more detailed and relevant heritage citation and Statement of significance for Precincts, Individual Places and Group Listings in the HO7 Review area will provide for improved decision making by Council. The amendment is therefore not expected to have any significant impact upon the resources and administrative costs of Council.

Where you may inspect this amendment

The amendment is available for public inspection, free of charge, during office hours at the St Kilda Town Hall (99a Carlisle Street, St Kilda).

The amendment may also be viewed online at the City Port Phillip website: <http://www.portphillip.vic.gov.au/planning-scheme-amendments.htm>

The amendment can also be inspected free of charge at the Department of Environment, Land, Water and Planning website at <http://www.planning.vic.gov.au/public-inspection> or by contacting the office on 1800 789 386 to arrange a time to view the amendment documentation.

Submissions

Any person who may be affected by the amendment may make a submission to the planning authority. Submissions about the amendment must be received by [insert submissions due date].

A submission must be sent to: [insert Council's address]

Panel hearing dates

In accordance with clause 4(2) of Ministerial Direction No.15 the following panel hearing dates have been set for this amendment:

- directions hearing: TBC
- panel hearing: TBC

ATTACHMENT 1 - Mapping reference table

Location	Land /Area Affected	Mapping Reference
St Kilda, HO35	Land bound by Burnett Street, Grey Street and Gurner Street	Port Phillip C206port 005hoMaps06_07_08_09 Exhibition
St Kilda, Balaclava HO530		Port Phillip C206port 005hoMaps06_07_08_09 Exhibition
Balaclava, HO531		Port Phillip C206port 005hoMaps06_07_08_09 Exhibition
St Kilda, Elwood, HO537		Port Phillip C206port 005hoMaps06_07_08_09 Exhibition
St Kilda, HO538		Port Phillip C206port 005hoMaps06_07_08_09 Exhibition
St Kilda, HO540		Port Phillip C206port 005hoMaps06_07_08_09 Exhibition
St Kilda, HO541		Port Phillip C206port 005hoMaps06_07_08_09 Exhibition
St Kilda, HO542		Port Phillip C206port 005hoMaps06_07_08_09 Exhibition
St Kilda, HO543		Port Phillip C206port 005hoMaps06_07_08_09 Exhibition
Elwood, HO544		Port Phillip C206port 005hoMaps06_07_08_09 Exhibition
St Kilda, HO545		Port Phillip C206port 005hoMaps06_07_08_09 Exhibition
St Kilda, HO547		Port Phillip C206port 005hoMaps06_07_08_09 Exhibition
St Kilda, HO553		Port Phillip C206port 005hoMaps06_07_08_09 Exhibition
St Kilda, HO554		Port Phillip C206port 005hoMaps06_07_08_09 Exhibition
St Kilda East, HO558		Port Phillip C206port 005hoMaps06_07_08_09 Exhibition
Balaclava, HO559		Port Phillip C206port 005hoMaps06_07_08_09 Exhibition
St Kilda East, HO560		Port Phillip C206port 006hoMaps06_07_09 Exhibition
St Kilda East, HO560		Port Phillip C206port 006hoMaps06_07_09 Exhibition
St Kilda East, HO560		Port Phillip C206port 006hoMaps06_07_09 Exhibition
St Kilda East, HO549		Port Phillip C206port 006hoMaps06_07_09 Exhibition
St Kilda East, HO555		Port Phillip C206port 006hoMaps06_07_09 Exhibition
St Kilda, HO540		Port Phillip C206port 006hoMaps06_07_09 Exhibition
St Kilda, HO35		Port Phillip C206port

		006hoMaps06_07_09 Exhibition
St Kilda East, HO548		Port Phillip C206port 006hoMaps06_07_09 Exhibition
St Kilda East, HO550		Port Phillip C206port 006hoMaps06_07_09 Exhibition
St Kilda East, HO558		Port Phillip C206port 006hoMaps06_07_09 Exhibition
St Kilda, HO553		Port Phillip C206port 006hoMaps06_07_09 Exhibition
Balaclava, HO559		Port Phillip C206port 006hoMaps06_07_09 Exhibition
Balaclava, HO559		Port Phillip C206port 006hoMaps06_07_09 Exhibition
St Kilda East, HO534		Port Phillip C206port 006hoMaps06_07_09 Exhibition
St Kilda, HO35		Port Phillip C206port 006hoMaps06_07_09 Exhibition
St Kilda, HO541		Port Phillip C206port 006hoMaps06_07_09 Exhibition
Balaclava, HO551		Port Phillip C206port 006hoMaps06_07_09 Exhibition
Balaclava, HO532		Port Phillip C206port 006hoMaps06_07_09 Exhibition
Ripponlea, HO530		Port Phillip C206port 006hoMaps06_07_09 Exhibition
Balaclava, HO561		Port Phillip C206port 006hoMaps06_07_09 Exhibition
Balaclava, HO316		Port Phillip C206port 006hoMaps06_07_09 Exhibition
Balaclava, HO561		Port Phillip C206port 006hoMaps06_07_09 Exhibition
Balaclava, HO552		Port Phillip C206port 006hoMaps06_07_09 Exhibition
Balaclava, HO539		Port Phillip C206port 006hoMaps06_07_09 Exhibition
Balaclava, HO316		Port Phillip C206port 006hoMaps06_07_09 Exhibition
Balaclava, HO316		Port Phillip C206port 006hoMaps06_07_09 Exhibition
Balaclava, HO546		Port Phillip C206port 006hoMaps06_07_09 Exhibition
Balaclava, HO531		Port Phillip C206port 006hoMaps06_07_09 Exhibition
Balaclava, HO531		Port Phillip C206port 006hoMaps06_07_09 Exhibition
Balaclava, HO531		Port Phillip C206port 006hoMaps06_07_09 Exhibition
Balaclava HO533		Port Phillip C206port 006hoMaps06_07_09 Exhibition

Balaclava, HO528		Port Phillip C206port 006hoMaps06_07_09 Exhibition
Balaclava, HO536		Port Phillip C206port 006hoMaps06_07_09 Exhibition
St Kilda, HO537		Port Phillip C206port 007hoMaps08_09 Exhibition
St Kilda, HO537		Port Phillip C206port 007hoMaps08_09 Exhibition
St Kilda, HO537		Port Phillip C206port 007hoMaps08_09 Exhibition
Elwood, HO537		Port Phillip C206port 007hoMaps08_09 Exhibition
St Kilda, HO538		Port Phillip C206port 007hoMaps08_09 Exhibition
St Kilda, HO538		Port Phillip C206port 007hoMaps08_09 Exhibition
St Kilda, HO545		Port Phillip C206port 007hoMaps08_09 Exhibition
St Kilda, HO556		Port Phillip C206port 007hoMaps08_09 Exhibition
St Kilda, HO544		Port Phillip C206port 007hoMaps08_09 Exhibition

ATTACHMENT 2

TABLE 1 - CARLISLE STREET COMMERCIAL AND PUBLIC PRECINCT (HO530)

Properties in HO7 to be transferred to **HO530** with a 'Significant' grading:

BALACLAVA		
224 CARLISLE STREET	284 CARLISLE STREET	292 CARLISLE STREET
242 CARLISLE STREET	123-127 CARLISLE STREET	114A WESTBURY CLOSE
ST KILDA		
101 CARLISLE STREET	161-169 CHAPEL STREET	150 CARLISLE STREET
132-134 CARLISLE STREET	92-98 CHAPEL STREET	175 CHAPEL STREET

Properties in HO7 to be transferred to **HO530** with a 'Contributory' grading:

BALACLAVA		
1/220 CARLISLE STREET	155 CARLISLE STREET	211 CARLISLE STREET
232 CARLISLE STREET	153 CARLISLE STREET	219 CARLISLE STREET
220 CARLISLE STREET	149-151 CARLISLE ST	215 CARLISLE STREET
234 CARLISLE STREET	149A CARLISLE STREET	6-8 WILLIAM STREET
238 CARLISLE STREET	147 CARLISLE STREET	10 WILLIAM STREET
240 CARLISLE STREET	143 CARLISLE STREET	2 WILLIAM STREET
244 CARLISLE STREET	139 CARLISLE STREET	4 WILLIAM STREET
246-252 CARLISLE ST	137 CARLISLE STREET	229-237 CARLISLE ST
254 CARLISLE STREET	135 CARLISLE STREET	304-306 CARLISLE ST
256 CARLISLE STREET	133 CARLISLE STREET	1/304-306 CARLISLE ST
258 CARLISLE STREET	129-131 CARLISLE ST	243 CARLISLE STREET
262 CARLISLE STREET	121 CARLISLE STREET	243A CARLISLE STREET
268 CARLISLE STREET	119 CARLISLE STREET	247 CARLISLE STREET
270-272 CARLISLE ST	117 CARLISLE STREET	255 CARLISLE STREET
274 CARLISLE STREET	115 CARLISLE STREET	255A CARLISLE STREET
276 CARLISLE STREET	111 CARLISLE STREET	259 CARLISLE STREET
280 CARLISLE STREET	109 CARLISLE STREET	217 CARLISLE STREET
203 CARLISLE STREET	30 WOODSTOCK ST	245 CARLISLE STREET
201 CARLISLE STREET	169 CARLISLE STREET	257 CARLISLE STREET
199 CARLISLE STREET	167 CARLISLE STREET	296-298 CARLISLE ST
197 CARLISLE STREET	165 CARLISLE STREET	298 CARLISLE STREET
195 CARLISLE STREET	38 DIANELLA LANE	251 CARLISLE STREET
193 CARLISLE STREET	60 DIANELLA LANE	239 CARLISLE STREET
191A CARLISLE STREET	234A CARLISLE STREET	239A CARLISLE STREET
191 CARLISLE STREET	236A CARLISLE STREET	261 CARLISLE STREET
189 CARLISLE STREET	236 CARLISLE STREET	261A CARLISLE STREET
187 CARLISLE STREET	185 CARLISLE STREET	300 CARLISLE STREET
185A CARLISLE STREET	36 DIANELLA LANE	302 CARLISLE STREET
183 CARLISLE STREET	141 CARLISLE STREET	241 CARLISLE STREET
181 CARLISLE STREET	22 DIANELLA LANE	294 CARLISLE STREET
179 CARLISLE STREET	207 CARLISLE STREET	249A CARLISLE STREET
175 CARLISLE STREET	205 CARLISLE STREET	241 CARLISLE STREE
173 CARLISLE STREET	209 CARLISLE STREET	253 CARLISLE STREET
171 CARLISLE STREET	286 CARLISLE STREET	249 CARLISLE STREET
163 CARLISLE STREET	290 CARLISLE STREET	288 CARLISLE STREET
159 CARLISLE STREET	290A CARLISLE STREET	157 CARLISLE STREET
ST KILDA		
99B CARLISLE STREET	172 CARLISLE STREET	149 CHAPEL STREET
114 CARLISLE STREET	186 CARLISLE STREET	192-194 CARLISLE ST
118 CARLISLE STREET	188 CARLISLE STREET	198 CARLISLE STREET
116 CARLISLE STREET	190 CARLISLE STREET	204 CARLISLE STREET
120-124 CARLISLE ST	153 CHAPEL STREET	107 CARLISLE STREET
1/1 DUKE STREET	155 CHAPEL STREET	118-120 CHAPEL ST
126 CARLISLE STREET	157 CHAPEL STREET	120 CHAPEL STREET
156 CARLISLE STREET	159 CHAPEL STREET	106 CHAPEL STREET
156A CARLISLE STREET	180 CARLISLE STREET	104 CHAPEL STREET
130 CARLISLE STREET	184 CARLISLE STREET	102 CHAPEL STREET
160 CARLISLE STREET	178 CARLISLE STREET	100 CHAPEL STREET

162 CARLISLE STREET	151 CHAPEL STREET	202 CARLISLE STREET
156B CARLISLE STREET	149A CHAPEL STREET	1/202 CARLISLE ST
162A CARLISLE STREET	147 CHAPEL STREET	200 CARLISLE STREET
103-105 CARLISLE ST		

Properties in HO7 to be transferred to **HO530** (*Carlisle Street Commercial and Public Precinct*) with a 'Non-Contributory' grading:

BALACLAVA		
206-218 CARLISLE ST	145 CARLISLE STREET	223 CARLISLE STREET
260 CARLISLE STREET	225-227 CARLISLE ST	308 - 314 CARLISLE ST
264-266 CARLISLE ST	221 CARLISLE STREET	48 BLENHEIM STREET
ST KILDA		
118A CARLISLE STREET	118B CARLISLE STREET	162B CARLISLE STREET
168 CARLISLE STREET		

Properties not currently in a Heritage Overlay to be included in **HO530** with a 'Contributory' grading:

BALACLAVA		
320 CARLISLE STREET	326 CARLISLE STREET	275 CARLISLE STREET
322A CARLISLE STREET	328 CARLISLE STREET	279 CARLISLE STREET
322 CARLISLE STREET	326A CARLISLE STREET	281 CARLISLE STREET
324 CARLISLE STREET	330 CARLISLE STREET	271 CARLISLE STREET
324A CARLISLE STREET	263-265 CARLISLE ST	271A CARLISLE STREET
330A CARLISLE STREET	267 CARLISLE STREET	277 CARLISLE STREET
328A CARLISLE STREET	269 CARLISLE STREET	

TABLE 2 - BALALAVA FLATS RESIDENTIAL PRECINCT (HO531)Properties in HO7 to be transferred to **HO531** with a 'Significant' grading:

BALACLAVA		
29-31 WILLIAM STREET	74-88 WILLIAM STREET	33 WILLIAM STREET

Properties in HO7 to be transferred to **HO531** with a 'Contributory' grading:

BALACLAVA		
26 GOURLAY STREET	21 BRUNNING STREET	16 BRUNNING STREET
22 GOURLAY STREET	23 BRUNNING STREET	14 BRUNNING STREET
20 GOURLAY STREET	25 BRUNNING STREET	12 BRUNNING STREET
18 GOURLAY STREET	27 BRUNNING STREET	61 GROSVENOR STREET
16 GOURLAY STREET	29 BRUNNING STREET	2 GROSVENOR STREET
14 GOURLAY STREET	31 BRUNNING STREET	6 GROSVENOR STREET
12 GOURLAY STREET	33 BRUNNING STREET	8 GROSVENOR STREET
10 GOURLAY STREET	35 BRUNNING STREET	10 GROSVENOR STREET
8 GOURLAY STREET	37 BRUNNING STREET	12 GROSVENOR STREET
6 GOURLAY STREET	39 BRUNNING STREET	14 GROSVENOR STREET
4 GOURLAY STREET	41 BRUNNING STREET	16 GROSVENOR STREET
72 WILLIAM STREET	43 BRUNNING STREET	18 GROSVENOR STREET
70 WILLIAM STREET	54-56 BRUNNING STREET	20 GROSVENOR STREET
68 WILLIAM STREET	52 BRUNNING STREET	22 GROSVENOR STREET
66 WILLIAM STREET	50 BRUNNING STREET	24 GROSVENOR STREET
64 WILLIAM STREET	48 BRUNNING STREET	19 GROSVENOR STREET
62 WILLIAM STREET	46 BRUNNING STREET	21 GROSVENOR STREET
60 WILLIAM STREET	44 BRUNNING STREET	23 GROSVENOR STREET
58 WILLIAM STREET	42 BRUNNING STREET	25 GROSVENOR STREET
50 WILLIAM STREET	40 BRUNNING STREET	27 GROSVENOR STREET
48 WILLIAM STREET	38 BRUNNING STREET	33 GROSVENOR STREET
46 WILLIAM STREET	34 BRUNNING STREET	35 GROSVENOR STREET
44 WILLIAM STREET	32 BRUNNING STREET	37 GROSVENOR STREET
5 BRUNNING STREET	30 BRUNNING STREET	47 GROSVENOR STREET
7 BRUNNING STREET	28 BRUNNING STREET	49 GROSVENOR STREET
11 BRUNNING STREET	26 BRUNNING STREET	51 GROSVENOR STREET
13 BRUNNING STREET	24 BRUNNING STREET	53 GROSVENOR STREET
15 BRUNNING STREET	22 BRUNNING STREET	55 GROSVENOR STREET
17 BRUNNING STREET	20 BRUNNING STREET	57 GROSVENOR STREET
19 BRUNNING STREET	18 BRUNNING STREET	59 GROSVENOR STREET
ST KILDA		
18 DUKE STREET	33 DUKE STREET	1 LYNOTT STREET
66 PAKINGTON STREET	35 DUKE STREET	2 LYNOTT STREET
133 CHAPEL STREET	37 DUKE STREET	4 LYNOTT STREET
135 CHAPEL STREET	39 DUKE STREET	6 LYNOTT STREET
137 CHAPEL STREET	41 DUKE STREET	8 LYNOTT STREET
139 CHAPEL STREET	2 GLENMARK AVENUE	29 PAKINGTON STREET
32 DUKE STREET	4 GLENMARK AVENUE	31 PAKINGTON STREET
30 DUKE STREET	6 GLENMARK AVENUE	37 PAKINGTON STREET
28 DUKE STREET	8 GLENMARK AVENUE	43 PAKINGTON STREET
26 DUKE STREET	10 GLENMARK AVENUE	49 PAKINGTON STREET
24 DUKE STREET	12 GLENMARK AVENUE	49A PAKINGTON STREET
22 DUKE STREET	17 GLENMARK AVENUE	51 PAKINGTON STREET
10A DUKE STREET	15 GLENMARK AVENUE	53 PAKINGTON STREET
10 DUKE STREET	13 GLENMARK AVENUE	60 PAKINGTON STREET
8 DUKE STREET	11 GLENMARK AVENUE	58 PAKINGTON STREET
6 DUKE STREET	9 GLENMARK AVENUE	56 PAKINGTON STREET
4 DUKE STREET	7 GLENMARK AVENUE	54 PAKINGTON STREET
2 DUKE STREET	5 GLENMARK AVENUE	52 PAKINGTON STREET
5-7 DUKE STREET	3 GLENMARK AVENUE	50 PAKINGTON STREET
25 DUKE STREET	1 GLENMARK AVENUE	48 PAKINGTON STREET
27 DUKE STREET	9 LYNOTT STREET	46 PAKINGTON STREET
29 DUKE STREET	7 LYNOTT STREET	41 PAKINGTON STREET
31 DUKE STREET	5 LYNOTT STREET	3 DUKE STREET

Properties in HO7 to be transferred to **HO531** with a 'Non-Contributory' grading:

BALACLAVA		
2 GOURLAY STREET	24 GOURLAY STREET	39-45 GROSVENOR ST
14 GIBBS STREET	35 MARLBOROUGH ST	29 GROSVENOR STREET
8 GIBBS STREET	53 MARLBOROUGH ST	31 GROSVENOR STREET
8A GIBBS STREET	35 ROSAMOND STREET	4A GROSVENOR STREET
6 GIBBS STREET	24A GOURLAY STREET	4B GROSVENOR STREET
4 GIBBS STREET	9 BRUNNING STREET	
ST KILDA		
20 DUKE STREET	33 PAKINGTON STREET	10 LYNOTT STREET
35 PAKINGTON STREET	39 PAKINGTON STREET	12 LYNOTT STREET
29A PAKINGTON STREET	37A PAKINGTON STREET	14 LYNOTT STREET
31A PAKINGTON STREET	20 MARTIN STREET	12-14 DUKE STREET

Properties in HO439 (Nightingale Street Precinct - Balaclava) to be transferred to **HO531** with a 'Contributory' grading:

BALACLAVA		
1 GIBBS STREET	29 NIGHTINGALE STREET	45 ROSAMOND STREET
3 GIBBS STREET	31 NIGHTINGALE STREET	47 ROSAMOND STREET
5 GIBBS STREET	33 NIGHTINGALE STREET	49 ROSAMOND STREET
7 GIBBS STREET	35 NIGHTINGALE STREET	51 ROSAMOND STREET
9 GIBBS STREET	39 NIGHTINGALE STREET	53 ROSAMOND STREET
11 GIBBS STREET	41 NIGHTINGALE STREET	55 ROSAMOND STREET
13 GIBBS STREET	43 NIGHTINGALE STREET	57 ROSAMOND STREET
15-17 GIBBS STREET	45 NIGHTINGALE STREET	58 ROSAMOND STREET
20 GIBBS STREET	47 NIGHTINGALE STREET	56 ROSAMOND STREET
18 GIBBS STREET	58 NIGHTINGALE STREET	54 ROSAMOND STREET
16 GIBBS STREET	56 NIGHTINGALE STREET	52 ROSAMOND STREET
12 GIBBS STREET	54 NIGHTINGALE STREET	50 ROSAMOND STREET
10 GIBBS STREET	52 NIGHTINGALE STREET	48 ROSAMOND STREET
2 GIBBS STREET	50 NIGHTINGALE STREET	46 ROSAMOND STREET
22 GIBBS STREET	48 NIGHTINGALE STREET	44 ROSAMOND STREET
31 MARLBOROUGH STREET	46 NIGHTINGALE STREET	42 ROSAMOND STREET
33 MARLBOROUGH STREET	44 NIGHTINGALE STREET	40 ROSAMOND STREET
37 MARLBOROUGH STREET	42 NIGHTINGALE STREET	38 ROSAMOND STREET
39 MARLBOROUGH STREET	40 NIGHTINGALE STREET	36 ROSAMOND STREET
41 MARLBOROUGH STREET	38 NIGHTINGALE STREET	34 ROSAMOND STREET
43 MARLBOROUGH STREET	36 NIGHTINGALE STREET	32 ROSAMOND STREET
45 MARLBOROUGH STREET	34 NIGHTINGALE STREET	30 ROSAMOND STREET
47 MARLBOROUGH STREET	ST KILDA COMMUNITY GARDENS 1-5 RAILWAY PLACE	28 ROSAMOND STREET
49 MARLBOROUGH STREET	27 ROSAMOND STREET	26 ROSAMOND STREET
51 MARLBOROUGH STREET	29 ROSAMOND STREET	24 ROSAMOND STREET
55 MARLBOROUGH STREET	31 ROSAMOND STREET	21 WOODSTOCK STREET
19 NIGHTINGALE STREET	33 ROSAMOND STREET	19 WOODSTOCK STREET
21 NIGHTINGALE STREET	37 ROSAMOND STREET	32 NIGHTINGALE STREET
23 NIGHTINGALE STREET	39 ROSAMOND STREET	22 WOODSTOCK STREET

25 NIGHTINGALE STREET	41 ROSAMOND STREET	10 BOTHWELL STREET (part of 15-17 GIBBS STREET)
27 NIGHTINGALE STREET	43 ROSAMOND STREET	

Properties in HO439 (Nightingale Street Precinct - Balaclava) to be transferred to **HO531** with a 'Non-Contributory' grading:

BALACLAVA		
14 GIBBS STREET	6 GIBBS STREET	53 MARLBOROUGH STREET
8 GIBBS STREET	4 GIBBS STREET	35 ROSAMOND STREET
8A GIBBS STREET	35 MARLBOROUGH STREET	

Properties not currently in a Heritage Overlay to be included in **HO531** with a 'Contributory' grading:

BALACLAVA		
1 THE AVENUE	3 THE AVENUE	4 THE AVENUE
6 THE AVENUE		

TABLE 3 - BALSTON STREET PRECINCT (HO532)Properties to be included in **HO532** with heritage gradings to be shown on the *Heritage Policy Map*

Address	Heritage grading	HO number
16 BALSTON STREET	Significant	HO532
10 BALSTON STREET	Contributory	HO532
11 BALSTON STREET	Contributory	HO532
12 BALSTON STREET	Contributory	HO532
13 BALSTON STREET	Contributory	HO532
14 BALSTON STREET	Contributory	HO532
15 BALSTON STREET	Contributory	HO532
17 BALSTON STREET	Contributory	HO532
18 BALSTON STREET	Contributory	HO532
19 BALSTON STREET	Contributory	HO532
2 BALSTON STREET	Contributory	HO532
20 BALSTON STREET	Contributory	HO532
21 BALSTON STREET	Contributory	HO532
22 BALSTON STREET	Contributory	HO532
23 BALSTON STREET	Contributory	HO532
24 BALSTON STREET	Contributory	HO532
25 BALSTON STREET	Contributory	HO532
26 BALSTON STREET	Contributory	HO532
27 BALSTON STREET	Contributory	HO532
28 BALSTON STREET	Contributory	HO532
29 BALSTON STREET	Contributory	HO532
30 BALSTON STREET	Contributory	HO532
32 BALSTON STREET	Contributory	HO532
33 BALSTON STREET	Contributory	HO532
34 BALSTON STREET	Contributory	HO532
35 BALSTON STREET	Contributory	HO532
37 BALSTON STREET	Contributory	HO532
39 BALSTON STREET	Contributory	HO532
40 BALSTON STREET	Contributory	HO532
42 BALSTON STREET	Contributory	HO532
44 BALSTON STREET	Contributory	HO532
46 BALSTON STREET	Contributory	HO532
48 BALSTON STREET	Contributory	HO532
5 BALSTON STREET	Contributory	HO532
50 BALSTON STREET	Contributory	HO532
6 BALSTON STREET	Contributory	HO532
6A BALSTON STREET	Contributory	HO532

8 BALSTON STREET	Contributory	HO532
8A BALSTON STREET	Contributory	HO532
9 BALSTON STREET	Contributory	HO532
4 BALSTON STREET	Contributory	HO532
31 BALSTON STREET	Non-Contributory	HO532

TABLE 4 - BRUNNINGS ESTATE AND ENVIRONS PRECINCT (HO533)Properties in HO7 to be transferred to **HO533** with a 'Significant' grading:

BALACLAVA		
17A ALBION STREET	48 BRIGHTON ROAD	
RIPPONLEA		
4 LOS ANGELES COURT	14 MARYVILLE STREET	58 BRIGHTON ROAD
66 BRIGHTON ROAD	20 MONKSTADT AVENUE	4 LOS ANGELES COURT
64 BRIGHTON ROAD		

Properties in HO7 to be transferred to **HO533** with a 'Contributory' grading:

BALACLAVA		
20A ALBION STREET	18 ALBION STREET	2 SOMERS STREET
22 ALBION STREET	6 ALBION STREET	5 ALBION STREET
22-22A ALBION STREET	20 ALBION STREET	7 SOMERS STREET
50 BRIGHTON ROAD	25 ALBION STREET	3A ALBION STREET
52 BRIGHTON ROAD	19 ALBION STREET	5 SOMERS STREET
8 ALBION STREET	21 ALBION STREET	3 SOMERS STREET
10A ALBION STREET	4 SOMERS STREET	46 BRIGHTON ROAD
10 ALBION STREET	23 ALBION STREET	1A ALBION STREET
4 ALBION STREET	6 SOMERS STREET	42 BRIGHTON ROAD
2 ALBION STREET	17 ALBION STREET	42A BRIGHTON ROAD
12 ALBION STREET	9 ALBION STREET	44 BRIGHTON ROAD
14 ALBION STREET	8 SOMERS STREET	7 ALBION STREET
16 ALBION STREET		
RIPPONLEA		
1 MORRES STREET	14 MONKSTADT AVENUE	6 LOS ANGELES COURT
4 MORRES STREET	12 LOS ANGELES COURT	10 LOS ANGELES COURT
5 MORRES STREET	1 MARYVILLE STREET	3 MARYVILLE STREET
2 MORRES STREET	9A MARYVILLE STREET	22 MONKSTADT AVENUE
3 MORRES STREET	5 MARYVILLE STREET	11 MARYVILLE STREET
9 GLEN EIRA ROAD	7 MARYVILLE STREET	56 BRIGHTON ROAD
60 BRIGHTON ROAD	8 LOS ANGELES COURT	54 BRIGHTON ROAD
4 MARYVILLE STREET	18 MONKSTADT AVENUE	15 LOS ANGELES COURT
1 GLEN EIRA ROAD	21 MARYVILLE STREET	13 LOS ANGELES COURT
70 BRIGHTON ROAD	23 MARYVILLE STREET	5 LOS ANGELES COURT
12 MARYVILLE STREET	13 MARYVILLE STREET	3 LOS ANGELES COURT
6 MARYVILLE STREET	26 ALBION STREET	13A LOS ANGELES COURT
62 BRIGHTON ROAD	16 MONKSTADT AVENUE	7A LOS ANGELES COURT
25 MARYVILLE STREET	23 MONKSTADT AVENUE	7 LOS ANGELES COURT
17 MARYVILLE STREET	24 ALBION STREET	1 LOS ANGELES COURT
19 MARYVILLE STREET	17 MONKSTADT AVENUE	11 LOS ANGELES COURT
2 LOS ANGELES COURT	19 MONKSTADT AVENUE	9 LOS ANGELES COURT
15 MARYVILLE STREET	9 MARYVILLE STREET	

Properties in HO7 to be transferred to **HO533** with a 'Non-Contributory' grading:

BALACLAVA		
8 MARYVILLE STREET	10 MARYVILLE STREET	21 MONKSTADT AVENUE
21A MONKSTADT AVENUE		
RIPPONLEA		
13 ALBION STREET	11 ALBION STREET	15 ALBION STREET
3 ALBION STREET		

TABLE 5 - INKERMAN STREET COMMERCIAL PRECINCT (HO534)Properties to be included in **HO534** with heritage gradings to be shown on the *Heritage Policy Map*

Address	Heritage grading	HO number
248-250 INKERMAN STREET, ST KILDA EAST	Significant	HO534
33 PRENTICE STREET, ST KILDA EAST	Significant	HO534
268-278 INKERMAN STREET, ST KILDA EAST	Significant	HO534
353 INKERMAN STREET, BALACLAVA	Contributory	HO534
355 INKERMAN STREET, BALACLAVA	Contributory	HO534
244 INKERMAN STREET, ST KILDA EAST	Contributory	HO534
280 INKERMAN STREET, ST KILDA EAST	Contributory	HO534
262-266 INKERMAN STREET, ST KILDA EAST	Contributory	HO534
258-260 INKERMAN STREET, ST KILDA EAST	Contributory	HO534
256 INKERMAN STREET, ST KILDA EAST	Non-Contributory	HO534
254 INKERMAN STREET, ST KILDA EAST	Non-Contributory	HO534

TABLE 6 - RIPPONLEA COMMERCIAL PRECINCT (HO535)

Properties in HO7 to be transferred to **HO535** with a 'Significant' grading:

RIPPONLEA		
74 GLEN EIRA ROAD	76 GLEN EIRA ROAD	78 GLEN EIRA ROAD
73 GLEN EIRA ROAD	71 GLEN EIRA ROAD	

Properties in HO7 to be transferred to **HO535** with a 'Contributory' grading:

RIPPONLEA		
8 GLEN EIRA AVENUE	37 GLEN EIRA ROAD	36 GLEN EIRA ROAD
4 GLEN EIRA AVENUE	47 GLEN EIRA ROAD	42-44 GLEN EIRA ROAD
15 GLEN EIRA ROAD RIPPONLEA (part of 4 GLEN EIRA ROAD)	51 GLEN EIRA ROAD	38 GLEN EIRA ROAD
17 GLEN EIRA ROAD	57 GLEN EIRA ROAD	48-58 GLEN EIRA ROAD
27 GLEN EIRA ROAD	49 GLEN EIRA ROAD	46 GLEN EIRA ROAD
23 GLEN EIRA ROAD	45 GLEN EIRA ROAD	60 GLEN EIRA ROAD
25 GLEN EIRA ROAD	59 GLEN EIRA ROAD	62 GLEN EIRA ROAD
29 GLEN EIRA ROAD	61 GLEN EIRA ROAD	68-72 GLEN EIRA ROAD
19 GLEN EIRA ROAD	63 GLEN EIRA ROAD	66 GLEN EIRA ROAD
21 GLEN EIRA ROAD	65 GLEN EIRA ROAD	82 GLEN EIRA ROAD
31 GLEN EIRA ROAD	67 GLEN EIRA ROAD	84 GLEN EIRA ROAD
53 GLEN EIRA ROAD	69 GLEN EIRA ROAD	64 GLEN EIRA ROAD
55 GLEN EIRA ROAD	32 GLEN EIRA ROAD	80 GLEN EIRA ROAD
33-35 GLEN EIRA ROAD	40 GLEN EIRA ROAD	

Properties in HO7 to be transferred to **HO535** with a 'Non-Contributory' grading

RIPPONLEA		
39-43 GLEN EIRA ROAD		

TABLE 7 - RIPPONLEA RESIDENTIAL PRECINCT (HO536)Properties in HO7 to be transferred to **HO536** with a 'Significant' grading:

RIPPONLEA		
175 HOTHAM STREET	16 GLEN EIRA ROAD	2 GLEN EIRA ROAD
1 OAK GROVE	17 QUAT QUATTA AVENUE	

Properties in HO7 to be transferred to **HO536** with a 'Contributory' grading

BALACLAVA		
171 HOTHAM STREET	25 ELM GROVE	32 ELM GROVE
173 HOTHAM STREET	11 ELM GROVE	36 ELM GROVE
2C OAK GROVE BALACLAVA (part of 173 HOTHAM STREET BALACLAVA)	33 ELM GROVE	14 ELM GROVE
30 GLEN EIRA AVENUE	43 ELM GROVE	12 ELM GROVE
28 GLEN EIRA AVENUE	1 ELM GROVE	28 ELM GROVE
26 GLEN EIRA AVENUE	45 ELM GROVE	6 ELM GROVE
3 ELM GROVE	49 ELM GROVE	30 ELM GROVE
19 ELM GROVE	51 ELM GROVE	46 ELM GROVE
13 ELM GROVE	47 ELM GROVE	16 ELM GROVE
23 ELM GROVE	17 ELM GROVE	20 ELM GROVE
31 ELM GROVE	15 ELM GROVE	42 ELM GROVE
21 ELM GROVE	53 ELM GROVE	22 ELM GROVE
41 ELM GROVE	57 ELM GROVE	24 ELM GROVE
29 ELM GROVE	30A GLEN EIRA AVENUE	26 ELM GROVE
39 ELM GROVE	7 ELM GROVE	44 ELM GROVE
27 ELM GROVE	37 ELM GROVE	10 ELM GROVE
5 ELM GROVE	50 ELM GROVE	8 ELM GROVE
9 ELM GROVE	48 ELM GROVE	
RIPPONLEA		
72 BRIGHTON ROAD	100 BRIGHTON ROAD	4 QUAT QUATTA AVE
76 BRIGHTON ROAD	98 BRIGHTON ROAD	8 QUAT QUATTA AVE
18 LYNDON STREET	92 BRIGHTON ROAD	195 HOTHAM STREET
1 VICTORIA AVENUE	2-4 VICTORIA AVENUE	15 QUAT QUATTA AVE
16 LYNDON STREET	5 FULLER ROAD	6 QUAT QUATTA AVE
4 GLEN EIRA ROAD	13 ERINDALE AVENUE	12 QUAT QUATTA AVE
78 BRIGHTON ROAD	25 ERINDALE AVENUE	193 HOTHAM STREET
18 GLEN EIRA ROAD	23 ERINDALE AVENUE	9 QUAT QUATTA AVE
22 GLEN EIRA ROAD	22 LYNDON STREET	191 HOTHAM STREET
5 VICTORIA AVENUE	10 ERINDALE AVENUE	189 HOTHAM STREET
74 BRIGHTON ROAD	4 ERINDALE AVENUE	187 HOTHAM STREET
14 GLEN EIRA ROAD	6 ERINDALE AVENUE	177 HOTHAM STREET
20 GLEN EIRA ROAD	21 ERINDALE AVENUE	179 HOTHAM STREET
80 BRIGHTON ROAD	46 LYNDON STREET	11 OAK GROVE
82 BRIGHTON ROAD	9 ERINDALE AVENUE	36 OAK GROVE
84 BRIGHTON ROAD	27 ERINDALE AVENUE	30 OAK GROVE
96 BRIGHTON ROAD	7 ERINDALE AVENUE	28 OAK GROVE
10 VICTORIA AVENUE	29 ERINDALE AVENUE	26 OAK GROVE
7 FULLER ROAD	12 ERINDALE AVENUE	8 OAK GROVE
15 FULLER ROAD	17 ERINDALE AVENUE	38 OAK GROVE
11 FULLER ROAD	16 ERINDALE AVENUE	20 OAK GROVE
86 BRIGHTON ROAD	15 ERINDALE AVENUE	18 OAK GROVE
9 FULLER ROAD	19 ERINDALE AVENUE	24 OAK GROVE
94 BRIGHTON ROAD	11 ERINDALE AVENUE	14-16 OAK GROVE
1 FULLER ROAD	1 ERINDALE AVENUE	6 OAK GROVE
6 VICTORIA AVENUE	22 OAK GROVE	10 OAK GROVE
8A VICTORIA AVENUE	11 QUAT QUATTA AVE	32 OAK GROVE
8 VICTORIA AVENUE	15A QUAT QUATTA AVE	12 OAK GROVE
3 FULLER ROAD	10 QUAT QUATTA AVE	34 OAK GROVE
13 FULLER ROAD	14 QUAT QUATTA AVEN	

Properties in HO7 to be transferred to **HO536** with a 'Non-Contributory' grading

BALACLAVA		
18 ELM GROVE	40 ELM GROVE	34 ELM GROVE
55 ELM GROVE	38 ELM GROVE	
RIPPONLEA		
6-8 GLEN EIRA ROAD	2 ERINDALE AVENUE	14 ERINDALE AVENUE
88 BRIGHTON ROAD	5 ERINDALE AVENUE	2-4 OAK GROVE
31 ERINDALE AVENUE		

Properties not currently in a Heritage Overlay to be included in **HO536** with a 'Contributory' grading:

BALACLAVA		
60 SYCAMORE GROVE	44 SYCAMORE GROVE	51 SYCAMORE GROVE
58 SYCAMORE GROVE	41 SYCAMORE GROVE	53 SYCAMORE GROVE
48 SYCAMORE GROVE	47 SYCAMORE GROVE	52 SYCAMORE GROVE
45 SYCAMORE GROVE	55 SYCAMORE GROVE	56 SYCAMORE GROVE
46 SYCAMORE GROVE	39A SYCAMORE GROVE	39 SYCAMORE GROVE
42 SYCAMORE GROVE	50 SYCAMORE GROVE	43 SYCAMORE GROVE
57 SYCAMORE GROVE		

Properties not currently in a Heritage Overlay to be included in **HO536** with a 'Non-Contributory' grading

BALACLAVA		
54 SYCAMORE GROVE	49 SYCAMORE GROVE	

TABLE 8 - ST KILDA BOTANICAL GARDENS AND ENVIRONS PRECINCT (HO537)Properties in HO7 to be transferred to **HO537** with a 'Significant' grading:

ELWOOD		
47A BRIGHTON ROAD	1A DICKENS STREET	5 WIMBLEDON AVENUE
73-75 MITFORD STREET	2 SOUTHEY STREET	6 BROADWAY
2 WIMBLEDON AVENUE	23 DICKENS STREET	11 HENNESSY AVENUE
31 MITFORD STREET	25 DICKENS STREET	17A TENNYSON STREET
2 SOUTHEY GROVE	30 TENNYSON STREET	26 AVOCA AVENUE
17A MILTON STREET	36 TENNYSON STREET	37 SOUTHEY STREET
1 BROADWAY	6A DICKENS STREET	43 MITFORD STREET
11 MILTON STREET	38 TENNYSON STREET	58 TENNYSON STREET
115 BRIGHTON ROAD	41 MILTON STREET	6 DICKENS STREET
14 HENNESSY AVENUE	45 MITFORD STREET	
ST KILDA		
26 - 28 BLESSINGTON ST	33 BRIGHTON ROAD	48 BLESSINGTON ST
27 BRIGHTON ROAD	44 BLESSINGTON ST	5A MITCHELL STREET
10 TENNYSON STREET	46 BLESSINGTON ST	57 BLESSINGTON ST
15 FOSTER STREET	60 BLESSINGTON STREET	5 MITCHELL STREET
2-4 MOZART STREET	21 MOZART STREET	76 BLESSINGTON ST

Properties in HO7 to be transferred to **HO537** with a 'Contributory' grading:

ELWOOD		
17 BROWNING STREET	34 MITFORD STREET	34 TENNYSON STREET
1A MASON AVENUE	39 MITFORD STREET	35 MITFORD STREET
22 BROADWAY	39 SOUTHEY STREET	35 TENNYSON STREET (only the building fronting the street to be in HO537)
26 TENNYSON STREET	4 HARTPURY AVENUE	36 DICKENS STREET
28 MILTON STREET	4 SOUTHEY STREET	36 MITFORD STREET
35 MILTON STREET	40 SOUTHEY STREET	36 SOUTHEY STREET
46 MILTON STREET	41 DICKENS STREET	36A MITFORD STREET
139 BRIGHTON ROAD	41A DICKENS STREET	37 MILTON STREET
57 BRIGHTON ROAD	42 MITFORD STREET	38 SOUTHEY STREET
6 WIMBLEDON AVENUE	42A MITFORD STREET	39 MILTON STREET
1 MEREDITH STREET	43 DICKENS STREET	4 ADDISON STREET
1 TENNYSON STREET	44 SOUTHEY STREET	4 BROADWAY
14 BROADWAY	47 DICKENS STREET	99 BRIGHTON ROAD
3 TENNYSON STREET	47 MITFORD STREET	4 DRYDEN STREET
33 SOUTHEY STREET	5 DICKENS STREET	4 MILTON STREET
4 GARDEN COURT	5 GARDEN COURT	40 BROADWAY
6 GARDEN COURT	5 GOLDSMITH STREET	40 TENNYSON STREET
74 MITFORD STREET	5 SOUTHEY STREET	42 BROADWAY
76 MITFORD STREET	51 BRIGHTON ROAD	42 DICKENS STREET
12 BROADWAY	51 MITFORD STREET	43 SOUTHEY STREET
143 BRIGHTON ROAD	52 BROADWAY	44 DICKENS STREET
17 SOUTHEY STREET	6 SOUTHEY STREET	44 MITFORD STREET
19 SOUTHEY STREET	67 MITFORD STREET	45 DICKENS STREET
1A TENNYSON STREET	6A SOUTHEY STREET	46 DICKENS STREET
2 GORDON AVENUE	7 ADDISON STREET	46 TENNYSON STREET
31 SOUTHEY STREET	7 GOLDSMITH STREET	48 MITFORD STREET
32 DICKENS STREET	7 WIMBLEDON AVENUE	49 BRIGHTON ROAD
34 DICKENS STREET	71 BRIGHTON ROAD	49 DICKENS STREET
35 SOUTHEY STREET	77-81 BRIGHTON ROAD	49 MITFORD STREET
36 BROADWAY	8 SOUTHEY STREET	5 HARTPURY AVENUE
38 DICKENS STREET	81 MITFORD STREET	5 RUSKIN STREET
40 DICKENS STREET	83-89 BRIGHTON ROAD	50 BROADWAY
42 TENNYSON STREET	8A DICKENS STREET	50 MILTON STREET
44 BROADWAY	9 ADDISON STREET	50A MILTON STREET
44 TENNYSON STREET	9 SOUTHEY STREET	50B MILTON STREET
46 BROADWAY	9 WIMBLEDON AVENUE	50 MITFORD STREET
48 BROADWAY	91 BRIGHTON ROAD	51 DICKENS STREET
53 BRIGHTON ROAD	10 DRYDEN STREET	51 MILTON STREET
54 MILTON STREET	10 MILTON STREET	52 MILTON STREET
54 MITFORD STREET	10 RUSKIN STREET	52 MITFORD STREET

55 BRIGHTON ROAD	10 SOUTHEY STREET	53 DICKENS STREET
56 MILTON STREET	10 WIMBLEDON AVE	54 BROADWAY
56 MITFORD STREET	101 BRIGHTON ROAD	55 DICKENS STREET
72 MITFORD STREET	107 BRIGHTON ROAD	57 DICKENS STREET
1 ADDISON STREET	11 ADDISON STREET	58 MILTON STREET
1 AVOCA AVENUE	11 TENNYSON STREET	58 MITFORD STREET
1 BAY VIEW STREET	11 WIMBLEDON AVE	59 MITFORD STREET
1 DRYDEN STREET	12 DRYDEN STREET	33 TENNYSON STREET
1 AVOCA COURT	12 RUSKIN STREET	6 DRYDEN STREET
1 GARDEN COURT	123 BRIGHTON ROAD	6 HARTPURY AVENUE
1 GOLDSMITH STREET	125 BRIGHTON ROAD	6 MILTON STREET
1 MILTON STREET	13 TENNYSON STREET	6 RUSKIN STREET
1 RUSKIN STREET	14 DRYDEN STREET	60 MILTON STREET
1 WIMBLEDON AVENUE	141 BRIGHTON ROAD	60 MITFORD STREET
111 BRIGHTON ROAD	16 DRYDEN STREET	60 TENNYSON STREET
113 BRIGHTON ROAD	16 SOUTHEY STREET	61 MITFORD STREET
117 BRIGHTON ROAD	17 TENNYSON STREET	62 MILTON STREET
119 BRIGHTON ROAD	18 DICKENS STREET	62 MITFORD STREET
12 WIMBLEDON AVE	18 DRYDEN STREET	62 TENNYSON STREET
121 BRIGHTON ROAD	18 SOUTHEY STREET	63 MITFORD STREET
13 HENNESSY AVENUE	19 TENNYSON STREET	64 MILTON STREET
13 SOUTHEY STREET	19 WIMBLEDON AVE	64 MITFORD STREET
14 WIMBLEDON AVE	1A GORDON AVENUE	64 TENNYSON STREET
145 BRIGHTON ROAD	2 ADDISON STREET	65 MITFORD STREET
145A BRIGHTON ROAD	2 BROADWAY	66 MITFORD STREET
15 HENNESSY AVENUE	34 SOUTHEY STREET	66 TENNYSON STREET
15 TENNYSON STREET	2 DRYDEN STREET	68 MITFORD STREET
15 WIMBLEDON AVE	2 HARTPURY AVENUE	68 TENNYSON STREET
17 WIMBLEDON AVE	2 MILTON STREET	69 MITFORD STREET
18A BROADWAY	20 BROADWAY	7 HARTPURY AVENUE
19 DICKENS STREET	20 DRYDEN STREET	7 RUSKIN STREET
2 AVOCA AVENUE	21 WIMBLEDON AVE	70 MITFORD STREET
2 AVOCA COURT	22 DICKENS STREET	70 TENNYSON STREET
21 DICKENS STREET	22 SOUTHEY STREET	71 MITFORD STREET
21 SOUTHEY STREET	23 RUSKIN STREET	72 TENNYSON STREET
21 TENNYSON STREET	23 SOUTHEY STREET	73 BRIGHTON ROAD
21A DICKENS STREET	24 SOUTHEY STREET	74 TENNYSON STREET
24 DICKENS STREET	25 RUSKIN STREET	75 BRIGHTON ROAD
24 TENNYSON STREET	26A DICKENS STREET	77A MITFORD STREET
25 HARTPURY AVENUE	26B DICKENS STREET	8 BROADWAY
25 TENNYSON STREET	27 TENNYSON STREET	8 DICKENS STREET
26 DICKENS STREET	28 DICKENS STREET	8 DRYDEN STREET
26 SOUTHEY STREET	28 SOUTHEY STREET	8 MILTON STREET
28 AVOCA AVENUE	29 SOUTHEY STREET	8 RUSKIN STREET
2A AVOCA AVENUE	29 TENNYSON STREET	8 WIMBLEDON AVENUE
3 AVOCA COURT	3 DICKENS STREET	83 MITFORD STREET
3 GARDEN COURT	30 DICKENS STREET	85 MITFORD STREET
3 GOLDSMITH STREET	30 SOUTHEY STREET	9 HARTPURY AVENUE
3 MEREDITH STREET	31 TENNYSON STREET	93 BRIGHTON ROAD
3 RUSKIN STREET	32 SOUTHEY STREET	95 BRIGHTON ROAD
32 MITFORD STREET	34 BROADWAY	97 BRIGHTON ROAD
ST KILDA		
60 CARLISLE STREET	65 CARLISLE STREET	39-43 CARLISLE ST
17 MOZART STREET	74 BLESSINGTON ST	3A MITCHELL STREET
19 MOZART STREET	8 BUNDALOHN COURT	4 MITCHELL STREET
2-4 FOSTER AVENUE	8 MITCHELL STREET	41 SMITH STREET
40 CARLISLE STREET	86 BLESSINGTON ST	42 BLESSINGTON ST
41 GREEVES STREET	88 BLESSINGTON ST	43 GREEVES STREET
42 CARLISLE STREET	11 MOZART STREET	43 SMITH STREET
58 CARLISLE STREET	12 MITCHELL STREET	44 CARLISLE STREET
1 MITCHELL STREET	12 MOZART STREET	45 CARLISLE STREET
12 FOSTER STREET	12 TENNYSON STREET	46 CARLISLE STREET
14 FOSTER STREET	14 MITCHELL STREET	47 CARLISLE STREET
2A FOSTER STREET	14 MOZART STREET	48 CARLISLE STREET
53 CARLISLE STREET	15 IRYMPLE AVENUE	49 CARLISLE STREET
54 BLESSINGTON ST	15 SMITH STREET	5 FOSTER AVENUE
10 FOSTER STREET	16 IRYMPLE AVENUE	5 MOZART STREET
10 MITCHELL STREET	16 MITCHELL STREET	5 SMITH STREET

10 MOZART STREET	16 MOZART STREET	50 BLESSINGTON ST
11 SMITH STREET	17 IRYMPLE AVENUE	55 BLESSINGTON ST
13 SMITH STREET	17 SMITH STREET	55 CARLISLE STREET
13A SMITH STREET	18 IRYMPLE AVENUE	55A BLESSINGTON ST
154-156 BARKLY ST	9 FOSTER STREET	56 BLESSINGTON ST
4 FOSTER STREET	18 MITCHELL STREET	58 BLESSINGTON ST
51 CARLISLE STREET	18 MITFORD STREET	59 BLESSINGTON ST
52 BLESSINGTON ST	18 MOZART STREET	5A SMITH STREET
6 FOSTER STREET	19 FOSTER STREET	6 BUNDALOHN COURT
8 MOZART STREET	19 IRYMPLE AVENUE	6 FOSTER AVENUE
9 FOSTER AVENUE	19 SMITH STREET	6 MOZART STREET
9 SMITH STREET	2 BUNDALOHN COURT	62 BLESSINGTON ST
1 FOSTER AVENUE	2 FOSTER STREET	63 BLESSINGTON ST
1 MOZART STREET	2 MITCHELL STREET	64 BLESSINGTON ST
1 BUNDALOHN COURT	20 IRYMPLE AVENUE	65 BLESSINGTON ST
1 FOSTER STREET	20 MITFORD STREET	66 BLESSINGTON ST
1 SMITH STREET	20 MOZART STREET	67 BLESSINGTON ST
13 MOZART STREET	21 FOSTER STREET	67 CARLISLE STREET
14 TENNYSON STREET	21 SMITH STREET	68 BLESSINGTON ST
17 FOSTER STREET	22 MOZART STREET	69 CARLISLE STREET
2 TENNYSON STREET	23 MOZART STREET	7 MOZART STREET
21 HERBERT STREET	23 SMITH STREET	7 SMITH STREET
212 BARKLY STREET	24 MITFORD STREET	70 BLESSINGTON ST
23 HERBERT STREET	25 MOZART STREET	71 CARLISLE STREET
25 HERBERT STREET	25 SMITH STREET	72 BLESSINGTON ST
26 MITFORD STREET	27 SMITH STREET	73 CARLISLE STREET
27A BRIGHTON ROAD	29 SMITH STREET	78 BLESSINGTON ST
28 MITFORD STREET	3 FOSTER AVENUE	8 TENNYSON STREET
3 BUNDALOHN COURT	3 MITCHELL STREET	8A MITCHELL STREET
3 FOSTER STREET	3 MOZART STREET	9 MITCHELL STREET
30 MITFORD STREET	30 CARLISLE STREET	9 MOZART STREET
30A MITFORD STREET	4 MITFORD PLACE	154-164 BARKLY ST
4 BUNDALOHN COURT	32 BLESSINGTON ST	245A BARKLY STREET
4 TENNYSON STREET	34 BLESSINGTON ST	243 BARKLY STREET
4A MOZART STREET	35 BRIGHTON ROAD	245 BARKLY STREET
5 BUNDALOHN COURT	35 SMITH STREET	241 BARKLY STREET
51 BLESSINGTON ST	37 BRIGHTON ROAD	239 BARKLY STREET
53 BLESSINGTON ST	37 CARLISLE STREET	237 BARKLY STREET
57 CARLISLE STREET	39 BRIGHTON ROAD	235 BARKLY STREET
61 BLESSINGTON ST	39 SMITH STREET	233 BARKLY STREET
26 CARLISLE STREET		

Properties in HO7 to be transferred to **HO537** with a 'Non-Contributory' grading:

ELWOOD		
48 MILTON STREET	12 SOUTHEY STREET	103-105 BRIGHTON RD
1A HARTPURY AVENUE	14 SOUTHEY STREET	20 DICKENS STREET
4 WIMBLEDON AVENUE	15 SOUTHEY STREET	20 SOUTHEY STREET
10 BROADWAY	24A DICKENS STREET	25-27 GORDON AVE
38 BROADWAY	3 AVOCA AVENUE	58A MILTON STREET
11 SOUTHEY STREET	7 SOUTHEY STREET	
ST KILDA		
32 CARLISLE STREET	22 MITFORD STREET	27-31 HERBERT ST
1 MITFORD PLACE	28 CARLISLE STREET	38-40 BLESSINGTON ST
2 MITFORD PLACE	29-31 BRIGHTON ROAD	45 SMITH STREET
3 MITFORD PLACE	30 BLESSINGTON ST	7 MITCHELL STREET
15 MOZART STREET	31 SMITH STREET	23 FOSTER STREET
36 BLESSINGTON ST		

Properties not currently in a Heritage Overlay to be included in **HO537** with a 'Contributory' grading:

ELWOOD		
1 GORDON AVENUE	2 MASON AVENUE	4 SOUTHEY COURT
1 HARTPURY AVENUE	20 GORDON AVENUE	40 MASON AVENUE
10 GORDON AVENUE	20 MASON AVENUE	40 MILTON STREET

10 HARTPURY AVENUE	21 GORDON AVENUE	41 MASON AVENUE
10 HENNESSY AVENUE	21 HARTPURY AVENUE	41 TENNYSON STREET
10 MASON AVENUE	21 MILTON STREET	43 MASON AVENUE
11 BROWNING STREET	22 MASON AVENUE	44 MILTON STREET
12 GORDON AVENUE	23 GORDON AVENUE	45 MASON AVENUE
12 HARTPURY AVENUE	23 MILTON STREET	45 TENNYSON STREET
12 HENNESSY AVENUE	24 MASON AVENUE	47 TENNYSON STREET
12 MASON AVENUE	25 MILTON STREET	49 TENNYSON STREET
12 MILTON STREET	26 BYRON STREET	49A TENNYSON STREET
13 BROWNING STREET	26 MASON AVENUE	5 BROADWAY
13 GORDON AVENUE	27 DICKENS STREET	5 BROWNING STREET
14 GORDON AVENUE	27 MILTON STREET	5 GORDON AVENUE
14 HARTPURY AVENUE	28 BYRON STREET	5 SOUTHEY COURT
14 MASON AVENUE	28 MASON AVENUE	51 TENNYSON STREET
15 GORDON AVENUE	29 DICKENS STREET	6 MASON AVENUE
15 HARTPURY AVENUE	29 MILTON STREET	6 SOUTHEY COURT
151 BRIGHTON ROAD	3 BROADWAY	7 BROWNING STREET
153 BRIGHTON ROAD	3 GORDON AVENUE	7 FOSTER STREET
155 BRIGHTON ROAD	3 HARTPURY AVENUE	7 GORDON AVENUE
157 BRIGHTON ROAD	3 SOUTHEY COURT	7 TENNYSON STREET
16 MASON AVENUE	3 WIMBLEDON AVENUE	78 MITFORD STREET
161 BRIGHTON ROAD	30 BYRON STREET	78 TENNYSON STREET
163 BRIGHTON ROAD	30-32 MASON AVENUE	8 HARTPURY AVENUE
165 BRIGHTON ROAD	31 MILTON STREET	8 MASON AVENUE
167 BRIGHTON ROAD	32 MASON AVENUE	80 MITFORD STREET
169 BRIGHTON ROAD	32 MILTON STREET	80 TENNYSON STREET
17 GORDON AVENUE	33 MILTON STREET	82 TENNYSON STREET
17 HARTPURY AVENUE	34 MASON AVENUE	86 TENNYSON STREET
171 BRIGHTON ROAD	34 MILTON STREET	88 TENNYSON STREET
17-19 MILTON STREET	36 MASON AVENUE	9 BROWNING STREET
173 BRIGHTON ROAD	36 MILTON STREET	9 GORDON AVENUE
175 BRIGHTON ROAD	37 TENNYSON STREET	8 BROWNING STREET
177 BRIGHTON ROAD	38 MASON AVENUE	8 GORDON AVENUE
179-183 BRIGHTON RD	38 MILTON STREET	9 TENNYSON STREET
18 GORDON AVENUE	39 MASON AVENUE	90 TENNYSON STREET
18 MASON AVENUE	39 TENNYSON STREET	9A TENNYSON STREET
19 GORDON AVENUE	4 GORDON AVENUE	4 MASON AVENUE
19 HARTPURY AVENUE		
ST KILDA		
1 IRYMPLE AVENUE	14 MITFORD STREET	6 IRYMPLE AVENUE
10 IRYMPLE AVENUE	17 MITFORD STREET	69 BLESSINGTON ST
10A MITFORD STREET	19 MITFORD STREET	7 IRYMPLE AVENUE
11 IRYMPLE AVENUE	2 GORDON AVENUE	8 IRYMPLE AVENUE
11 MITFORD STREET	2 IRYMPLE AVENUE	80 BLESSINGTON STREET
12 IRYMPLE AVENUE	21 MITFORD STREET	82 BLESSINGTON ST
12 MITFORD STREET	3 IRYMPLE AVENUE	9 IRYMPLE AVENUE
13 IRYMPLE AVENUE	4 IRYMPLE AVENUE	13 MITFORD STREET

Properties not currently in a Heritage Overlay to be included in **HO537** with a 'Non-Contributory' grading:

ELWOOD		
11 GORDON AVENUE	33 TENNYSON STREET (building fronting the street only in HO)	6 GORDON AVENUE
16 GORDON AVENUE	3A WIMBLEDON AVENUE	84 TENNYSON STREET
185 BRIGHTON ROAD	42 MILTON STREET	43 TENNYSON STREET
23 HARTPURY AVENUE	5 IRYMPLE STREET	
ST KILDA		
14 IRYMPLE AVENUE	14A IRYMPLE AVENUE	16 MITFORD STREET
84 BLESSINGTON ST		

TABLE 9 - VILLAGE BELLE COMMERCIAL PRECINCT (HO538)

Properties in HO7 to be transferred to **HO538** with a 'Contributory' grading:

ST KILDA		
145 ACLAND STREET	150-152 ACLAND STREET 3182	189 ACLAND STREET
137 ACLAND STREET	193-197 BARKLY STREET 3182 (part of 162-170 ACLAND STREET)	229-231A BARKLY STREET
144 ACLAND STREET ST KILDA VIC	162-170 ACLAND STREET	25-33 BLESSINGTON STREET (part of 229-231A BARKLY STREET)
142 ACLAND STREET	183 ACLAND STREET	213-215 BARKLY STREET
141 ACLAND STREET	205 BARKLY STREET	209 BARKLY STREET
139 ACLAND STREET	211 BARKLY STREET 3182	221 BARKLY STREET
143 ACLAND STREET	22 PUMPKIN LANE (part of 211 BARKLY STREET)	223 BARKLY STREET
138-140 ACLAND STREET	207 BARKLY STREET	227 BARKLY STREET
146-148 ACLAND STREET	211 BARKLY STREET	227A BARKLY STREET
154-156 ACLAND STREET	185 ACLAND STREET	187 ACLAND STREET
181-189 BARKLY STREET		

Properties in HO7 to be transferred to **HO538** with a 'Non-Contributory' grading:

ST KILDA		
203 BARKLY STREET	78A-82 ACLAND STREET	147-153 ACLAND STREET
219 BARKLY STREET	73 - 77 ACLAND STREET	193 ACLAND STREET
217 BARKLY STREET	117-119 ACLAND STREET	125-131 ACLAND STREET
225 BARKLY STREET		

Properties in HO5 (St Kilda Hill Precinct) to be transferred to **HO538** (Village Belle Commercial Precinct) with a 'Significant' grading

ST KILDA		
84-90 ACLAND STREET	91A-93 ACLAND STREET	

Properties in HO5 (St Kilda Hill Precinct) to be transferred to HO538 (Village Belle Commercial Precinct) with a 'Contributory' grading

ST KILDA		
74 ACLAND STREET	92C ACLAND STREET	81 ACLAND STREET
76 ACLAND STREET	92D ACLAND STREET	89 ACLAND STREET
78 ACLAND STREET	87 ACLAND STREET	83 ACLAND STREET
92A ACLAND STREET	94 ACLAND STREET	85 ACLAND STREET
92B ACLAND STREET	94A ACLAND STREET	

Properties in HO5 (St Kilda Hill Precinct) to be transferred to **HO538** with a 'Non-Contributory' grading

ST KILDA		
73-77 ACLAND STREET	78A-82 ACLAND STREET	

Properties not currently in a Heritage Overlay to be included in **HO538** with a 'Contributory' grading

ST KILDA		
104-106 ACLAND ST	113 ACLAND STREET	159-165 ACLAND ST
96 ACLAND STREET	101 ACLAND STREET	37 BLESSINGTON ST
98 ACLAND STREET	107 ACLAND STREET	45 BLESSINGTON ST
102 ACLAND STREET	115 ACLAND STREET	43 BLESSINGTON ST
100 ACLAND STREET	109 ACLAND STREET	47 BLESSINGTON ST
95 ACLAND STREET	111 ACLAND STREET	35 BLESSINGTON ST
97 ACLAND STREET	167A ACLAND STREET	49 BLESSINGTON ST
103 ACLAND STREET	169-173 ACLAND ST	39 BLESSINGTON ST
99 ACLAND STREET	179-181 ACLAND ST	41 BLESSINGTON ST

Properties not currently in a Heritage Overlay to be included in **HO538** with a 'Non-Contributory' grading:

ST KILDA		
117-119 ACLAND ST	125-131 ACLAND ST	147-153 ACLAND ST

TABLE 10 - WESTBURY CLOSE PRECINCT (HO539)

Properties in HO7 to be transferred to **HO539** with a 'Contributory' grading:

BALACLAVA		
141 WESTBURY CLOSE	116 WESTBURY CLOSE	145 WESTBURY CLOSE
129 WESTBURY CLOSE	124 WESTBURY CLOSE	130 WESTBURY CLOSE
131 WESTBURY CLOSE	147 WESTBURY CLOSE	122 WESTBURY CLOSE
133 WESTBURY CLOSE	126 WESTBURY CLOSE	132 WESTBURY CLOSE
118 WESTBURY CLOSE	128 WESTBURY CLOSE	127 WESTBURY CLOSE
139 WESTBURY CLOSE	120 WESTBURY CLOSE	137 WESTBURY CLOSE
143 WESTBURY CLOSE		

Properties in HO7 to be transferred to **HO539** with a 'Non-Contributory' grading:

BALACLAVA		
1. 135 WESTBURY CLOSE	2. 114 WESTBURY CLOSE	

TABLE 11 - Individual Heritage Overlays to be deleted and properties transferred into a Heritage Overlay Precinct

HO No.	Heritage Place and Address	Proposed change to the HO	Heritage grading
HO33	<i>Village Belle Hotel</i> 202 Barkly Street, St Kilda	Delete HO33 Apply HO538 (Village Belle Commercial Precinct)	Significant
HO75	<i>St Colman's Church</i> 291 Carlisle Street, Balaclava	Delete HO75 Apply HO316 (Carlisle Street (East) Precinct)	Significant
HO162	<i>Shops</i> 268-276 Inkerman St, St Kilda	Delete HO162 Apply HO534 (Inkerman Street Commercial Precinct)	Significant
HO192	<i>Bimam apartments</i> 15 Mitford Street, Elwood	Delete HO192 Apply HO537 (St Kilda Botanical Gardens & Environs Precinct)	Significant
HO269	<i>Bundalohn</i> 6 Tennyson Street, St Kilda	Delete HO269 Apply HO537 (St Kilda Botanical Gardens & Environs Precinct)	Significant
HO290	<i>Police Station</i> 92 Chapel Street, St Kilda	Delete HO29 Apply HO530 (Carlisle Street Commercial and Public Precinct)	Significant
HO372	<i>Maisonettes</i> 3 Glen Eira Road, Ripponlea	Delete HO372 Apply HO533 (Brunnings Estate and Environs Precinct)	Significant
HO373	<i>House and Gleneira</i> 10-12 Glen Eira Road and 3 Victoria Avenue, Ripponlea	Delete HO373 Apply HO536 (Ripponlea Residential Precinct)	Significant' to 12 Glen Eira Road 'Contributory' to 10 Glen Eira Road 'Contributory' to 3 Victoria Avenue
HO375	<i>Hawsleigh Court</i> 2B Hawsleigh Court, Balaclava	Delete HO375 Apply HO316 (Carlisle Street (East) Precinct)	Significant
HO376	<i>Poets corner</i> 38 Mitford Street, Elwood	Delete HO376 Apply HO537 (St Kilda Botanical Gardens & Environs Precinct)	Significant
HO395	<i>Cottage</i> 16 Balston Street, St Kilda East	Delete HO395 Apply HO532 (Balston Street Precinct)	Significant
HO411	<i>Houses</i> 2, 4 & 6 Browning Street, Elwood	Delete HO411 Apply HO537 (St Kilda Botanical Gardens & Environs Precinct)	Contributory

TABLE 12 - Places to be shown as 'No grading' on the *Heritage Policy Map* as they were part of Heritage Overlay 7 and will no longer be included in the Heritage Overlay.

Property address	
<p>BALACLAVA:</p> <ul style="list-style-type: none"> • 32 BLENHEIM STREET • 34 BLENHEIM STREET • 36-38 BLENHEIM STREET • 40 BLENHEIM STREET • 42 BLENHEIM STREET • 44 BLENHEIM STREET • 37 BLENHEIM STREET • 39 BLENHEIM STREET • 41 BLENHEIM STREET • 43 BLENHEIM STREET • 45 BLENHEIM STREET • 47 BLENHEIM STREET • 38-40A BRIGHTON ROAD BALACLAVA • 3-17 GROSVENOR STREET • 2-10 BRUNNING STREET • 1A-1F WOODSTOCK STREET <p>ST KILDA:</p> <ul style="list-style-type: none"> • 58 CARLISLE STREET • 1 PENNY LANE • 143 CHAPEL STREET • 141-143 CHAPEL STREET • 145 CHAPEL STREET • 6-8 WILLIAM STREET ST KILDA • 12 MARTIN STREET • 208-212 BARKLY STREET • 214-218 BARKLY STREET • 150 BARKLY STREET 	<p>RIPPONLEA:</p> <ul style="list-style-type: none"> • 5 GLEN EIRA ROAD • 7 GLEN EIRA ROAD • 75-93 GLEN EIRA ROAD • 5 OAK GROVE • 7 OAK GROVE • 9 OAK GROVE 13 OAK GROVE • 15 OAK GROVE • 17 OAK GROVE • 19 OAK GROVE • 181 HOTHAM STREET • 185 HOTHAM STREET • 197 HOTHAM STREET • 197A HOTHAM STREET • 2 QUAT QUATTA AVENUE • 2A QUAT QUATTA AVENUE • 2B QUAT QUATTA AVENUE • 2C QUAT QUATTA AVENUE • 2D QUAT QUATTA AVENUE

TABLE 13 – Properties to be included in a Group Listing HO and shown as ‘Significant’ on the Heritage Policy Map

Name of Group Listing	Address	Current HO	Proposed HO number
Joseph Tarry Houses	149 Argyle Street, St Kilda East	N/A	HO558
	151 Argyle Street, St Kilda East		
	1 Queen Street, St Kilda East		
Feldhagen Flats Group Listing 1	169 Hotham Street, Balaclava	HO7	HO559
	247 Inkerman Street, Balaclava	HO315	
	99 Westbury Street, Balaclava	N/A	
Benshemesh Flats Group Listing 2 (1960)	306 Dandenong Road, St Kilda East	N/A	HO560
	16 Lansdowne Road, St Kilda East		
	8 Westbury Street, St Kilda East		
Sheffield Manor and Wansbeck	110 Westbury Street, Balaclava	N/A	HO561
	125 Westbury Street, Balaclava		
Arden & Woodside	2 Hotham Grove, Ripponlea	HO418	HO418
	12 Hotham Grove, Ripponlea	N/A	
Benshemesh Flats Group Listing 1	289 Barkly Street St Kilda	HO35	HO35
	11 Burnett Street, St Kilda	HO5	
	62 Hotham Street, St Kilda East.	N/A	
	38 Westbury Street, St Kilda East.	N/A	

TABLE 14 – Properties included in HO316 Carlisle Street (East) Precinct Extension

Properties to be included in HO315	Heritage grading	Current HO number
291 CARLISLE STREET	Significant	HO75 - to be deleted (see Table 37)
2B HAWSLEIGH AVENUE	Significant	HO375 - to be deleted (see Table 37)
342 CARLISLE STREET	Significant	N/A
4 HAWSLEIGH AVENUE 6 HAWSLEIGH AVENUE 8 HAWSLEIGH AVENUE 10 HAWSLEIGH AVENUE 12 HAWSLEIGH AVENUE 14 HAWSLEIGH AVENUE 16 HAWSLEIGH AVENUE 18 HAWSLEIGH AVENUE 2 HAWSLEIGH AVENUE 20 HAWSLEIGH AVENUE 22 HAWSLEIGH AVENUE 24 HAWSLEIGH AVENUE	Contributory	N/A
311 CARLISLE STREET 313 CARLISLE STREET 332 CARLISLE STREET 336 CARLISLE STREET 334 CARLISLE STREET 360 CARLISLE STREET	Contributory	N/A
356 CARLISLE STREET	Non-Contributory	N/A

TABLE 15 – Properties to be included in a new individual Heritage Overlay as ‘Significant’ heritage place as shown on the *Heritage Policy Map*.

Heritage Place Name and Address	Current HO Number	Proposed HO Number
<i>Grosvenor Hotel</i> 10 Brighton Road Balaclava	HO7	HO526
<i>Former Melbourne Tramway & omnibus Co. offices and car shed</i> 16 Brighton Road Balaclava	HO7	HO527
<i>Yurnga</i> 36 Brighton Road Balaclava	HO7	HO528
<i>Elwood Talmud Torah Congregation Complex</i> 37- 39 Dickens Street, Elwood	HO7	HO556
<i>Adass Israel Synagogue</i> 12-24 Glen Eira Ave, Ripponlea	HO7	HO557
<i>Maison Parisienne</i> 122 Brighton Road, Ripponlea	N/A	HO529
<i>Chapel Lodge</i> 16A Chapel Street, St Kilda	N/A	HO540
<i>Moruya</i> 70 and 70A Chapel Street, St Kilda	N/A	HO541
<i>Attached houses</i> 79 and 81 Chapel Street, St Kilda	N/A	HO542
<i>Shop residences</i> 93 and 95 Chapel Street, St Kilda	N/A	HO543
<i>Chudleigh Court</i> 9 Dickens Street, Elwood	N/A	HO544
<i>Park View</i> 5 Herbert Street, St Kilda	N/A	HO545
<i>House</i> 101A Hotham Street, Balaclava	N/A	HO546
<i>Dalgety</i> 191 Inkerman Street, St Kilda	N/A	HO547
<i>House</i> 50 Westbury Street, St Kilda East	N/A	HO548
<i>House</i> 5 Wando Grove, St Kilda East	N/A	HO549
<i>Cambury and Lynton</i> 58 and 58A Westbury Street St, Kilda East	N/A	HO550
<i>Elbe</i> 22 Blenheim Street, Balaclava	N/A	HO551
<i>Bellevue Lodge</i> 342 Carlisle Street, Balaclava	N/A	HO552
<i>Dick Whittington Tavern</i> 34 Chapel Street, St Kilda	N/A	HO553
<i>Duke of Edinburgh Hotel (former)</i> 374 St Kilda Road, St Kilda	N/A	HO554
<i>Attached Houses</i> 2 and 4 Queen Street, St Kilda East	N/A	HO555

Planning and Environment Act 1987

PORT PHILLIP PLANNING SCHEME

AMENDMENT C206PORT

INSTRUCTION SHEET

The planning authority for this amendment is the City of Port Phillip.

The Port Phillip Planning Scheme is amended as follows:

Planning Scheme Maps

The Planning Scheme Maps are amended by a total of 8 attached map sheets.

Overlay Maps

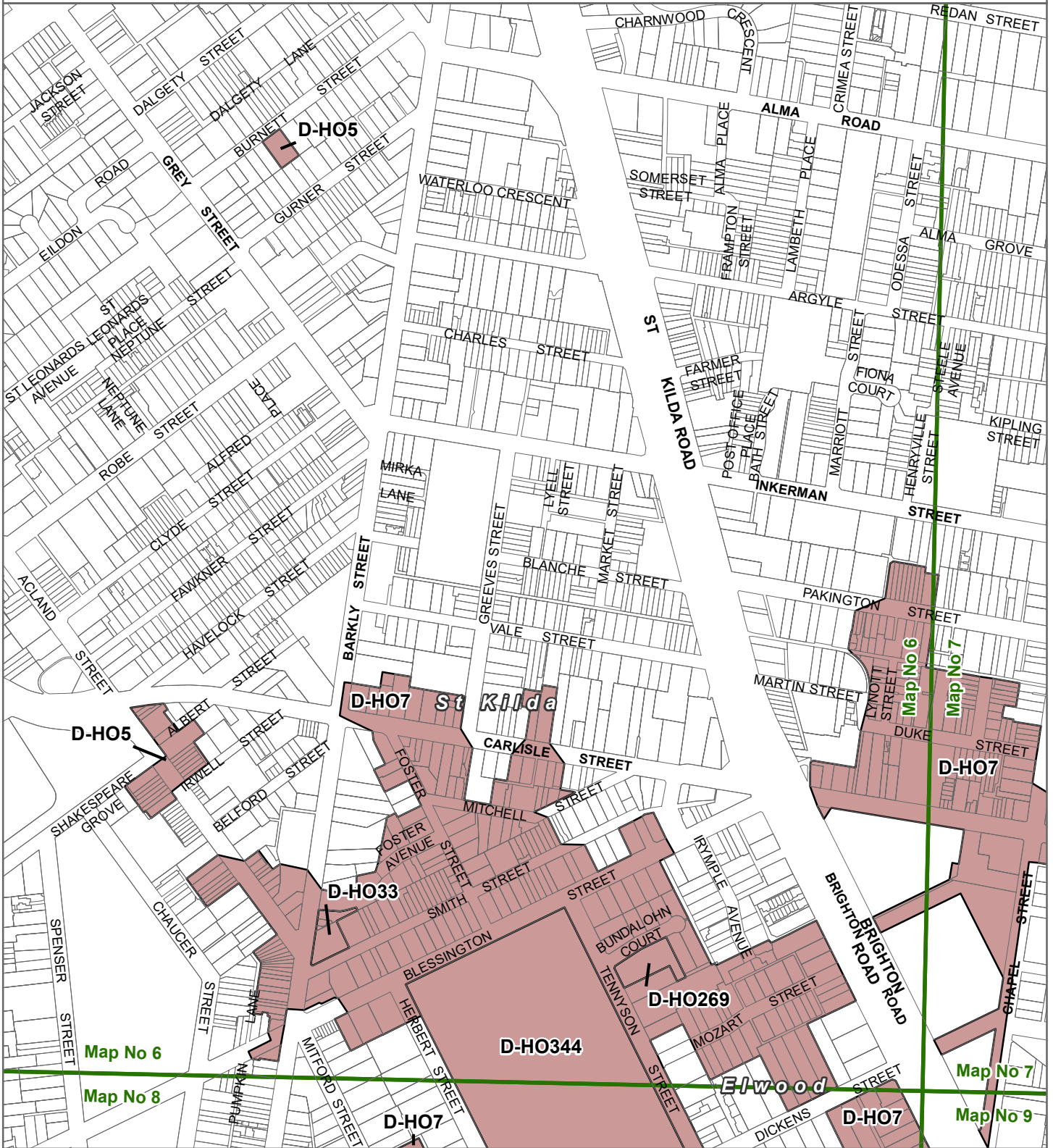
1. Amend Planning Scheme Map Nos. 6HO, 7HO, 8HO and 9HO in the manner shown on the 8 attached maps marked "Port Phillip Planning Scheme, Amendment C206port".

Planning Scheme Ordinance

The Planning Scheme Ordinance is amended as follows:

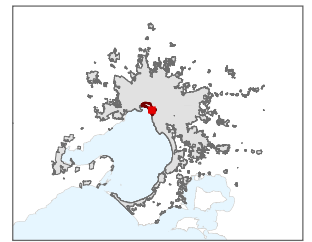
1. In Local Planning Policy Framework – replace Clause 21.07 (Incorporated Documents) with a new Clause 21.07 in the form of the attached document.
2. In Local Planning Policy Framework – replace Clause 22.04 (Heritage Policy) with a new Clause 22.04 in the form of the attached document.
3. In Overlays – Clause 43.01 (Heritage Overlay), replace the Schedule with a new Schedule in the form of the attached document.
4. In Incorporated Documents – Clause 72.04, replace the Schedule with a new Schedule in the form of the attached document.

PORT PHILLIP PLANNING SCHEME - LOCAL PROVISION AMENDMENT C206port



LEGEND

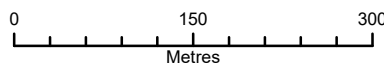
- D-HO - Area to be deleted from a Heritage Overlay
- Local Government Area



Part of Planning Scheme Maps 6HO, 7HO, 8HO & 9HO

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Planning Group
 Print Date: 8/9/2022
 Amendment Version: 1



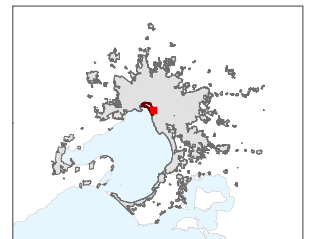
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PORT PHILLIP PLANNING SCHEME - LOCAL PROVISION AMENDMENT C206port



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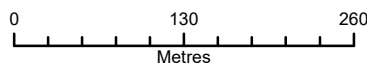
- D-HO - Area to be deleted from a Heritage Overlay
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Part of Planning Scheme Maps 6HO, 7HO, 8HO & 9HO

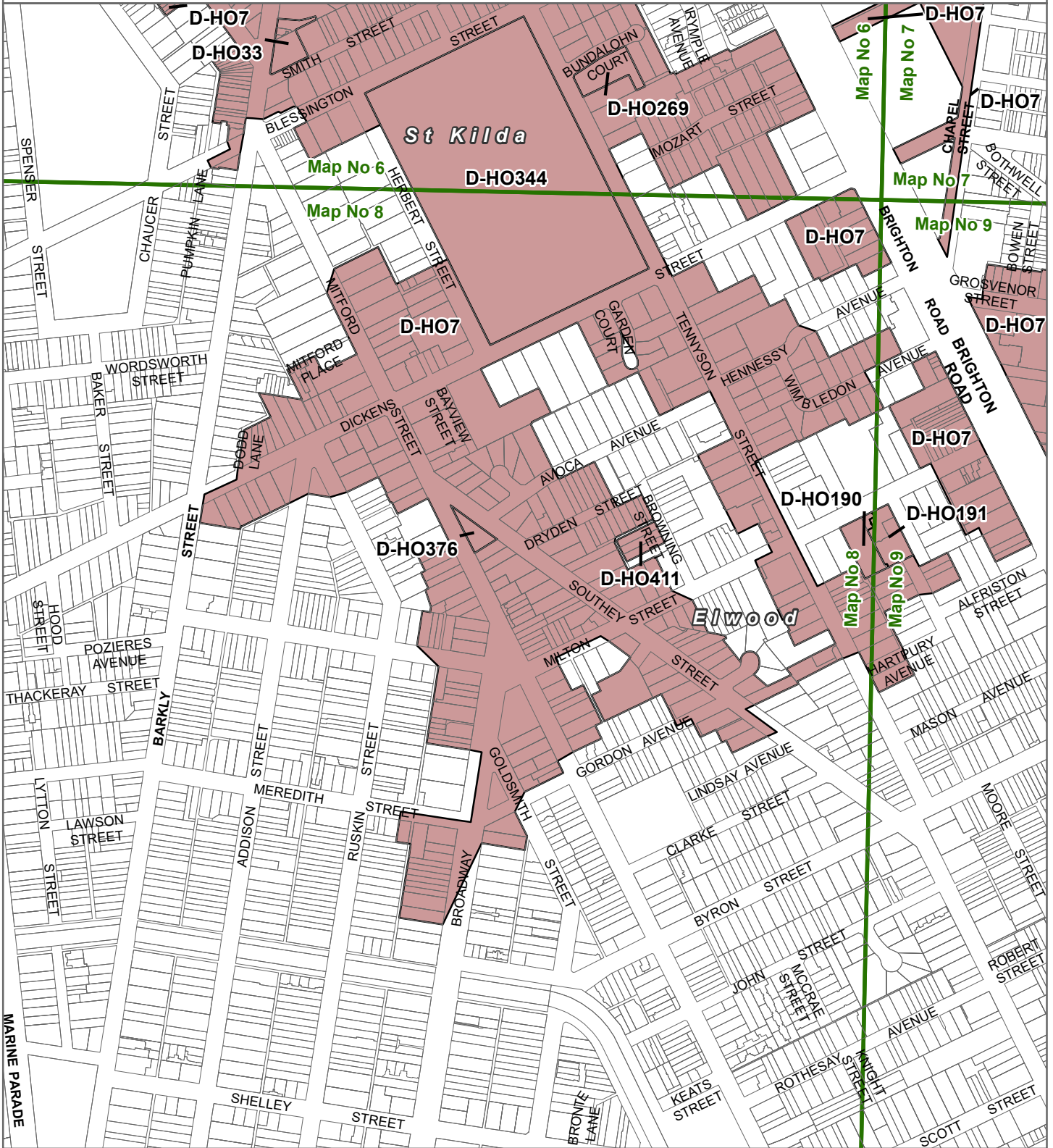
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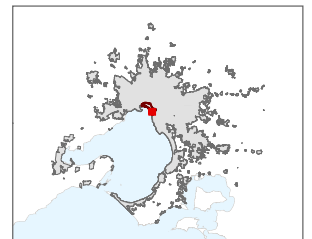
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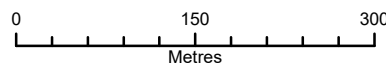
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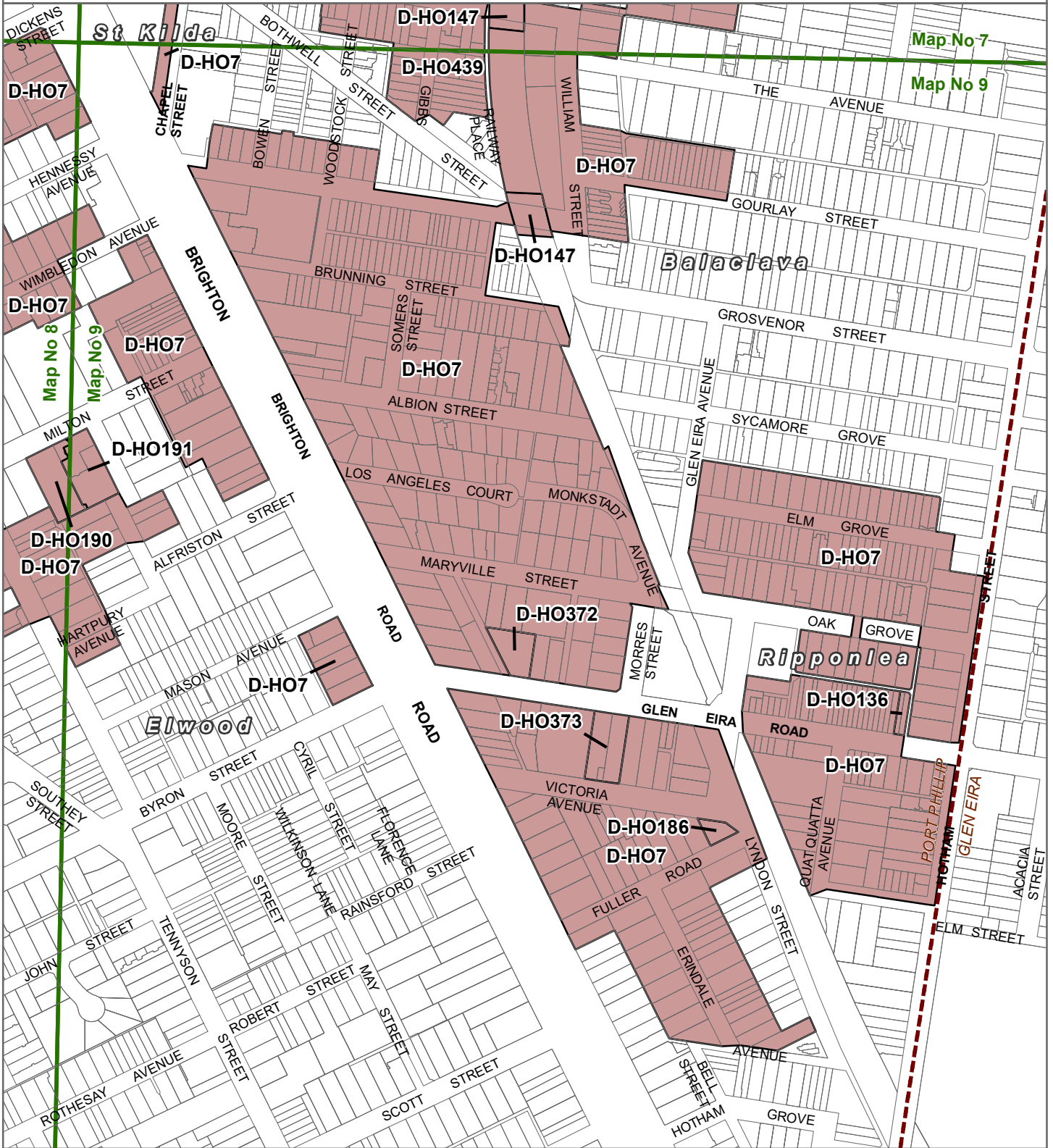
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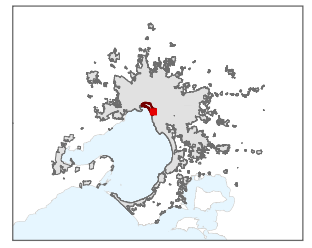
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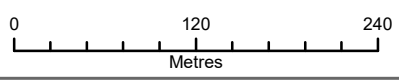
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Part of Planning Scheme Maps 6HO, 7HO, 8HO & 9HO

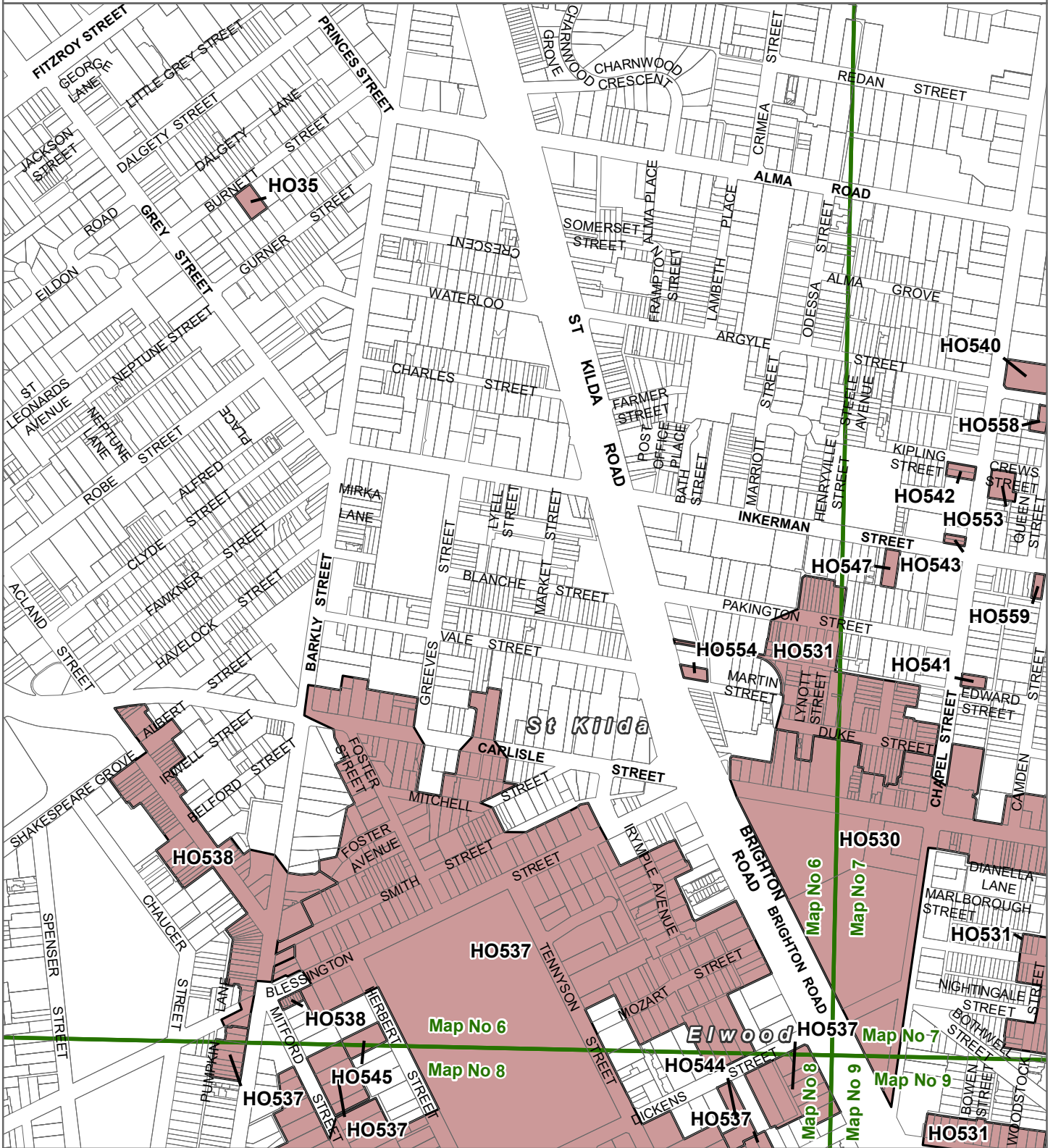
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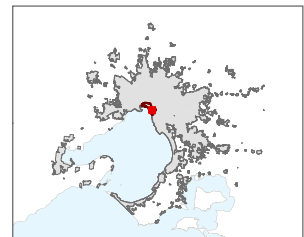


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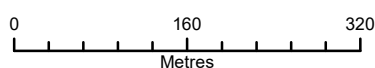
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Part of Planning Scheme Maps 8HO & 9HO

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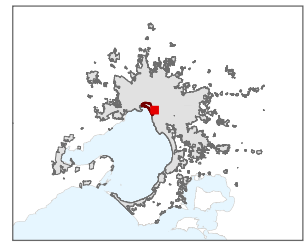
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AMENDMENT C206port



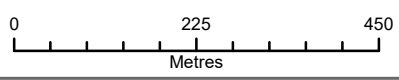
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Part of Planning Scheme Maps 8HO & 9HO

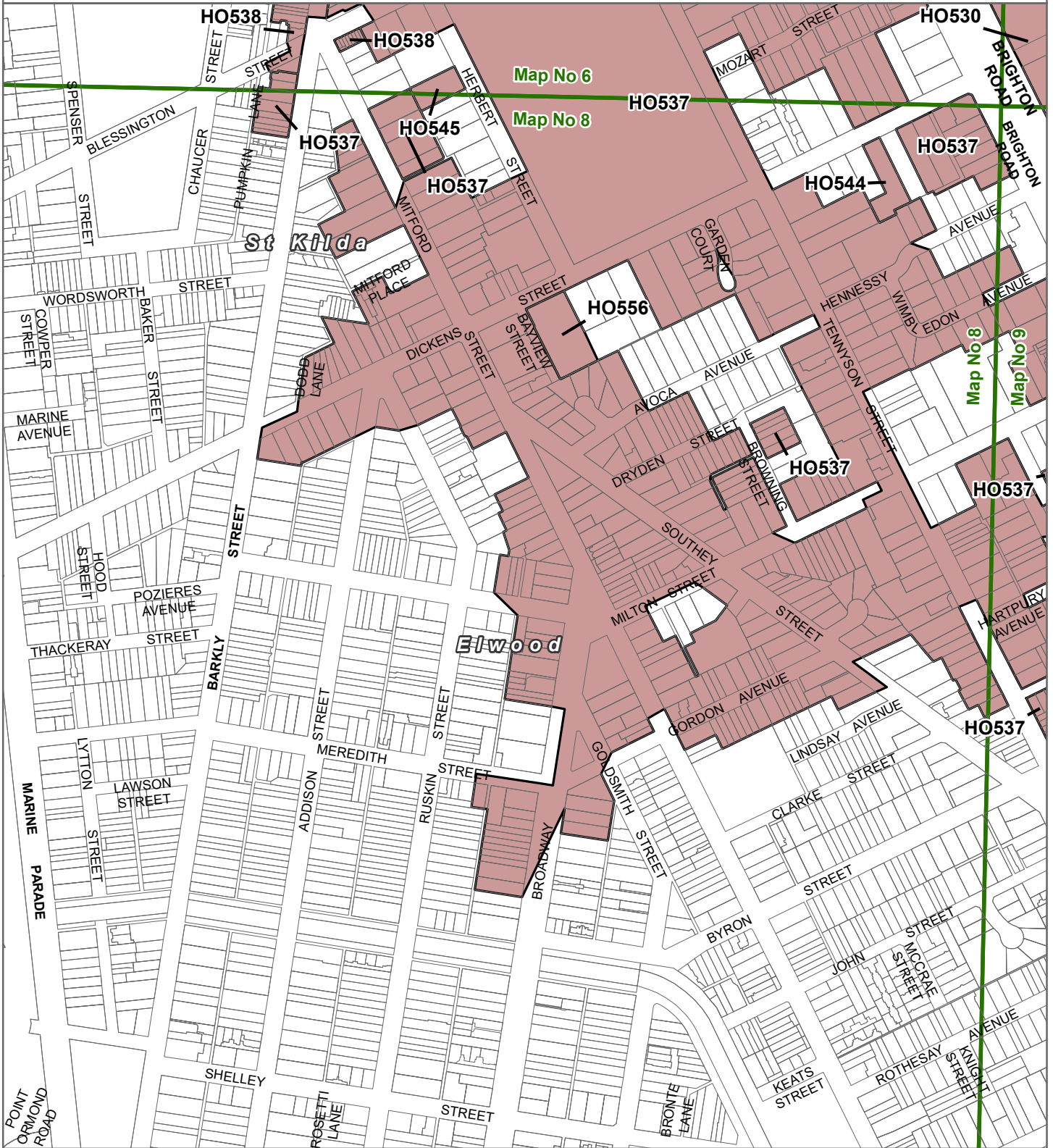
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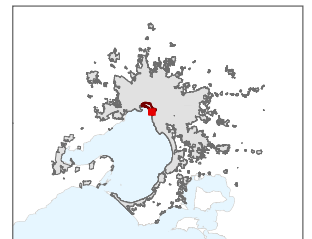
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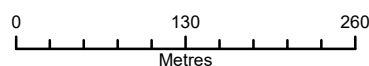
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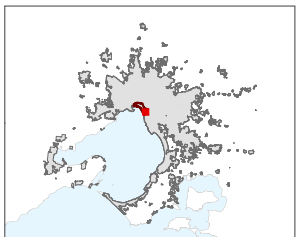
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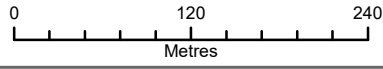
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21.07

INCORPORATED DOCUMENTS

~~24/12/2021~~
~~6461portP~~ Proposed C206port St Kilda Foreshore Urban Design Framework (2002)

Port Phillip Heritage Review - Volumes 1-6 (~~Adopted~~Exhibition version Amendment ~~C161port Part 2, December 2021~~C206port, September 2022) (Includes the City of Port Phillip Heritage Policy Map [~~Adoption version Amendment C161port Part 2, December 2021~~Amendment C206port Version, August 2022] and the City of Port Phillip Neighbourhood Character Policy Map [~~Adoption version Amendment C161port Part 2, December 2021~~]Amendment C206port Version, August 2022].

Reference documents**General**

Community Plan (2007)
 Council Plan 2009 - 2013
 Health and Wellbeing Strategy (2007)

Environmental sustainability

Toward Zero Sustainable Environment Strategy (2007)
 Sustainable Design Policy (2006)
 Sustainable Transport Framework (2004)
 Sustainable Transport Policy and Parking Rates (Ratio, 2007)

Land use

Port Phillip Housing Strategy (2007)
 Port Phillip Activity Centres Implementation Plan (2007)
 Port Phillip Activity Centres Strategy (2006)
 Port Phillip Industry and Business Strategy (2003)
 Open Space Strategy (2006, Revised 2009)
 Open Space Strategy Implementation Plan Framework (2009)
 Foreshore Management Plan (2004)

Built form

Port Phillip Housing Strategy (2007)
 Port Phillip Design Manual (2000)

Neighbourhoods

South Melbourne Central Structure Plan (2007)
 South Melbourne Central Urban Design Framework (2007)
 Ormond Road Urban Design Guidelines (2007)
 Beacon Cove Neighbourhood Character Guidelines 2010 (SJB Urban, 2010)
 Carlisle Street Activity Centre Structure Plan (2009)
 Carlisle Street Urban Design Framework (2009)
 Design Guidelines 1-7 Waterfront Place, Port Melbourne (2014)
 St Kilda Road North Precinct Plan (2013 – Updated 2015)
 Bay Street Activity Centre Structure Plan – Parts 1 and 2 (2014)

St Kilda Road South Urban Design and Land Use Framework (2015)

22.04

29/11/2018
C151

HERITAGE POLICY

This policy applies to all land within a Heritage Overlay.

22.04-1

27/06/2011
C62

Policy Basis

This policy:

- builds on the SPPF heritage objective in Clause 15.03 to local circumstances;
- builds on the MSS objectives in Clause 21.05-1 relating to local heritage conservation, and
- applies the findings of the Port Phillip Heritage Review, Volumes 1-6.

22.04-2

27/06/2011
C62

Objectives

- To retain and conserve all significant and contributory heritage places.
- To discourage the demolition of significant and contributory heritage places.
- To ensure all new development and redevelopment of significant and contributory places is respectfully and harmoniously integrated with the surrounding character.
- To promote design excellence (in terms of building siting, scale, massing, articulation and materials) which clearly and positively supports the heritage significance of all Heritage Overlay areas.
- To ensure that new development and any publicly visible additions and/or alterations in or to a heritage place maintains the significance of the heritage place and employs a contextual design approach.
- To encourage development, in particular use of materials, that responds to the historic character of laneways and to minimise elements that adversely impact on that character.
- To ensure that reconstruction and repair of significant heritage bluestone kerb and channelling, bluestone laneways and significant concrete kerb and channel is carried out in a way that reflects as closely as possible the original appearance.

22.04-3

08/12/2011
C72

Policy

General

It is policy to:

- Encourage the restoration and reconstruction of heritage places (including the accurate reconstruction of original streetscape elements such as verandahs) in all areas, and in particular, in intact or substantially consistent streetscapes in the South Melbourne, Albert Park, Middle Park and St Kilda West Heritage Overlay areas (HO440, HO441, HO442, HO443, HO444, HO445 or HO446).
- Encourage the removal of alterations and additions that detract from the heritage significance of a heritage place.
- Encourage new development to be respectful of the scale, form, siting and setbacks of nearby significant and contributory buildings.
- Disregard the impact of buildings that are obviously atypical to the character of the streetscape when determining the appropriate mass and scale for new buildings or extensions or upper storey additions.
- Encourage a contextual design approach for additions and/or alterations to a heritage place or for new development. A contextual approach is where the alteration, addition or new development incorporates an interpretive design approach, derived through comprehensive

research and analysis. New development should sit comfortably and harmoniously integrate with the site and within the streetscape and not diminish, detract from or compete with the significance of the heritage place or streetscape character. This approach can include

- Contemporary architecture and innovative design which is an important part of the contextual approach because it adds to the existing diversity and layering of styles through time. This layering is a defining feature in a number of areas and is therefore an important component of Port Phillip's heritage.
- Accurate reproduction architecture may be employed in limited instances where detailed evidence, such as photographic evidence, exists for that alteration, addition or new development. This approach may be more appropriate in the South Melbourne, Albert Park, Middle Park and St Kilda West Heritage Overlay areas (HO440, HO441, HO442, HO443, HO444, HO445 or HO446), but may have limited application elsewhere.

Additions and/or Alterations to Heritage Places

It is policy that:

- Additions and alterations:
 - Do not change the original principal facade(s) or roof.
 - Are distinguishable from the original parts of the heritage place to be conserved, if a contemporary architectural approach is used.
 - Are based on research that can identify the elements, detailing and finishes originally employed.
 - Do not obscure or alter an element that contributes to the significance of the heritage place.
 - Maintain an existing vista or viewlines to the principal facade(s) of a heritage place.
- An upper storey addition is sited and massed behind the principal facade so that it preferably is not visible, particularly in intact or consistent streetscapes (see Performance Measure 1).

Performance Measure 1

Upper storey additions may meet the above policy for siting and massing if the following measures, as appropriate, are achieved:

- They are sited within an "envelope" created by projecting a sight line from 1.6 metres above ground level (this being the eye level of an adult person of average height) to the front parapet or gutter on the main façade and taken from a point where the footpath meets the property line directly opposite the site, where the property has a frontage to a narrow street (5 metres or less) or laneway (illustration 1), or
 - They are sited within an "envelope" created by projecting a line of 10 degrees from the height of the base of the front parapet or gutter line on the main façade and extending to the rear of the heritage place (illustration 2 or 3), or
 - In exceptional cases where the heritage place is located in a diverse streetscape and the design of the proposed addition is considered to be an appropriate contextual response, they are sited within an "envelope" created by projecting a line of up to 18 degrees from the height of the base of the front parapet or gutter line on the main façade of the heritage place.
-

Illustration 1

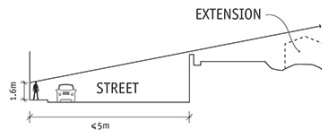


Illustration 2

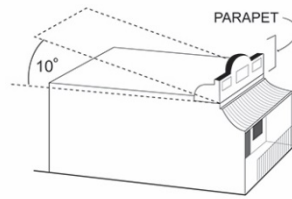
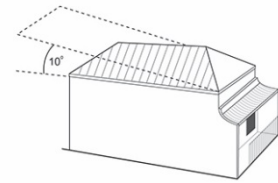


Illustration 3



- If visible from the front (principal) street, the roof of any addition is related to that of the heritage place in terms of form, pitch and materials.
- Where the property is located on a corner site, the upper storey addition is sited and massed so it is visually recessive from the front of the building, so that the scale of the heritage place is the dominant element in the front (principal) streetscape.
- In cases where the original heritage place has been altered, the previous alterations and additions are retained and conserved where they help to interpret the history of its development and they contribute to the significance of the heritage place.
- New openings in the principal facade(s) visible from the street are avoided, or if openings are visible, they are proportionally related to those of the heritage place.
- Walls, windows, roofs and fences are complementary to the heritage place in terms of materials, finishes, textures and paint colours and are appropriate to its architectural style.
- New development achieves environmentally sustainable outcomes, including upgrading existing fabric to reduce operational environmental impact of existing buildings, which is balanced with protecting the heritage significance of the site.

New Development in Heritage Overlay Areas

It is policy that:

- New development maintains and enhances an existing vista to the principal facade(s) of the heritage place, where a new development is adjacent to a heritage place (see Performance Measure 2).

Performance Measure 2

Buildings and works may meet the above policy for maintaining and enhancing an existing vista to the principal facade(s) of a heritage place if the following measures, as appropriate, are achieved:

- New development, with a significant or contributory heritage place on one adjacent site, has an equivalent frontage setback to the heritage place or a setback configuration that maintains a reasonable vista to the heritage place.
 - New development, with a significant or contributory heritage place on both adjacent sites with differing setbacks, has a setback no greater than the largest setback and no less than the smaller setback.
-
- New development generally reflects the prevailing streetscape scale and does not dominate the streetscape or public realm (see Performance Measure 3).

Performance Measure 3

Buildings and works may meet the above policy for building scale if the following measures, as appropriate, are achieved:

- If located in a street which has a consistent building scale and adjacent to a significant or contributory heritage place, the height of the building is no higher than the roof ridgeline of the highest adjacent heritage place when viewed from the street, but may include a higher component to the rear; or
 - If located in a street with a diverse building scale, and adjacent to a significant or contributory heritage place, the height of the new building is of a scale and mass that respects both the adjacent heritage place and the prevailing scale of the area.
-
- Front and side setbacks reflect those of the adjacent buildings and the streetscape, where this is an important element in the streetscape.
 - Roofs respond to any predominant roof form characteristic of the streetscape.
 - Door and window openings are complementary to the prevailing streetscape characteristics. Large expanses of glass or horizontal windows are generally avoided in principal front facades except where this is considered an appropriate design response.
 - If it is a major development site containing a significant or contributory heritage place that is to be retained, the new development respects the scale and setting of the heritage place whilst responding to the prevailing building scale of the heritage overlay area.
 - Visible wall elevations of the new building are articulated in a manner that is complementary to the streetscape through the use of different materials, massing and the inclusion of windows and doors where appropriate.
 - Materials, textures and finishes complement those evident in the streetscape.
 - Colour schemes complement the appearance and character of the streetscape.
 - Front fences are appropriate to the architectural style of the building.
 - For a contextual approach, front fencing interprets the prevailing character of fencing in the immediate environs and in particular responds to prevailing fence height, degree of transparency, form and materials.

Demolition

Where a permit is required for demolition of a significant or contributory building, it is policy to:

- Refuse the demolition of a significant building unless and only to the extent that:
 - the building is structurally unsound;
 - the replacement building and/or works displays design excellence which clearly and positively supports the ongoing heritage significance of the area.
- Refuse the demolition of a contributory building unless and only to the extent that:
 - the building is structurally unsound, and either
 - the replacement building and/or works displays design excellence which clearly and positively supports to the ongoing heritage significance of the area, or
 - in exceptional circumstances the streetscape is not considered intact or consistent in heritage terms.
- Require all applications for demolition of significant or contributory buildings to be accompanied by an application for new development.
- Allow the demolition of part of a heritage place if it will not affect the significance of the place and the proposed addition is sympathetic to the scale and form of the place.

Car Parking

It is policy to:

- Discourage new vehicle crossovers in the front of a property with a narrow street frontage or in streets with few or no crossovers.
- Encourage new on-site car spaces to be located at the rear of the property or in a side setback area.
- Encourage carports, garages and outbuildings, if visible from the main street frontage, to have wall openings, roof forms and materials that complement the main building and the streetscape.

Laneways, Kerbs and Channels

It is policy that:

- Reconstruction of existing bluestone kerb and channelling occurs only when it is at the end of its useful life.
- Where an upper floor is proposed, it is incorporated into the roof space or stepped back from the laneway to reduce its bulk.
- There is zero setback from the laneway frontage (e.g. buildings / fences are built on the boundary line abutting the laneway).
- External materials are limited to those utilitarian materials common in the early periods of development, typically red face brickwork for walls.

Street Furniture

It is policy that:

- Street furniture, including seats, litter bins, bicycle rails and drinking fountains, are designed and sited to ensure that they are not obtrusive in the streetscape, do not adversely affect the heritage significance of an area, and do not obstruct the views to a heritage place.

22.04-4

27/06/2011
C62

Application Requirements

It is policy to require all applications for development to be accompanied by:

A written report that explains:

- The design approach adopted and the reason why.
- How the proposed building and/or works will clearly and positively support the ongoing significance of the heritage place and promote design excellence.
- In the case of any proposed demolition:
 - Why the building is considered to be structurally unsound with supporting information to Council's satisfaction.
 - How the replacement building and/or works clearly and positively support the significance of the heritage place.
- In the case of any proposed addition/alteration, how the proposal is respectful to the scale, massing and form of the significant or contributory heritage place.
- In the case of new development, how the proposal will complement existing heritage characteristics and be respectful of and respond to the prevailing scale, form, siting and setbacks of existing significant or contributory heritage places in the vicinity.
- Whether the addition and /or alteration or new development has met the performance measure 1, 2 or 3, where relevant, and in the cases where these performance measures have not been met, how the proposal achieves the relevant policy.

Plans showing the following:

- Fully scaled and dimensioned elevations and floor plans.
- Where facade restoration forms part of the proposal, plans must be prepared at a 1:20 scale.
- Where demolition forms part of the proposal, demolition plans and elevations showing the extent of all buildings, fences, etc to be demolished.
- A three dimensional building envelope that shows the potential new building volume if all the opportunities and constraints have been considered.
- Fully scaled and dimensioned site plan showing existing and proposed circumstances including outbuildings, fences, significant vegetation, car parking, new cross overs, on-site parking space locations and any other noteworthy features.
- A photo montage of the streetscape.
- A streetscape elevation which shows the existing streetscape and how the proposal sits within the streetscape.
- Information which shows the form of the proposal from oblique views from neighbouring streetscapes where any part of the proposal will be visible.
- A landscape plan.

22.04-5

Definitions

27/06/2014
662 Proposed C206port

Heritage place is a place that has identified heritage value and could include a site, area, building, group of buildings, structure, archaeological site, tree, garden, geological formation, fossil site, habitat or other place of natural or cultural significance and its associated land.

The following definitions apply for heritage places in HO530, HO531, HO532, HO533, HO534, HO535, HO536, HO537, HO538, HO539, HO316, HO317 and HO318:

Significant heritage places are of individual significance at the State of local or level and may also contribute to the significance of a heritage precinct.

Contributory heritage places contribute to the significance of a heritage precinct, but are not of individual significance.

Non-contributory properties do not contribute to the significance of a heritage precinct.

The following definitions apply for all other heritage places in the Heritage Overlay:

Significant heritage places include buildings and surrounds that are individually important places of either State, regional or local heritage significance and are places that together within an identified area, are part of the significance of a Heritage Overlay. These places are included in a Heritage Overlay either as an area or as an individually listed heritage place and are coloured “red” on the City of Port Phillip Heritage Policy Map in the Port Phillip Heritage Review, Volume 1-6.

Contributory heritage places include buildings and surrounds that are representative heritage places of local significance which contribute to the significance of the Heritage Overlay area. They may have been considerably altered but have the potential to be conserved. They are included in a Heritage Overlay and are coloured “green” on the City of Port Phillip Heritage Policy Map, in the Port Phillip Heritage Review, Volume 1-6.

Non-contributory properties are buildings that are neither significant nor contributory. They are included in a Heritage Overlay and have no colour on the City of Port Phillip Heritage Policy Map in the Port Phillip Heritage Review, Volume 1-6. However any new development on these sites may impact on the significance of the Heritage Overlay, and should therefore consider the heritage characteristics of any adjoining heritage place and the streetscape as covered in this policy.

22.04-6 Incorporated Document

~~24/12/2021~~ ~~C161port Part 2, December 2021~~ ~~Proposed C206port~~ Port Phillip Heritage Review - Volumes 1-6 (~~Adoption~~ Exhibition Version Amendment ~~C161port Part 2, December 2021~~ C206port, September 2022) (includes the City of Port Phillip Heritage Policy Map [~~Adoption Version Amendment C161port Part 2, December 2021~~ Amendment C206port Version, August 2022] and the City of Port Phillip Neighbourhood Character Policy Map [~~Adoption Version Amendment C161port Part 2, December 2021~~ Amendment C206port Version, August 2022]).

22.04-7 Reference Documents

~~20/07/2022~~ ~~C205port~~ ~~Proposed C206port~~ Port Phillip Design Manual, 2000 including:

- Fishermans Bend Guidelines (Updated 2010)
- Garden City Guidelines (Updated 2010)
- Dunstan Estate Guidelines (2007)
- Heritage Kerbs, Channels and Laneways Guideline (2006)

Review of Heritage Overlay 3, Heritage Alliance (2009) & Built Heritage (2010).

Review of Heritage Overlay 1 Port Melbourne – Outcomes and Recommendations (Lovell Chen, July 2011)

Review of Heritage Overlay 1 Port Melbourne – Stage 2 Review – Summary Report (Lovell Chen, December 2012)

Fishermans Bend Heritage Study (Biosis Pty Ltd, 2013)

Fishermans Bend additional heritage place assessments (Biosis Pty Ltd, 2015)

Fishermans Bend Heritage Review: Montague Commercial Precinct (RBA Architects and Conservation Consultants, October 2019)

Review of Heritage Overlay 1 Port Melbourne – Stage 2 Review – Summary Report (Lovell Chen, December 2012)

Heritage Appraisal: 16-20A & 44 Wellington Street, St Kilda (Lovell Chen, May 2015)

Heritage Overlay 6 St Kilda East Precinct Review Final Report (David Helms Heritage Planning, January 2020)

Heritage Review – Wellington Street, St Kilda (Lovell Chen (Revised) March 2017)

Tiuna Grove Heritage Assessment (Barrett, 2019)

Heritage Assessment 2-6 Blanche Street and 110-118 Barkly Street, St Kilda (Context Pty Ltd, December 2017)

Heritage Assessment, 588-590 City Road, South Melbourne (Context Pty Ltd, May 2017)

Heritage Assessment 58-60 Queens Road, Melbourne (Peter Andrew Barrett, November 2017)

Port Phillip Heritage Review Update 2019 (David Helms Heritage Planning, February 2019)

Review of Heritage Precinct HO7 - Elwood, St Kilda, Balaclava, Ripponlea - Stage 2 Report (RBA Architects and Conservation Consultants, 2022)

HO7 Review - Citations Update Report (David Helms and Peter Barrett, 2022)

SCHEDULE TO CLAUSE 43.01 HERITAGE OVERLAY

31/01/2019
C157port

1.0
18/10/2018
C122

Application requirements

None specified.

2.0
[28/07/2022](#)
[C205portPr](#)
[oposed](#)
[C206port](#)

Heritage places

The requirements of this overlay apply to both the heritage place and its associated land.

PS map ref	Heritage place	External paint controls apply?	Internal alteration controls apply?	Tree controls apply?	Outbuildings or fences not exempt under Clause 43.01-4	Included on the Victorian Heritage Register under the Heritage Act 2017?	Prohibited uses permitted?	Aboriginal heritage place?
HO1	<i>Port Melbourne</i> Area generally bound by Clark Street to the north, Ingles and Boundary Streets to the east, Pickles Street to the south and Graham Street to the west	Yes	No	Yes – but limited to the Port Melbourne Light Rail Reserve, area zoned PPRZ.	No	No	No	No
HO2	<i>The Garden City Housing Estates</i> Port Melbourne	Yes	No	No	No	No	No	No

PORT PHILLIP PLANNING SCHEME

HO4	<i>City Rd Industrial Area</i>	Yes	No	No	No	No	No	No
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PORT PHILLIP PLANNING SCHEME

PS map ref	Heritage place	External paint controls apply?	Internal alteration controls apply?	Tree controls apply?	Outbuildings or fences not exempt under Clause 43.01-4	Included on the Victorian Heritage Register under the Heritage Act 2017?	Prohibited uses permitted?	Aboriginal heritage place?
	South Melbourne							
HO5	<i>St Kilda Hill</i> Area generally bound by Fitzroy St to the North, Barkly St to the east, Carlisle St to the south and Port Phillip Bay to the west	Yes	No	No	No	No	No	No
HO6	<i>St Kilda East</i> Area generally bound by Wellington Rd and Dandenong Rd to the north, Inkerman Rd to the south, St Kilda Rd to the west and Orrong Rd to the east	Yes	No	No	No	No	No	No
HO7	<i>St Kilda, Elwood, Balaclava, Ripponlea</i> <i>Area generally</i>	Yes	No	No	No	No	No	No

PS map ref	Heritage place	External paint controls apply?	Internal alteration controls apply?	Tree controls apply?	Outbuildings or fences not exempt under Clause 43.01-4	Included on the Victorian Heritage Register under the Heritage Act 2017?	Prohibited uses permitted?	Aboriginal heritage place?
	bound by Carlisle St to the north, Glenhuntly Rd to the south, Hotham St to the east and Mitford St and Broadway to the west							
HO8	<i>Elwood-Glen Huntly Rd, Ormond Rd</i> Area generally comprising Glen Huntly Rd as the east-west spine, extending north just beyond Shelley St between Marine Parade and the Elwood Canal, and south generally between Ormond Rd and Ormond Esplanade	Yes	No	No	No	No	No	No
HO318	<i>Brighton Rd (Elwood)</i> Brighton Rd, Burns St, Glenhuntly Rd,	Yes	No	No	No	No	No	No

PORT PHILLIP PLANNING SCHEME

PS map ref	Heritage place	External paint controls apply?	Internal alteration controls apply?	Tree controls apply?	Outbuildings or fences not exempt under Clause 43.01-4	Included on the Victorian Heritage Register under the Heritage Act 2017?	Prohibited uses permitted?	Aboriginal heritage place?
	Heaton St							
HO316	<p>Carlisle Street (East)</p> <p>291-313 & 332-382 Carlisle Street and 1A, 1-39 & 2B, 2-24 Hawsleigh Avenue, Balaclava</p> <p>Carlisle St, Hawsleigh Ave</p> <p>Statement of Significance: Carlisle Street (East), 2022</p>	Yes	<p>Yes</p> <p>St Colman's Catholic Church complex</p> <p>291 Carlisle Street – Church and School hall</p> <p>No</p>	<p>Yes</p> <p>2B Hawsleigh Avenue - two mature Liquidambers (Liquidamber styraciflua), and silver birch.</p> <p>No</p>	No	No	No	No
HO30	<p><i>Emerald Hill Estate</i></p> <p>Bank, Clarendon, Park, Cecil, Dorcas, Marshall, Fishley, Layfield and Perrins Streets, South Melbourne</p>	-	-	-	-	Yes Ref No H1136	Yes	No

PORT PHILLIP PLANNING SCHEME

HO317	<p>Hotham Street (Balaclava) Nos. 113-125 Hotham Street</p> <p>Statement of Significance: Hotham Street (Balaclava), 2022</p>	Yes	No	No	No	No	No	No
HO315	<p>Inkerman St (East) 40, 40A & 42 Chapel Street, St Kilda, 176, 182-206 Inkerman Street, St Kilda East and 231-245 & 251-281 Inkerman Street, Balaclava</p> <p>Statement of Significance: Inkerman Street (East), 2022</p> <p>Chapel St, Inkerman St</p>	Yes	No	No	No	No	No	No
HO258	St Vincent Place	-	-	-	-	Yes	Yes	No

PORT PHILLIP PLANNING SCHEME

PS map ref	Heritage place	External paint controls apply?	Internal alteration controls apply?	Tree controls apply?	Outbuildings or fences not exempt under Clause 43.01-4	Included on the Victorian Heritage Register under the Heritage Act 2017?	Prohibited uses permitted?	Aboriginal heritage place?
	<i>Precinct</i> 1-99 St Vincent Place South and 2-94 St Vincent Place North and St Vincent Gardens East and St Vincent Gardens West and 10 Merton St and Montague St (Part), Albert Park					Ref No H1291 (see also HO340/H813)		
HO382	<i>Swallow Street Precinct</i> 49-77 Swallow Street, Port Melbourne	Yes	No	No	No	No	No	No
HO385	<i>Chusan Street Precinct</i> 1-37 Chusan Street, East St Kilda	Yes	No	No	No	No	No	No
HO386	<i>Godfrey Av/Raglan Street Precinct</i> 1-41, 2-36 Godfrey Avenue and 9-23	Yes	No	No	No	No	No	No

PORT PHILLIP PLANNING SCHEME

PS map ref	Heritage place	External paint controls apply?	Internal alteration controls apply?	Tree controls apply?	Outbuildings or fences not exempt under Clause 43.01-4	Included on the Victorian Heritage Register under the Heritage Act 2017?	Prohibited uses permitted?	Aboriginal heritage place?
	Raglan Street, East St Kilda							
HO387	<i>Hammerdale Av Precinct</i> 2-24, 28-32, 3-17 Hammerdale Avenue, 2-8 Jervis Street, East St Kilda	Yes	No	No	No	No	No	No
HO388	<i>Holroyd Court Precinct</i> 1-7 Holroyd Court, East St Kilda	Yes	No	Yes – 4 mature camphor laurel street trees (cinnamomum camphora)	No	No	No	No
HO389	<i>Kalymna Grove/Inkerman St Precinct</i> 1-35, 2-30 Kalymna Gr, 342-374 Inkerman Street, East St Kilda	Yes	No	No	No	No	No	No
HO390	<i>Mooltan Av Precinct</i>	Yes	No	No	No	No	No	No

PORT PHILLIP PLANNING SCHEME

PS map ref	Heritage place	External paint controls apply?	Internal alteration controls apply?	Tree controls apply?	Outbuildings or fences not exempt under Clause 43.01-4	Included on the Victorian Heritage Register under the Heritage Act 2017?	Prohibited uses permitted?	Aboriginal heritage place?
	10-16, 9-15 Mooltan Avenue, East St Kilda							
HO391	<p><i>St Kilda East: Murchison Street & Wavenhoe Avenue Precinct</i></p> <p>1-29, 2-24 Murchison St, 20, 22, 26 Lansdowne Street, 160-188, 183-211 Alma Road, 57, 69, 71, 73, 75 and 77 Alexandra Street, 157, 159 and 161 Alma Road, 28, 30, 32, 34, 36, 38, 40, 42 and 44 Hotham Street, 18 and 26A Lansdowne Road, 1-13, 15, 17, 19 and 21 Wavenhoe Avenue, 2 and 4 Mooltan Avenue (duplex at corner of Hotham Street only), St Kilda East</p>	Yes	No	No	No	No	No	No

PORT PHILLIP PLANNING SCHEME

PS map ref	Heritage place	External paint controls apply?	Internal alteration controls apply?	Tree controls apply?	Outbuildings or fences not exempt under Clause 43.01-4	Included on the Victorian Heritage Register under the Heritage Act 2017?	Prohibited uses permitted?	Aboriginal heritage place?
HO392	<i>Orange Grove Precinct</i> 4-30, 11-33 Orange Gr and 331 Inkerman Street, East St Kilda	Yes	No	No	No	No	No	No
HO402	<i>Elwood Canal Precinct</i> Area covered by Elwood Canal and riparian margins, from Port Phillip Bay foreshore to St Kilda Street municipal boundary.	No	No	Yes	Yes	No	No	No
HO403	<i>Addison Street /Milton Street Precinct (Elwood)</i> 2 – 74 & 11-75 Addison St; 296 – 350 & 323 - 377 Barkly St; 77 – 85 Dickens St; 7 Hood St, 1 – 7 & 2 - 10 Lawson St; 1 – 12	Yes	No	No	No	No	No	No

PS map ref	Heritage place	External paint controls apply?	Internal alteration controls apply?	Tree controls apply?	Outbuildings or fences not exempt under Clause 43.01-4	Included on the Victorian Heritage Register under the Heritage Act 2017?	Prohibited uses permitted?	Aboriginal heritage place?
	Lytton St; 52 – 54 Marine Pde; 6 – 56 & 9 – 37 Meredith St; 53 – 83 & 66 – 100 Milton St; 6 – 24, 29 & 46 - 84 Ruskin St; 1 – 23 & 2 - 8 Thackeray St; Elwood							
HO404	<i>Byron Street / Mason Avenue Precinct (Elwood)</i> 2 – 24 & 9 -23 Byron St; 1 – 17 & 2–18 Cyril St; 1 – 37 Mason St; 1 – 33 & 2 - 28 Moore St; Elwood	Yes	No	No	No	No	No	No
HO405	<i>McCrae Street Precinct (Elwood)</i> 31 – 33 John St; 1 – 13 & 2 – 14 McCrae St; Elwood	Yes	No	No	No	No	No	No
HO439	Nightingale Street	Yes	No	No	No	No	No	No

PORT PHILLIP PLANNING SCHEME

PS map ref	Heritage place	External paint controls apply?	Internal alteration controls apply?	Tree controls apply?	Outbuildings or fences not exempt under Clause 43.01-4	Included on the Victorian Heritage Register under the Heritage Act 2017?	Prohibited uses permitted?	Aboriginal heritage place?
	<p>Precinct (Balaclava) 31-55 Marlborough St, 24-58 Rosamond St, 27-57 Rosamond St, 32-58 Nightingale St, 19-47 Nightingale St, 19 & 21 Woodstock St, 1-17 Gibbs St, 2-20 Gibbs St and 1 to 5 Railway Place, Balaclava.</p>							
HO440	<p><i>Emerald Hill Residential Precinct</i> Area generally bound by Pickles St, York St and Kings Way to the north, Queens Rd to the</p>	Yes	No	No	No	No	No	No

PORT PHILLIP PLANNING SCHEME

PS map ref	Heritage place	External paint controls apply?	Internal alteration controls apply?	Tree controls apply?	Outbuildings or fences not exempt under Clause 43.01-4	Included on the Victorian Heritage Register under the Heritage Act 2017?	Prohibited uses permitted?	Aboriginal heritage place?
	east, Albert Rd to the south and Nelson and Ferrars St to the west							
HO441	<i>St Vincent Place East</i> South Melbourne Bound By Park St, Cecil St, Albert Rd and Ferrars St	Yes	No	No	No	No	No	No
HO442	<i>Albert Park Residential Precinct/ Part Montague Precinct</i> Area generally bound by Pickles St to the North, Ferrars St to the east, Kerferd Rd to the south and Beaconsfield Parade to the west (including shops and dwellings along City Road/ Montague	Yes	No	No	No	No	No	No

PORT PHILLIP PLANNING SCHEME

PS map ref	Heritage place	External paint controls apply?	Internal alteration controls apply?	Tree controls apply?	Outbuildings or fences not exempt under Clause 43.01-4	Included on the Victorian Heritage Register under the Heritage Act 2017?	Prohibited uses permitted?	Aboriginal heritage place?
	Street)							
HO443	<i>Bridport Street / Victoria Avenue Commercial Precinct</i> Albert Park	Yes	No	No	No	No	No	No
HO444	<i>Middle Park and St Kilda West Precinct</i> Bound by Kerferd Rd, Canterbury Rd, Fitzroy St and Beaconsfield Parade	Yes	No	No	No	No	No	No
HO445	<i>Armstrong Street Commercial Precinct</i> Middle Park	Yes	No	No	No	No	No	No
HO446	<i>Albert Park Lake Precinct</i> Area generally bound by Fitzroy St to the south, Queens Road to the east, Albert Road to	Yes	No	No	No	No	No	No

PORT PHILLIP PLANNING SCHEME

PS map ref	Heritage place	External paint controls apply?	Internal alteration controls apply?	Tree controls apply?	Outbuildings or fences not exempt under Clause 43.01-4	Included on the Victorian Heritage Register under the Heritage Act 2017?	Prohibited uses permitted?	Aboriginal heritage place?
	the North and Canterbury Road to the west Incorporated plan Albert Park Master plan							
HO513	<i>Montague Commercial Precinct</i> Area including 496-546 City Road and 151-163 Montague Street, South Melbourne Statement of Significance: Montague Commercial Precinct, February 2021	No	No	No	No	No	No	No

PORT PHILLIP PLANNING SCHEME

<p>HO530</p>	<p>Carlisle Street Commercial and Public Precinct</p> <p>Area including:</p> <p>Properties bound by Brighton Rd, Chapel Street and Carlisle Street.</p> <p>2a and 2b Brighton Road.</p> <p>99a – 285 Carlisle Street, and 114 – 306 Carlisle Street and 320-330 Carlisle Street.</p> <p>92-106, 118, 120, 143-159, 161-177 Chapel Street.</p> <p>2-10 William Street.</p> <p>Statement of Significance: Carlisle Street Commercial and Public Precinct, 2022</p>	<p>Yes:</p> <p>St Kilda Uniting (former Wesleyan) Church and Hall, 101 Carlisle Street and 161-69 Chapel Street, St Kilda</p>	<p>Yes:</p> <p>St Kilda Uniting (former Wesleyan) Church and Hall, 101 Carlisle Street and 161-69 Chapel Street, St Kilda (Note: internal controls to church only)</p>	<p>No</p>	<p>No</p>	<p>No</p>	<p>No</p>	<p>No</p>
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PORT PHILLIP PLANNING SCHEME

<p>HO531</p>	<p>Balaclava Flats Residential Precinct</p> <p>Precinct comprises two sections north and south of Carlisle Street.</p> <p>The northern section is in St Kilda between Pakington and Duke streets, and includes Lynott Street and Glenmark Avenue. It also includes the full extent of the exposed network drain between Chapel Street and Brighton Road.</p> <p>The southern section is in Balaclava between Marlborough Street extending as far south as Brunning Street, generally between Woodstock Street (west) and William Street (east), though with an arm along Gourlay Street and The Avenue.</p> <p>Statement of Significance: Balaclava Flats Residential Precinct, 2022</p>	<p>Yes</p> <p>29-31 and 33 William Street, Balaclava</p> <p>74-88 William Street, Balaclava</p>	<p>No</p>	<p>Yes</p> <p>Palm trees at 12-14 Duke Street, St Kilda and 45 Rosamond Street, Balaclava</p>	<p>Yes</p> <p>Contributory fences to interwar period flats.</p>	<p>No</p>	<p>No</p>	<p>No</p>
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PORT PHILLIP PLANNING SCHEME

<p>HO532</p>	<p>Balston Street Precinct</p> <p>2-50 Balston Street and 9-37 Balston Street, Balaclava</p> <p>Statement of Significance: Balston Street Precinct, 2022</p>	<p>No</p>	<p>No</p>	<p>No</p>	<p>No</p>	<p>No</p>	<p>No</p>	<p>No</p>
<p>HO533</p>	<p>Brunnings Estate and Environs Precinct</p> <p>Area generally bound by Brunnings Street, Ripponlea Railway Reserve, Brighton Road and Glen Eira Road.</p> <p>Statement of Significance: Brunnings Estate and Environs Precinct, 2022</p>	<p>Yes</p> <p>17A Albion Street, Balaclava</p> <p>58, 64, 66 Brighton Road, Balaclava</p> <p>3 Glen Eira Rd</p> <p>4 Los Angeles Court, Ripponlea</p> <p>14 Maryville Street, Ripponlea</p>	<p>No</p>	<p>Yes</p> <p>Liquidambar (Liquidambar styraciflua) in Los Angeles Ct & Monkstadt Ave, London planes (Platanus x acerifolia) in Brighton Rd</p> <p>Bull Bay magnolia (Magnolia grandiflora) at 3 Glen Eira Rd</p>	<p>Yes, contributory fences and garages</p>	<p>No</p>	<p>No</p>	<p>No</p>

PORT PHILLIP PLANNING SCHEME

		20 Monkstadt Street, Ripponlea						
HO534	Inkerman Street Commercial Precinct 244-280 Inkerman Street, St Kilda East and 353-355 Inkerman Street, St Balaclava Statement of Significance: Inkerman Street Commercial Precinct, 2022	Yes 268-76 Inkerman Street, St Kilda East	No	No	No	No	No	No

PORT PHILLIP PLANNING SCHEME

<p>HO535</p>	<p>Ripponlea Commercial Precinct</p> <p>15-73 Glen Eira Rd. 32-84 Glen Eira Rd. 4-8 Glen Eira Ave. Ripponlea.</p> <p>Statement of Significance:</p> <p>Ripponlea Commercial Precinct, 2022</p>	<p>No</p>	<p>No</p>	<p>No</p>	<p>No</p>	<p>No</p>	<p>No</p>	<p>No</p>
<p>HO536</p>	<p>Ripponlea Residential Precinct</p> <p>Area generally includes properties along Sycamore Grove, Elm Grove, Oak Grove, Glen Eira Avenue, Victoria Avenue, Quat Quatta Avenue, Fuller Road, Hotham Street, Erindale Road, Ripponlea.</p> <p>Statement of Significance:</p> <p>Ripponlea Residential Precinct, 2022</p>	<p>Yes</p> <p>2, 16 Glen Eira Road, Ripponlea</p> <p>175 Hotham Street & 1 Oak Grove, Ripponlea</p>	<p>No</p>	<p>Yes</p> <p>London planes (<i>Platanus x acerifolia</i>) in Brighton Rd., Fuller Rd., Quat Quatta Ave and Victoria Ave.</p> <p>Three mature black locust trees (<i>Robinia pseudoacacia</i>) and land beneath the canopy of these trees for a distance of five metres from the canopy edge at 12 Glen Eira Rd., Ripponlea</p>	<p>Yes. contributory fences</p>	<p>No</p>	<p>No</p>	<p>No</p>

PORT PHILLIP PLANNING SCHEME

<p>HO537</p>	<p>St Kilda Botanical Gardens & Environs Precinct</p> <p>Area generally covers Carlisle Street to the north, Brighton Road to the east, Byron Street to the south, and generally Mitford Street and Broadway to the west.</p> <p>Statement of Significance:</p> <p>St Kilda Botanical Gardens & Environs Precinct, 2022</p>	<p>Yes</p> <p>245 & 245A Barkly St</p> <p>26-28, 44 & 46, 48, 57, 60, 76 Blessington St</p> <p>27, 115 Brighton Rd</p> <p>47A Brighton Rd & 1A Dickens Street</p> <p>115 Brighton Rd</p> <p>1, 6 Broadway, Elwood</p> <p>6, 6A, 23, 25 Dickens Street</p> <p>15 Foster Street</p> <p>11, 14 Hennessy Ave</p> <p>41 Milton Street</p>	<p>Yes:</p> <p>17 Quat Quatta Avenue, Ripponlea (Note: internal controls to ball room only)</p> <p>6 Tennyson Street, St Kilda</p>	<p>Yes</p> <p>Liquidambar (Liquidambar styraciflua) in Foster Ave.</p> <p>London planes (Platanus x acerifolia) in Blessington St, Brighton Rd, Broadway Dickens St, Goldsmith St, Irymple Ave, Mitford St, Southey St, Tennyson St, Wimbledon Ave.</p> <p>London planes, Canary Island palms (Phoenix canariensis) Kurrajong (Brachychiton populneus) and White Cedars (Melia azedarach) in the F.L. Dawkins and E.C. Mitty reserves.</p> <p>Bhutan cypress and two Italian cypress at 38 Mitford Street.</p>	<p>Yes, contributory fences</p> <p>38 Mitford Street</p>	<p>No</p>	<p>No</p>	<p>No</p>
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PORT PHILLIP PLANNING SCHEME

		5 & 5A Mitchell Street 15, 38, 43 & 45, 73 Mitford Street 31 Mitford Street and 4 Mitford Place 2-4 Mozart Street 6, 10, 17A, 30, 36, 58 Tennyson Street 17 Quat Quatta Avenue, Ripponlea 2, 15 Wimbledon Avenue						
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PORT PHILLIP PLANNING SCHEME

<p>HO538</p>	<p>Village Belle Commercial Precinct</p> <p>74-104, 128-162 & 77-193 Acland Street</p> <p>203-213A & 188-206 Barkly Street, and</p> <p>27-33A and 35A & 35-49 Blessington Street (south side, either side of intersection with Barkly Street)</p> <p>Statement of Significance:</p> <p>Village Belle Commercial Precinct, 2022</p>	<p>Yes</p> <p>91-93 Acland St</p> <p>160 Acland St (former Coles Store)</p> <p>Village Belle Hotel 202 Barkly Street</p>	<p>Yes</p> <p>160 Acland St (former Coles Store)</p>	<p>No</p>	<p>No</p>	<p>No</p>	<p>No</p>	<p>No</p>
<p>HO539</p>	<p>Westbury Close Precinct</p> <p>114-132 and 127-147 Westbury Close, Balaclava</p> <p>Statement of Significance:</p> <p>Westbury Close Precinct, 2022</p>	<p>No</p>	<p>No</p>	<p>Yes</p> <p>London planes (Platanus x acerifolia)</p>	<p>Yes, contributory fences</p>	<p>No</p>	<p>No</p>	<p>No</p>

PORT PHILLIP PLANNING SCHEME

HO9	<i>Christ Church complex</i> 14 Acland St and 1 St Leonards Ave, St Kilda	-	-	-	-	Yes Ref No H996	Yes	No
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PORT PHILLIP PLANNING SCHEME

PS map ref	Heritage place	External paint controls apply?	Internal alteration controls apply?	Tree controls apply?	Outbuildings or fences not exempt under Clause 43.01-4	Included on the Victorian Heritage Register under the Heritage Act 2017?	Prohibited uses permitted?	Aboriginal heritage place?
HO10	<i>Linden</i> 26 Acland St, St Kilda	-	-	-	-	Yes Ref No H213	Yes	No
HO11	<i>Halcyon</i> 53 Acland St, St Kilda	-	-	-	-	Yes Ref No H775	Yes	No
HO12	<i>South African Soldiers Memorial</i> 29A Albert Rd, Melbourne	-	-	-	-	Yes Ref No H1374	Yes	No
HO319	<i>Former BP House</i> 1-29 Albert Rd, Melbourne	Yes	No	No	No	No	No	No
HO320	<i>Offices</i> 31-33 Albert Rd, Melbourne	Yes	No	No	No	No	No	No
HO334	<i>Former Residence</i> 42 Albert Rd,	Yes	No	No	No	No	No	No

PORT PHILLIP PLANNING SCHEME

PS map ref	Heritage place	External paint controls apply?	Internal alteration controls apply?	Tree controls apply?	Outbuildings or fences not exempt under Clause 43.01-4	Included on the Victorian Heritage Register under the Heritage Act 2017?	Prohibited uses permitted?	Aboriginal heritage place?
	Melbourne							
HO361	<i>Houses</i> 140-144 Albert Road, South Melbourne	Yes	No	No	No	No	No	No
HO312	<i>Flats</i> 194 Albert Rd, South Melbourne	Yes	No	No	No	No	No	No
HO13	<i>Dalkeith</i> 314 Albert Rd, South Melbourne	-	-	-	-	Yes Ref No H840	Yes	No
HO525	<i>Former Royal Australian Corps of Signals Drill Hall</i> 29A Albert Road Drive South, Albert Park	-	-	-	-	Yes Ref No H2362	Yes	No
HO14	<i>Ngargee Tree</i>	No	No	Yes	No	No	No	Yes

PORT PHILLIP PLANNING SCHEME

PS map ref	Heritage place	External paint controls apply?	Internal alteration controls apply?	Tree controls apply?	Outbuildings or fences not exempt under Clause 43.01-4	Included on the Victorian Heritage Register under the Heritage Act 2017?	Prohibited uses permitted?	Aboriginal heritage place?
	Albert Park							
HO15	<i>South Melbourne Cricket and Football Club grandstand</i> Albert Road Drive, Albert Park	Yes	Yes	No	No	No	No	No
HO393	<i>Houses</i> 31-35 Alexandra Street, East St Kilda	Yes	No	No	No	No	No	No
HO19	<i>Holmwood, including Canary Island date palm (6) jacaranda (2) Bhutan cypress (1)</i> 61 Alexandra St, Balaclava	Yes	Yes	Yes	No	No	No	No
HO18	<i>South African War Memorial</i> 9 Alfred Square, St Kilda	-	-	-	-	Yes Ref No H1375	Yes	No

PORT PHILLIP PLANNING SCHEME

PS map ref	Heritage place	External paint controls apply?	Internal alteration controls apply?	Tree controls apply?	Outbuildings or fences not exempt under Clause 43.01-4	Included on the Victorian Heritage Register under the Heritage Act 2017?	Prohibited uses permitted?	Aboriginal heritage place?
HO16	<i>House</i> 1 Alfred Square, St Kilda	Yes	Yes	No	No	No	No	No
HO17	<i>House</i> 2 Alfred Square, St Kilda	Yes	Yes	No	No	No	No	No
HO31	<i>Presbyterian Church</i> 2 Alma Rd, St Kilda	Yes	Yes	No	No	No	No	No
HO20	<i>Former Priory Ladies School</i> 61 Alma Rd, St Kilda	-	-	-	-	Yes Ref No H726	Yes	No
HO21	<i>Belmont Flats</i> 86 Alma Rd, St Kilda	-	-	-	-	Yes Ref No H805	Yes	No
HO350	<i>House</i> 127 Alma Rd, St Kilda East	Yes	No	No	No	No	No	No

PORT PHILLIP PLANNING SCHEME

PS map ref	Heritage place	External paint controls apply?	Internal alteration controls apply?	Tree controls apply?	Outbuildings or fences not exempt under Clause 43.01-4	Included on the Victorian Heritage Register under the Heritage Act 2017?	Prohibited uses permitted?	Aboriginal heritage place?
HO23	<i>House</i> 200 Alma Rd, St Kilda East	Yes	No	No	No	No	No	No
HO25	<i>House</i> 217 Alma Rd, St Kilda East	Yes	No	No	No	No	No	No
HO407	<i>House</i> 6 Austin St, Elwood	Yes	No	No	No	No	No	No
HO408	<i>Zone Substation</i> 36 Austin St, Elwood	Yes	No	No	No	No	No	No
HO313	<i>House</i> 13 Baker St, St Kilda	Yes	No	No	No	No	No	No
HO394	<i>Former Factory</i> 5-7A Balston Street, East St Kilda	Yes	No	No	No	No	No	No
HO395	<i>Cottage</i>	Yes	No	No	No	No	No	No

PORT PHILLIP PLANNING SCHEME

PS map ref	Heritage place	External paint controls apply?	Internal alteration controls apply?	Tree controls apply?	Outbuildings or fences not exempt under Clause 43.01-4	Included on the Victorian Heritage Register under the Heritage Act 2017?	Prohibited uses permitted?	Aboriginal heritage place?
	16 Balston Street, East St Kilda							
HO396	<i>Substation</i> 52 Balston Street, East St Kilda	Yes	No	No	No	No	No	No
HO369	Terrace Row, houses and Algerian Oak (<i>Quernac canariensis</i>) at the rear of 145 Bank Street and land beneath the canopy for a distance of five metres from the canopy edge. 141-147 Bank Street, 1-5 Palmer Street and 2-4 Wilson Street, South Melbourne	Yes	No	Yes	No	No	No	No
HO27	<i>Former South Melbourne Post Office</i>	-	-	-	-	Yes Ref No H1771	No	No

PORT PHILLIP PLANNING SCHEME

PS map ref	Heritage place	External paint controls apply?	Internal alteration controls apply?	Tree controls apply?	Outbuildings or fences not exempt under Clause 43.01-4	Included on the Victorian Heritage Register under the Heritage Act 2017?	Prohibited uses permitted?	Aboriginal heritage place?
	195-207 Bank St, South Melbourne							
HO28	<i>South Melbourne Town Hall</i> 208-220 Bank St, South Melbourne	-	-	-	-	Yes Ref No H217	Yes	No
HO29	<i>South Melbourne Court House and Police Station</i> 209-213 Bank St, South Melbourne	-	-	-H	-	Yes Ref No H1486	Yes	No
HO341	<i>Former Lauders Riding School (Emerald Hill)</i> 295 Bank St, South Melbourne	-	-	-	-	Yes Ref No H1749	Yes	No
HO32	<i>The Manse</i> 42 Barkly St, St Kilda	-	-	-	-	Yes Ref No H212	Yes	No

PORT PHILLIP PLANNING SCHEME

PS map ref	Heritage place	External paint controls apply?	Internal alteration controls apply?	Tree controls apply?	Outbuildings or fences not exempt under Clause 43.01-4	Included on the Victorian Heritage Register under the Heritage Act 2017?	Prohibited uses permitted?	Aboriginal heritage place?
HO285	House 52 Barkly St, St Kilda	Yes	No	No	No	No	No	No
HO370	Hampden, including two mature Canary Island Date Palms, scoria rock edging and tapered rough cast gate posts. 74 Barkly Street, St Kilda	Yes	No	Yes	No	No	No	No
HO33	Village Belle Hotel 202 Barkly St, St Kilda	Yes	Yes	No	No	No	No	No
HO34	House 269 Barkly St, St Kilda	Yes	No	No	No	No	No	No
HO35	Benshemesh Flats Group Listing 1 289 Barkly St, St Kilda	No Yes	No	No	Yes, front fences to 289 Barkly Street, 11 Burnett Street and 62	No	No	No

PORT PHILLIP PLANNING SCHEME

<p>11 Burnett Street, St Kilda</p> <p>62 Hotham Street, St Kilda East</p> <p>38 Westbury Street, St Kilda East</p> <p>Statement of Significance: Benshemesh Flats Group Listing 1, 2022</p>				<p>Hotham Street</p> <p>No</p>			
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PORT PHILLIP PLANNING SCHEME

PS map ref	Heritage place	External paint controls apply?	Internal alteration controls apply?	Tree controls apply?	Outbuildings or fences not exempt under Clause 43.01-4	Included on the Victorian Heritage Register under the Heritage Act 2017?	Prohibited uses permitted?	Aboriginal heritage place?
HO409	<i>Jerry's Milk Bar</i> 345 Barkly St, Elwood	Yes	No	No	No	No	No	No
HO38	<i>Former Morley's Coal Depot</i> 2-6 Bay St, Port Melbourne	Yes	Yes	No	No	No	No	No
HO39	<i>Former Post Office and Naval drill hall</i> 40 Bay St, Port Melbourne	-	-	-	-	Yes Ref No H1378	Yes	No
HO452	<i>Former National Bank</i> 96 Bay Street, Port Melbourne	Yes	No	No	No	No	No	No
HO40	<i>Port Melbourne Court house, Police station and lock up</i> 111 and 113-119 Bay St and Graham	-	-	-	-	Yes Ref No H1318	Yes	No

PORT PHILLIP PLANNING SCHEME

PS map ref	Heritage place	External paint controls apply?	Internal alteration controls apply?	Tree controls apply?	Outbuildings or fences not exempt under Clause 43.01-4	Included on the Victorian Heritage Register under the Heritage Act 2017?	Prohibited uses permitted?	Aboriginal heritage place?
	St, Port Melbourne							
HO41	<i>Port Melbourne Town Hall</i> 333 Bay St, Port Melbourne	Yes	Yes	Yes	No	No	No	No
HO42	<i>Shop</i> 397 Bay St, Port Melbourne	Yes	Yes	No	No	No	No	No
HO43	<i>Princes Pier</i> Beach St, Port Melbourne	-	-	-	-	Yes Ref No H981	Yes	No
HO465	<i>Station Pier</i> 110 Beach St, Port Melbourne	-	-	-	-	Yes Ref No H985	Yes	No
HO46	<i>Port Melbourne railway station</i> 101 Beach St, Port Melbourne	-	-	-	-	Yes Ref No H983	Yes	No

PORT PHILLIP PLANNING SCHEME

PS map ref	Heritage place	External paint controls apply?	Internal alteration controls apply?	Tree controls apply?	Outbuildings or fences not exempt under Clause 43.01-4	Included on the Victorian Heritage Register under the Heritage Act 2017?	Prohibited uses permitted?	Aboriginal heritage place?
HO47	<i>Centenary bridge pillar</i> Beach St, Port Melbourne	Yes	No	No	No	No	No	No
HO48	Maskell and McNab Memorial Beach St, Port Melbourne	Yes	No	No	No	No	No	No
HO49	<i>Band Rotunda (opposite Stokes Street)</i> Beach St, Port Melbourne	-	-	-	-	Yes Ref No. H1735	No	No
HO50	<i>Public toilets</i> Beach St, Port Melbourne	Yes	No	No	No	No	No	No
HO51	<i>Bi-Centennial memorial</i> Beach St, Port Melbourne	Yes	No	No	No	No	No	No

PORT PHILLIP PLANNING SCHEME

PS map ref	Heritage place	External paint controls apply?	Internal alteration controls apply?	Tree controls apply?	Outbuildings or fences not exempt under Clause 43.01-4	Included on the Victorian Heritage Register under the Heritage Act 2017?	Prohibited uses permitted?	Aboriginal heritage place?
HO362	<i>WW1 Memorial</i> Beach St, Port Melbourne	Yes	No	No	No	No	No	No
HO52	<i>Port Melbourne Yacht Club</i> Beach St, Port Melbourne	Yes	No	No	No	No	No	No
HO286	<i>Sandridge Hotel</i> 69 Beach St, Port Melbourne	Yes	No	No	No	No	No	No
HO44	<i>Leading lights</i> Beacon Vista and Hobsons Bay, Port Melbourne	-	-	-	-	Yes Ref No H982	Yes	No
HO53	<i>Cast iron lamp standards</i> Beaconsfield Pde, St. Kilda	Yes	No	No	No	No	No	No

PORT PHILLIP PLANNING SCHEME

PS map ref	Heritage place	External paint controls apply?	Internal alteration controls apply?	Tree controls apply?	Outbuildings or fences not exempt under Clause 43.01-4	Included on the Victorian Heritage Register under the Heritage Act 2017?	Prohibited uses permitted?	Aboriginal heritage place?
HO348	<i>Catani Gardens</i> Beaconsfield Pde and Jacka Blvd, St Kilda	-	-	-	-	Yes Ref No H1805	No	No
HO54	<i>Open sea bathing house</i> Beaconsfield Pde, St. Kilda	Yes	Yes	Yes	No	No	No	No
HO450	<i>Sea Wall and Promenade</i> Beaconsfield Parade (south side), between Cowderoy Street and McGregor Street, St Kilda West and Middle Park Incorporated plan Sea Wall and Promenade - September 2008	Yes	No	No	No	No	No	No
HO55	<i>Duart</i>	Yes	Yes	No	No	No	No	No

PORT PHILLIP PLANNING SCHEME

PS map ref	Heritage place	External paint controls apply?	Internal alteration controls apply?	Tree controls apply?	Outbuildings or fences not exempt under Clause 43.01-4	Included on the Victorian Heritage Register under the Heritage Act 2017?	Prohibited uses permitted?	Aboriginal heritage place?
	121 Beaconsfield Pde, Albert Park							
HO56	<i>Hotel Victoria</i> 123 Beaconsfield Pde, Albert Park	-	-	-	-	Yes Ref No H820	Yes	No
HO57	<i>Hughenden</i> 177 Beaconsfield Pde, Middle Park	Yes	Yes	No	No	No	No	No
HO287	<i>Flats</i> 333 Beaconsfield Parade, St Kilda	Yes	No	No	No	No	No	No
HO58	<i>Shandon</i> 361 Beaconsfield Pde, St Kilda	-	-	-	-	Yes Ref No H669	Yes	No
HO59	<i>The Belford</i> 24 Belford St, St. Kilda	Yes	No	No	No	No	No	No

PORT PHILLIP PLANNING SCHEME

PS map ref	Heritage place	External paint controls apply?	Internal alteration controls apply?	Tree controls apply?	Outbuildings or fences not exempt under Clause 43.01-4	Included on the Victorian Heritage Register under the Heritage Act 2017?	Prohibited uses permitted?	Aboriginal heritage place?
HO410	<i>Houses</i> 1 – 5 Bell St, Ripponlea	Yes	No	No	No	No	No	No
HO357	<i>Former Australian Natives Association Hall</i> 49A Blanche Street, St Kilda	Yes	No	No	No	No	No	No
HO344	<i>St Kilda Botanical Gardens</i> 55 Blessington St, St Kilda	-	-	-	-	Yes Ref No H1804	Yes	No
HO60	<i>House</i> 4 Blessington St, St Kilda	Yes	No	No	No	No	No	No
HO349	<i>Public Reserve</i> Bowen Cres, Melbourne	No	No	Yes	No	No	No	No

PS map ref	Heritage place	External paint controls apply?	Internal alteration controls apply?	Tree controls apply?	Outbuildings or fences not exempt under Clause 43.01-4	Included on the Victorian Heritage Register under the Heritage Act 2017?	Prohibited uses permitted?	Aboriginal heritage place?
HO62	<i>Biltmore private hotel</i> 152 Bridport St, Albert Park	-	-	-	-	Yes Ref No H475	Yes	No
HO63	<i>St Kilda Town Hall</i> Brighton Rd, St Kilda	Yes	Yes – but limited to the interior of the original 1890 and 1939 Town Hall building only	Yes	No	No	No	No
HO64	<i>Primary School No. 1479</i> 2 Brighton Rd, St Kilda	-	-	-	-	Yes Ref No H1712	Yes	No
HO371	<i>Moreton Bay fig in the northwest corner of 43 Brighton Road and land beneath the canopy for a distance of five</i>	No	No	Yes	No	No	No	No

PORT PHILLIP PLANNING SCHEME

PS map ref	Heritage place	External paint controls apply?	Internal alteration controls apply?	Tree controls apply?	Outbuildings or fences not exempt under Clause 43.01-4	Included on the Victorian Heritage Register under the Heritage Act 2017?	Prohibited uses permitted?	Aboriginal heritage place?
	<i>metres from the canopy edge.</i> 39-43 Brighton Road (part), 4 Dickens Street (part) and 1-5 Mozart Street (part), St Kilda							
HO65	<i>Holy Trinity Church complex</i> 2A Brighton Rd and 175-77 Chapel Street , St Kilda	Yes	Yes	Yes Mature Canary Island palms	No	No	No	No
HO355	Laluma House 148 Brighton Road, Ripponlea	Yes	No	No	No	No	No	No
HO66	<i>Fire Station complex</i> 201 Brighton Rd, Elwood	Yes	No	No	No	No	No	No
HO67	<i>Windermere Flats</i> 49 Broadway, Elwood	-	-	-	-	Yes Ref No H911	Yes	No

PORT PHILLIP PLANNING SCHEME

PS map ref	Heritage place	External paint controls apply?	Internal alteration controls apply?	Tree controls apply?	Outbuildings or fences not exempt under Clause 43.01-4	Included on the Victorian Heritage Register under the Heritage Act 2017?	Prohibited uses permitted?	Aboriginal heritage place?
HO414	<i>Houses</i> 2, 4 & 6 Browning St, Elwood	Yes	No	No	No	No	No	No
HO68	<i>Wilgah</i> 6 Burnett St, St Kilda	-	-	-	-	Yes Ref Nos H760	Yes	No
HO453	<i>Wilgah</i> 8 Burnett St, St Kilda	-	-	-	-	Yes Ref No H761	Yes	No
HO69	<i>Fenagh Cottage</i> 7 Burnett St, St Kilda	-	-	-	-	Yes Ref No H629	Yes	No
HO343	<i>Marion Terrace</i> 14-24 Burnett St, St Kilda	-	-	-	-	Yes Ref No H1802	Yes	No
HO70	<i>Oberwyl</i> 33-35 Burnett St, St Kilda	-	-	-	-	Yes Ref No H214	Yes	No

PORT PHILLIP PLANNING SCHEME

PS map ref	Heritage place	External paint controls apply?	Internal alteration controls apply?	Tree controls apply?	Outbuildings or fences not exempt under Clause 43.01-4	Included on the Victorian Heritage Register under the Heritage Act 2017?	Prohibited uses permitted?	Aboriginal heritage place?
HO71	<i>Fleurs</i> 48 Burnett St, St Kilda	-	-	-	-	Yes Ref No H753	Yes	No
HO412	<i>House</i> 32 Byron St, Elwood	Yes	No	No	No	-	No	No
HO413	<i>Ravensmead House</i> 38 Byron St, Elwood	Yes	No	No	No	-	No	No
HO72	<i>Former Salvation Army Citadel</i> 17 Camden St, Balaclava	Yes	No	No	No	No	No	No
HO378	<i>Peppertree at the rear of 208 Canterbury Road and land beneath the canopy for a distance of five metres from the canopy edge.</i> 208-209 Canterbury	No	No	Yes	No	No	No	No

PS map ref	Heritage place	External paint controls apply?	Internal alteration controls apply?	Tree controls apply?	Outbuildings or fences not exempt under Clause 43.01-4	Included on the Victorian Heritage Register under the Heritage Act 2017?	Prohibited uses permitted?	Aboriginal heritage place?
	Road, St Kilda West							
HO73	<i>The Canterbury</i> 236 Canterbury Rd, St Kilda West	-	-	-	-	Yes Ref No H1836	No	No
HO74	<i>National Theatre</i> 20 Carlisle St, St Kilda	-	-	-	-	Yes Ref No H2092	Yes	No
HO75	<i>St. Colman's Church</i> 291 Carlisle St, Balaclava	Yes	Yes	No	No	No	No	No
HO76	<i>Luna Park</i> 18 Cavell St, St Kilda	-	-	-	-	Yes Ref No H938	Yes	No
HO454	<i>Luna Park - local significance</i> 18 Cavell St, St Kilda Incorporated plan	Yes	No	No	No	No	No	No

PORT PHILLIP PLANNING SCHEME

PS map ref	Heritage place	External paint controls apply?	Internal alteration controls apply?	Tree controls apply?	Outbuildings or fences not exempt under Clause 43.01-4	Included on the Victorian Heritage Register under the Heritage Act 2017?	Prohibited uses permitted?	Aboriginal heritage place?
	Luna Park							
HO289	<i>Southern Cross Hotel</i> 78 Cecil St, South Melbourne	Yes	No	No	No	No	No	No
HO77	<i>Port View House</i> 153 Cecil St, South Melbourne	-	-	-	-	Yes Ref No H702	Yes	No
HO78	<i>Finn Barr</i> 155 Cecil St, South Melbourne	-	-	-	-	Yes Ref No H715	Yes	No
HO79	<i>Former Mechanics Institute (Italian Club Cavour)</i> 170-172 Cecil St, South Melbourne	-	-	-	-	Yes Ref No H537	Yes	No
HO466	<i>Former St Vincent de Paul Boys Orphanage</i>	-	-	-	-	Yes Ref No	Yes	No

PORT PHILLIP PLANNING SCHEME

PS map ref	Heritage place	External paint controls apply?	Internal alteration controls apply?	Tree controls apply?	Outbuildings or fences not exempt under Clause 43.01-4	Included on the Victorian Heritage Register under the Heritage Act 2017?	Prohibited uses permitted?	Aboriginal heritage place?
	231-241 Cecil St and 199-201 Napier St and 34 Church St, South Melbourne					H2170		
HO80	<i>Former Free Presbyterian Church</i> Chapel St, St Kilda East	Yes	Yes	No	No	No	No	No
HO81	<i>All Saints Church, Hall and former Vicarage</i> 2 Chapel St, St Kilda East	-	-	-	-	Yes Ref No H1364	Yes	No
HO82	<i>St Georges Uniting Church</i> 4 Chapel St, St Kilda	-	-	-	-	Yes Ref No H864	Yes	No
HO83	<i>The Astor Theatre</i> 1-9 Chapel St, St Kilda	-	-	-	-	Yes Ref No H1751	No	No

PORT PHILLIP PLANNING SCHEME

PS map ref	Heritage place	External paint controls apply?	Internal alteration controls apply?	Tree controls apply?	Outbuildings or fences not exempt under Clause 43.01-4	Included on the Victorian Heritage Register under the Heritage Act 2017?	Prohibited uses permitted?	Aboriginal heritage place?
HO84	<i>Drill Hall</i> 10 Chapel St, St Kilda East	Yes	Yes	No	No	No	No	No
HO85	<i>Cloyne</i> 12 Chapel St, St Kilda	-	-	-	-	Yes Ref No H733	Yes	No
HO86	<i>Rondebosch and Elmwood</i> 25-27 Chapel St, St Kilda	-	-	-	-	Yes Ref No H754	Yes	No
HO351	<u>Devon Court Flats</u> 45-47 Chapel Street, St Kilda	Yes	No	No	No	No	No	No
HO87	<i>Mahnud</i> 65 Chapel St, St Kilda	Yes	No	No	No	No	No	No
HO290	<i>Police Station</i> 92 Chapel St, St	Yes	No	No	No	No	No	No

PORT PHILLIP PLANNING SCHEME

PS map ref	Heritage place	External paint controls apply?	Internal alteration controls apply?	Tree controls apply?	Outbuildings or fences not exempt under Clause 43.01-4	Included on the Victorian Heritage Register under the Heritage Act 2017?	Prohibited uses permitted?	Aboriginal heritage place?
	Kilda							
HO88	<i>Charnwood Oaks</i> 4-8 Charnwood Cr, St Kilda	Yes	Yes	No	No	No	No	No
HO89	<i>St Kilda Hebrew Congregation Synagogue</i> 10-12 Charnwood Grove, St Kilda	-	-	-	-	Yes Ref No 1968	Yes	No
HO90	<i>Houses</i> 80-82 Chaucer St, St. Kilda	Yes	No	No	No	No	No	No
HO91	<i>House</i> 9 Church St, South Melbourne	Yes	Yes	No	No	No	No	No
HO92	<i>Ballarat</i> 51 Church St, South Melbourne	Yes	Yes	No	No	No	No	No

PORT PHILLIP PLANNING SCHEME

PS map ref	Heritage place	External paint controls apply?	Internal alteration controls apply?	Tree controls apply?	Outbuildings or fences not exempt under Clause 43.01-4	Included on the Victorian Heritage Register under the Heritage Act 2017?	Prohibited uses permitted?	Aboriginal heritage place?
HO93	<i>Wayside Inn Hotel</i> 448 City Rd, South Melbourne	Yes	No	No	No	No	No	No
HO291	<i>Shop</i> 155 Clarendon St, South Melbourne	Yes	No	No	No	No	No	No
HO367	<i>Prefabricated Cottage</i> 17 Coventry Place, South Melbourne	-	-	-	-	Yes Ref No H1958	Yes	No
HO96	<i>House</i> 378 Coventry St, South Melbourne	Yes	Yes	No	No	No	No	No
HO97	<i>Bellhouse Iron House and Iron House</i> 399 Coventry St and 6 Patterson Place, South Melbourne	-	-	-	-	Yes Ref No H220 & Ref No H1888	Yes	No

PORT PHILLIP PLANNING SCHEME

PS map ref	Heritage place	External paint controls apply?	Internal alteration controls apply?	Tree controls apply?	Outbuildings or fences not exempt under Clause 43.01-4	Included on the Victorian Heritage Register under the Heritage Act 2017?	Prohibited uses permitted?	Aboriginal heritage place?
HO98	<i>Beaconsfield Hotel</i> 20 Cowderoy St, St Kilda	Yes	Yes	No	No	No	No	No
HO99	<i>Fountain Inn</i> 1 Crockford St, Port Melbourne	Yes	Yes	No	No	No	No	No
HO100	<i>Eden Terrace</i> 4-18 Dalgety St, St Kilda	-	-	-	-	Yes Ref No H847	Yes	No
HO414	<i>Electrical Substation</i> 13 Daley St, Elwood	Yes	No	No	No	-	No	No
HO101	<i>Ornamental Tramway Overhead Poles</i> Dandenong Rd, St Kilda	-	-	-	-	Yes Ref No H1023 (see also HO125)	Yes	No
HO102	<i>Park Keeper's Lodge</i>	Yes	Yes	No	No	No	No	No

PS map ref	Heritage place	External paint controls apply?	Internal alteration controls apply?	Tree controls apply?	Outbuildings or fences not exempt under Clause 43.01-4	Included on the Victorian Heritage Register under the Heritage Act 2017?	Prohibited uses permitted?	Aboriginal heritage place?
	Alma Park, Dandenong Rd, St Kilda							
HO103	<i>St Mary's Church</i> 208 Dandenong Rd, St Kilda	-	-	-	-	Yes Ref No H750	Yes	No
HO104	<i>Former Ardoch Educational Centre</i> 216-238 Dandenong Rd and 1-9 Ardoch Ave and 2-8 Pilley St and 2-10 Ardoch Ave, St Kilda East	-	-	-	-	Yes Ref No H969	Yes	No
HO455	<i>St Kilda Cemetery</i> 260-288 Dandenong Rd, St Kilda East	-	-	-	-	Yes Ref No H1081	Yes	No
HO105	<i>House</i> 70 Dickens St Elwood	Yes	No	No	No	No	No	No

PORT PHILLIP PLANNING SCHEME

PS map ref	Heritage place	External paint controls apply?	Internal alteration controls apply?	Tree controls apply?	Outbuildings or fences not exempt under Clause 43.01-4	Included on the Victorian Heritage Register under the Heritage Act 2017?	Prohibited uses permitted?	Aboriginal heritage place?
HO106	<i>Glenronald</i> 75 Dickens St, St. Kilda	Yes	No	No	No	No	No	No
HO415	<i>Antigone Flats</i> 34 Docker St, Elwood	Yes	No	No	No	No	No	No
HO107	<i>Monterey Flats</i> 35 Docker St, Elwood	Yes	No	No	No	No	No	No
HO108	<i>St Luke's Church</i> 210 Dorcas St, South Melbourne	-	-	-	-	Yes Ref No H218	Yes	No
HO109	<i>Former Salvation Army Citadel</i> 232 Dorcas St, South Melbourne	Yes	Yes	No	No	No	No	No
HO110	<i>Former Baptist Church</i>	Yes	Yes	No	No	No	No	No

PORT PHILLIP PLANNING SCHEME

PS map ref	Heritage place	External paint controls apply?	Internal alteration controls apply?	Tree controls apply?	Outbuildings or fences not exempt under Clause 43.01-4	Included on the Victorian Heritage Register under the Heritage Act 2017?	Prohibited uses permitted?	Aboriginal heritage place?
	250 Dorcas St, South Melbourne							
HO111	<i>Primary School No 1253</i> 284 Dorcas St, South Melbourne	-	-	-	-	Yes Ref No H1346	Yes	No
HO112	<i>Former Presbyterian Church</i> 317-329 Dorcas St, South Melbourne	Yes	Yes	No	No	No	No	No
HO113	<i>Former Queens Arms Hotel</i> 330-334 Dorcas St, South Melbourne	-	-	-	-	Yes Ref No H1827	No	No
HO114	<i>House</i> 337 Dorcas St, South Melbourne	Yes	Yes	No	No	No	No	No
HO115	<i>Former Morley and Carrick Warehouse</i>	Yes	Yes	No	No	No	No	No

PORT PHILLIP PLANNING SCHEME

PS map ref	Heritage place	External paint controls apply?	Internal alteration controls apply?	Tree controls apply?	Outbuildings or fences not exempt under Clause 43.01-4	Included on the Victorian Heritage Register under the Heritage Act 2017?	Prohibited uses permitted?	Aboriginal heritage place?
	93 Dow St, Port Melbourne							
HO116	<i>State School</i> 113 Eastern Rd, South Melbourne	Yes	Yes	No	No	No	No	No
HO347	<i>Biltmore</i> 36 Eildon St, St Kilda	-	-	-	-	Yes Ref No H1809	No	No
HO119	<i>Albert Park railway station complex</i> 365 Ferrars St, South Melbourne	-	-	-	-	Yes Ref No H1558	Yes	No
HO120	<i>South Melbourne railway station complex</i> 221 Ferrars St, South Melbourne	-	-	-	-	Yes Ref No H1593	Yes	No
HO121	<i>Balladonia</i>	-	-	-	-	Yes	Yes	No

PS map ref	Heritage place	External paint controls apply?	Internal alteration controls apply?	Tree controls apply?	Outbuildings or fences not exempt under Clause 43.01-4	Included on the Victorian Heritage Register under the Heritage Act 2017?	Prohibited uses permitted?	Aboriginal heritage place?
	40 Ferrars Pl, South Melbourne					Ref No H772		
HO122	<i>Former Freemasons Hall</i> 254-256 Ferrars St, South Melbourne	-	-	-	-	Yes Ref No H538	Yes	No
HO336	<i>Emerald Hill Estate Residences</i> 2 Fishley St, South Melbourne	-	-	-	-	Yes Ref No H1727	Yes	No
HO438	<i>Emerald Hill Estate Residences</i> 6 Fishley St, South Melbourne	-	-	-	-	Yes Ref No H1728	Yes	No
HO125	<i>Ornamental Tramway Overhead Poles</i> Fitzroy St, St Kilda	-	-	-	-	Yes Ref No H1023 (see also HO101)	Yes	No

PORT PHILLIP PLANNING SCHEME

PS map ref	Heritage place	External paint controls apply?	Internal alteration controls apply?	Tree controls apply?	Outbuildings or fences not exempt under Clause 43.01-4	Included on the Victorian Heritage Register under the Heritage Act 2017?	Prohibited uses permitted?	Aboriginal heritage place?
HO345	<i>Summerland Mansions</i> 17-27 Fitzroy St, St Kilda	-	-	-	-	Yes Ref No H1808	Yes	No
HO126	<i>Tolarno Hotel</i> 42 Fitzroy St, St Kilda	-	-	-	-	Yes Ref No H2207	Yes	No
HO123	<i>Former St Kilda railway station complex</i> 60 Fitzroy St and 352 Canterbury Rd, St Kilda	-	-	-	-	Yes Ref No H1719	Yes	No
HO366	<i>St Kilda Bowling Club</i> 66 Fitzroy Street, St Kilda	-	-	-	-	Yes Ref No H1913	Yes	No
HO124	<i>Primary School No 2460</i> 70 Fitzroy St, St	-	-	-	-	Yes Ref No H1637	Yes	No

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PS map ref	Heritage place	External paint controls apply?	Internal alteration controls apply?	Tree controls apply?	Outbuildings or fences not exempt under Clause 43.01-4	Included on the Victorian Heritage Register under the Heritage Act 2017?	Prohibited uses permitted?	Aboriginal heritage place?
	Kilda							
HO127	<i>George Hotel</i> 123-127 Fitzroy St and 2-10 Grey St, St Kilda	-	-	-	-	Yes Ref No H706	Yes	No
HO128	<i>Former Wesleyan Methodist Church</i> 167 Fitzroy St, St Kilda	-	-	-	-	Yes Ref No H818	Yes	No
HO129	<i>Ritz Mansions</i> 171 Fitzroy St, St Kilda	Yes	Yes, public foyers and lift only	No	No	No	No	No
HO416	<i>Duplex</i> 22 – 22A Foam St, Elwood	Yes	No	No	No	No	No	No
HO131	<i>House</i> 108 Gladstone St, Southbank	-	-	-	-	Yes Ref No H834	Yes	No

PORT PHILLIP PLANNING SCHEME

PS map ref	Heritage place	External paint controls apply?	Internal alteration controls apply?	Tree controls apply?	Outbuildings or fences not exempt under Clause 43.01-4	Included on the Victorian Heritage Register under the Heritage Act 2017?	Prohibited uses permitted?	Aboriginal heritage place?
HO132	<i>House</i> 110 Gladstone St, Southbank	-	-	-	-	Yes Ref No H835	Yes	No
HO133	<i>House</i> 112 Gladstone St, Southbank	-	-	-	-	Yes Ref No H836	Yes	No
HO134	<i>House</i> 114 Gladstone St, Southbank	-	-	-	-	Yes Ref No H837	Yes	No
HO135	<i>House</i> 116 Gladstone St, Southbank	-	-	-	-	Yes Ref No H838	Yes	No
HO372	<i>Maisonettes, including the courtyard garden and the mature bull-bay magnolia, privet and concrete pond.</i> <i>3 Glen Eira Road, Ripponlea</i>	Yes	No	Yes	No	No	No	No

PS map ref	Heritage place	External paint controls apply?	Internal alteration controls apply?	Tree controls apply?	Outbuildings or fences not exempt under Clause 43.01-4	Included on the Victorian Heritage Register under the Heritage Act 2017?	Prohibited uses permitted?	Aboriginal heritage place?
HO373	House and Glenoira, including the black locust trees at the front and rear western boundary of 12 Glen Eira Road and land beneath the canopy of these trees for a distance of five metres from the canopy edge. 10-12 Glen Eira Road and 3 Victoria Avenue, Ripponlea	Yes	No	Yes	No	No	No	No
HO137	Ripponlea railway station complex 11-13 Glen Eira Rd, Ripponlea	-	-	-	-	Yes Ref No H1588	Yes	No
HO136	Brinsmeads Pharmacy 71-73 Glen Eira Rd, Ripponlea	-	-	-	-	Yes Ref No H725	Yes	No
HO219	St Columbas Church	Yes	Yes	No	No	No	No	No

PORT PHILLIP PLANNING SCHEME

PS map ref	Heritage place	External paint controls apply?	Internal alteration controls apply?	Tree controls apply?	Outbuildings or fences not exempt under Clause 43.01-4	Included on the Victorian Heritage Register under the Heritage Act 2017?	Prohibited uses permitted?	Aboriginal heritage place?
	<i>complex</i> 24 and 26 Glenhuntly Rd and 2 Normandy Rd, Elwood							
HO354	<i>Flats</i> 60-66 Glenhuntly Road, Elwood	Yes	No	No	No	No	No	No
HO138	<i>House</i> 136 Glenhuntly Rd, Elwood	Yes	No	No	No	No	No	No
HO139	<i>Former Gasworks complex with wall</i> Graham St, South Melbourne	Yes	Yes	No	No	No	No	No
HO140	<i>Palmville</i> 240 Graham St, Port Melbourne	Yes	No	No	No	No	No	No

PORT PHILLIP PLANNING SCHEME

PS map ref	Heritage place	External paint controls apply?	Internal alteration controls apply?	Tree controls apply?	Outbuildings or fences not exempt under Clause 43.01-4	Included on the Victorian Heritage Register under the Heritage Act 2017?	Prohibited uses permitted?	Aboriginal heritage place?
HO141	<i>Former shop and house</i> 249 Graham St, Port Melbourne	Yes	No	No	No	No	No	No
HO142	<i>State School</i> 415 Graham St, Port Melbourne	Yes	Yes	Yes	No	No	No	No
HO143	<i>Ripplemere</i> 34 Grey St, St Kilda	-	-	-	-	Yes Ref No H747	Yes	No
HO144	<i>Eildon</i> 51 Grey St, St Kilda	-	-	-	-	Yes Ref No H746	Yes	No
HO145	<i>Residences</i> 77-79 Grey St, St Kilda	-	-	-	-	Yes Ref No H796	Yes	No
HO146	<i>Sacred Heart Church, Hall and</i>	-	-	-	-	Yes Ref No	No	No

PORT PHILLIP PLANNING SCHEME

PS map ref	Heritage place	External paint controls apply?	Internal alteration controls apply?	Tree controls apply?	Outbuildings or fences not exempt under Clause 43.01-4	Included on the Victorian Heritage Register under the Heritage Act 2017?	Prohibited uses permitted?	Aboriginal heritage place?
	<i>Presbytery 83-87 Grey St, St Kilda</i>					H1765		
HO147	<i>Rail over Road Bridges Carlisle Street, Nightingale Street and Grosvenor Street, Balaclava</i>	Yes	No	No	No	No	No	No
HO374	<i>Stone pine (Pinu pinea) in rear garden and land beneath the canopy for a distance of five metres from the canopy edge. 3, 5, 5A and 7 Hammerdale Ave, St Kilda East</i>	No	No	Yes	No	No	No	No
HO375	<i>Hawsleigh Court and central courtyard garden, including two mature Liquidambers</i>	Yes	No	Yes	No	No	No	No

PORT PHILLIP PLANNING SCHEME

PS map ref	Heritage place	External paint controls apply?	Internal alteration controls apply?	Tree controls apply?	Outbuildings or fences not exempt under Clause 43.01-4	Included on the Victorian Heritage Register under the Heritage Act 2017?	Prohibited uses permitted?	Aboriginal heritage place?
	<i>(Liquidambar styraciflua), and silver birch.</i> 2B Hawsleigh Court, Balaclava							
HO417	<i>Hood's Court Flats</i> 2 Hood St, Elwood	Yes	No	No	No	No	No	No
HO418	<i>House</i> 2 and 12 Hotham Gve, Ripponlea Statement of Significance: Arden Woodside Group Listing, 2022	Yes	No	No	No	No	No	No
HO419	<i>Houses</i> 7 – 9 Hotham Gve, Ripponlea	Yes	No	No	No	No	No	No

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HO149	Ulverston House 23 Hotham Gve, Ripponlea	Yes	No	No	No	No	No	No
HO150	<i>Road over Rail Bridge</i>	Yes	Yes	No	No	No	No	No

PORT PHILLIP PLANNING SCHEME

PS map ref	Heritage place	External paint controls apply?	Internal alteration controls apply?	Tree controls apply?	Outbuildings or fences not exempt under Clause 43.01-4	Included on the Victorian Heritage Register under the Heritage Act 2017?	Prohibited uses permitted?	Aboriginal heritage place?
	Hotham Street, Ripponlea							
HO292	<i>House</i> 45 Hotham St, St Kilda East	Yes	No	No	No	No	No	No
HO293	<i>Flats</i> 50 Hotham St, St Kilda East	Yes	No	No	No	No	No	No
HO152	<i>Congregational Church</i> 72 Hotham St, St Kilda East	Yes	No Yes	No	No	No	No	No
HO337	<i>B'nai B'rith House</i> 99 Hotham St, Balaclava	Yes	No	No	No	No	No	No
HO153	<i>Robert Russell House and former Congregational Church Hall</i>	-	-	-	-	Yes Ref No H574	Yes	No

PORT PHILLIP PLANNING SCHEME

PS map ref	Heritage place	External paint controls apply?	Internal alteration controls apply?	Tree controls apply?	Outbuildings or fences not exempt under Clause 43.01-4	Included on the Victorian Heritage Register under the Heritage Act 2017?	Prohibited uses permitted?	Aboriginal heritage place?
	30-33 Howe Cr, South Melbourne							
HO154	<i>Former Congregational Church</i> 34-36 Howe Cr, South Melbourne	-	-	-	-	Yes Ref No H573	Yes	No
HO155	<i>Hazelwood Terrace</i> 46 Howe Cr, South Melbourne	-	-	-	-	Yes Ref No H221	Yes	No
HO156	<i>Hazelwood Terrace</i> 47 Howe Cr, South Melbourne	-	-	-	-	Yes Ref No H222	Yes	No
HO157	<i>Hazelwood Terrace</i> 48 Howe Cr, South Melbourne	-	-	-	-	Yes Ref No H223	Yes	No
HO158	<i>Experimental Concrete Houses</i>	-	-	-	-	Yes Ref No	Yes	No

PORT PHILLIP PLANNING SCHEME

PS map ref	Heritage place	External paint controls apply?	Internal alteration controls apply?	Tree controls apply?	Outbuildings or fences not exempt under Clause 43.01-4	Included on the Victorian Heritage Register under the Heritage Act 2017?	Prohibited uses permitted?	Aboriginal heritage place?
	324-326 Howe Pde, Port Melbourne					H1863		
HO164	<i>Former J. Kitchen and Sons Pty Ltd offices</i> 164 Ingles Street and 14 Woodruff Street, Port Melbourne	Yes	Yes	No	No	No	No	No
HO165	<i>Former Australian Motor Industries Factory</i> 289 Ingles St, Port Melbourne	Yes	No	No	No	No	No	No
HO294	<i>Former St Kilda Council Depot Offices- Destructor Building</i> 33 Inkerman St, St Kilda	Yes	No	No	No	No	No	No
HO159	<i>House</i>	Yes	No	No	No	No	No	No

PORT PHILLIP PLANNING SCHEME

PS map ref	Heritage place	External paint controls apply?	Internal alteration controls apply?	Tree controls apply?	Outbuildings or fences not exempt under Clause 43.01-4	Included on the Victorian Heritage Register under the Heritage Act 2017?	Prohibited uses permitted?	Aboriginal heritage place?
	59 Inkerman St, St Kilda							
HO160	Telephone exchange 62 -78 Inkerman St, St Kilda	Yes	No	No	No	No	No	No
HO161	Shops 77-79 Inkerman St, St Kilda	Yes	No	No	No	No	No	No
HO162	Shops 268-276 Inkerman St, St Kilda	Yes	No	No	No	No	No	No
HO163	House 290 Inkerman St, St Kilda & 71 Hotham Street, St Kilda East	Yes	No	No	No	No	No	No
HO356	Flats 290A Inkerman St, St Kilda East	Yes	No	No	No	No	No	No

PORT PHILLIP PLANNING SCHEME

PS map ref	Heritage place	External paint controls apply?	Internal alteration controls apply?	Tree controls apply?	Outbuildings or fences not exempt under Clause 43.01-4	Included on the Victorian Heritage Register under the Heritage Act 2017?	Prohibited uses permitted?	Aboriginal heritage place?
HO398	<i>Houses</i> 316-320 Inkerman Street, East St Kilda	Yes	No	No	No	No	No	No
HO168	<i>St Kilda Seabaths</i> Jacka Boulevard, St Kilda	Yes	Yes	No	No	No	No	No
HO169	<i>Catani arch</i> Jacka Boulevard, St. Kilda	Yes	No	No	No	No	No	No
HO170	<i>Obelisks</i> Jacka Boulevard, St. Kilda	Yes	No	No	No	No	No	No
HO172	<i>Dressing Pavilion</i> 40 Jacka Boulevard, St. Kilda	Yes	Yes	No	No	No	No	No
HO173	<i>Wattle House</i> 53 Jackson St, St Kilda	-	-	-	-	Yes Ref No H632	Yes	No

PORT PHILLIP PLANNING SCHEME

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HO420	<i>Houses</i> 24 – 30 John St, Elwood	Yes	No	No	No	No	No	No
HO342	<i>Terrace</i> 27-35 Kerferd Rd, Albert Park	-	-	-	-	Yes Ref no H1831	Yes	No
HO176	<i>MacRobertson Girls High School</i> 350-370 Kings Way, Melbourne	-	-	-	-	Yes Ref No H1641	Yes	No
HO177	<i>Houses</i> 328 Kings Way, South Melbourne	Yes	No	No	No	No	No	No
HO175	<i>Kingsley Court</i> 4-6 Kingsley St, Elwood	Yes	No	No	No	No	No	No
HO421	<i>Cromer Court</i> 22 – 24 Kingsley St,	Yes	No	No	No	No	No	No

PORT PHILLIP PLANNING SCHEME

PS map ref	Heritage place	External paint controls apply?	Internal alteration controls apply?	Tree controls apply?	Outbuildings or fences not exempt under Clause 43.01-4	Included on the Victorian Heritage Register under the Heritage Act 2017?	Prohibited uses permitted?	Aboriginal heritage place?
	Elwood							
HO295	<i>House</i> 40 Kingsley St, Elwood	Yes	No	No	No	No	No	No
HO178	<i>McAdam House</i> Lakeside Drive, Albert Park	Yes	Yes	No	No	No	No	No
HO296	<i>House</i> 40 Lansdowne Rd, St Kilda East	Yes	No	No	No	No	No	No
HO182	<i>Former Fire Station</i> 147 Liardet St, Port Melbourne	Yes	No	No	No	No	No	No
HO422	<i>House</i> 19 Lindsay Ave, Elwood	Yes	No	No	No	No	No	No
HO226	<i>St Kilda Pavilion</i>	-	-	-	-	Yes	Yes	No

PORT PHILLIP PLANNING SCHEME

PS map ref	Heritage place	External paint controls apply?	Internal alteration controls apply?	Tree controls apply?	Outbuildings or fences not exempt under Clause 43.01-4	Included on the Victorian Heritage Register under the Heritage Act 2017?	Prohibited uses permitted?	Aboriginal heritage place?
	Off Lower Esplanade, St Kilda					Ref No 1533		
HO184	<i>Palais Theatre</i> 14 Lower Esplanade, St Kilda	-	-	-	-	Yes Ref No H947	Yes	No
HO186	<i>Tintara</i> 20 Lyndon St, Ripponlea	-	-	-	-	Yes Ref No H842	Yes	No
HO187	<i>Beacon</i> Marine Pde, Elwood	Yes	No	No	No	No	No	No
HO298	<i>Houses</i> 1-2 Marine Pde, Elwood	Yes	No	No	No	No	No	No
HO299	<i>House</i> 19 Marine Parade	Yes	No	No	No	No	No	No
HO300	<i>House</i>	Yes	No	No	No	No	No	No

PORT PHILLIP PLANNING SCHEME

PS map ref	Heritage place	External paint controls apply?	Internal alteration controls apply?	Tree controls apply?	Outbuildings or fences not exempt under Clause 43.01-4	Included on the Victorian Heritage Register under the Heritage Act 2017?	Prohibited uses permitted?	Aboriginal heritage place?
	29 Marine Parade, Elwood							
HO188	<i>House</i> 32 Marine Pde, St Kilda	Yes	No	No	No	No	No	No
HO423	<i>Garden Court Flats</i> 73 Marine Pde, Elwood	Yes	No	No	No	No	No	No
HO301	<i>Flats</i> 77 Marine Parade, Elwood	Yes	No	No	No	No	No	No
HO365	<i>Flats</i> 4 & 4A Meredith St, Elwood	Yes	No	No	No	No	No	No
HO191	<i>Hartpury</i> 9 Milton St, Elwood	Yes	Yes	No	No	No	No	No
HO190	<i>Hartpury Court</i>	-	-	-	-	Yes	Yes	No

PORT PHILLIP PLANNING SCHEME

PS map ref	Heritage place	External paint controls apply?	Internal alteration controls apply?	Tree controls apply?	Outbuildings or fences not exempt under Clause 43.01-4	Included on the Victorian Heritage Register under the Heritage Act 2017?	Prohibited uses permitted?	Aboriginal heritage place?
	complex 9-11 Milton St, Elwood					Ref No H767		
HO192	Biram apartments 15 Mitford St, Elwood	Yes	No	No	No	No	No	No
HO368	Residence House and Air Raid Shelter 23 Mitford St, St Kilda	-	-	-	-	Yes Ref No H616	Yes	No
HO376	Poots Corner, including Bhutan cypress and two Italian cypress. 38 Mitford St, Elwood	Yes	No	Yes	No	No	No	No
HO194	Houses 86-88 Mitford St, Elwood	Yes	No	No	No	No	No	No

PORT PHILLIP PLANNING SCHEME

PS map ref	Heritage place	External paint controls apply?	Internal alteration controls apply?	Tree controls apply?	Outbuildings or fences not exempt under Clause 43.01-4	Included on the Victorian Heritage Register under the Heritage Act 2017?	Prohibited uses permitted?	Aboriginal heritage place?
HO195	<i>House</i> 96 Mitford St, Elwood	Yes	No	No	No	No	No	No
HO196	<i>Rail overbridge</i> Montague St, South Melbourne	Yes	No	No	No	No	No	No
HO218	<i>Former Dunlop Pneumatic Tyre Co. mill</i> 66 Montague Street, South Melbourne (see also 223-229 Normanby Rd, South Melbourne)	Yes	No	No	No	No	No	No
HO197	<i>Residence</i> 83 Montague St, Southbank	-	-	-	-	Yes Ref No H830	Yes	No
HO198	<i>Residence</i> 85 Montague St, Southbank	-	-	-	-	Yes Ref No H831	Yes	No

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PS map ref	Heritage place	External paint controls apply?	Internal alteration controls apply?	Tree controls apply?	Outbuildings or fences not exempt under Clause 43.01-4	Included on the Victorian Heritage Register under the Heritage Act 2017?	Prohibited uses permitted?	Aboriginal heritage place?
HO199	<i>Residence</i> 87 Montague St, Southbank	-	-	-	-	Yes Ref No H832	Yes	No
HO200	<i>Residence</i> 89 Montague St, Southbank	-	-	-	-	Yes Ref No H833	Yes	No
HO201	<i>State School</i> 90 Montague St, South Melbourne	Yes	Yes	No	No	No	No	No
HO202	<i>Golden Fleece Hotel</i> 120 Montague St, South Melbourne	Yes	No	No	No	No	No	No
HO203	<i>Former Talbot Inn</i> 144 Montague St, South Melbourne	Yes	No	No	No	No	No	No
HO272	<i>Former residence and shop</i> 146 Montague St,	Yes	No	No	No	No	No	No

PORT PHILLIP PLANNING SCHEME

PS map ref	Heritage place	External paint controls apply?	Internal alteration controls apply?	Tree controls apply?	Outbuildings or fences not exempt under Clause 43.01-4	Included on the Victorian Heritage Register under the Heritage Act 2017?	Prohibited uses permitted?	Aboriginal heritage place?
	South Melbourne							
HO204	<i>St Peter and Paul Church and school complex</i> 217 Montague St, South Melbourne	Yes	Yes	No	No	No	No	No
HO302	<i>Flats</i> 8 Mooltan Ave, East St Kilda	Yes	No	No	No	No	No	No
HO205	<i>Maori Chief Hotel</i> 117-119 Moray St, South Melbourne	Yes	No	No	No	No	No	No
HO206	<i>Former Freer's Family Hotel</i> 147 Moray St, South Melbourne	Yes	No	No	No	No	No	No
HO207	<i>Temperance House</i> 175 Moray St, South	Yes	No	No	No	No	No	No

PORT PHILLIP PLANNING SCHEME

PS map ref	Heritage place	External paint controls apply?	Internal alteration controls apply?	Tree controls apply?	Outbuildings or fences not exempt under Clause 43.01-4	Included on the Victorian Heritage Register under the Heritage Act 2017?	Prohibited uses permitted?	Aboriginal heritage place?
	Melbourne							
HO208	<i>House</i> 347 Moray St, South Melbourne	Yes	Yes	No	No	No	No	No
HO209	<i>Park House</i> 352 Moray St, South Melbourne	-	-	-	-	Yes Ref No H224	Yes	No
HO210	<i>House</i> 1 Morris St, South Melbourne	Yes	Yes	No	No	No	No	No
HO377	<i>WA Flowering Gum at 27 Murchison Street and land beneath the canopy for a distance of five metres from the canopy edge.</i> 27 Murchison Street, East St Kilda	No	No	Yes	No	No	No	No

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PS map ref	Heritage place	External paint controls apply?	Internal alteration controls apply?	Tree controls apply?	Outbuildings or fences not exempt under Clause 43.01-4	Included on the Victorian Heritage Register under the Heritage Act 2017?	Prohibited uses permitted?	Aboriginal heritage place?
HO211	<i>House</i> 88 Napier St, South Melbourne	Yes	Yes	No	No	No	No	No
HO212	<i>Former St Vincent de Pauls Girls Orphanage</i> 179-197 Napier St, South Melbourne	-	-	-	-	Yes Ref No H1531	Yes	No
HO213	<i>Former Temperance Hall</i> 199-207 Napier St, South Melbourne	Yes	Yes	No	No	No	No	No
HO214	<i>Kindergarten, including Pepper tree at rear of property.</i> 23 Nelson St, St. Kilda East	Yes	No	Yes	No	No	No	No
HO216	<i>House</i> 8 Nightingale St,	Yes	No	No	No	No	No	No

PORT PHILLIP PLANNING SCHEME

PS map ref	Heritage place	External paint controls apply?	Internal alteration controls apply?	Tree controls apply?	Outbuildings or fences not exempt under Clause 43.01-4	Included on the Victorian Heritage Register under the Heritage Act 2017?	Prohibited uses permitted?	Aboriginal heritage place?
	Balaclava							
HO217	<i>Former Laycock Son and Co. woollen mills</i> 179-185 Normanby Rd, South Melbourne	Yes	No	No	No	No	No	No
HO218	<i>Former Dunlop Pneumatic Tyre Co. mill</i> 223-229 Normanby Rd, South Melbourne (see also 66 Montague Street, South Melbourne)	Yes	No	No	No	No	No	No
HO338	<i>Jubilee Terrace</i> 118-130 Nott St, Port Melbourne	-	-	-	-	Yes Ref No H1829	Yes	No
HO339	<i>Queens Terrace</i>	-	-	-	-	Yes	Yes	No

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PS map ref	Heritage place	External paint controls apply?	Internal alteration controls apply?	Tree controls apply?	Outbuildings or fences not exempt under Clause 43.01-4	Included on the Victorian Heritage Register under the Heritage Act 2017?	Prohibited uses permitted?	Aboriginal heritage place?
	132-144 Nott St, Port Melbourne					Ref No H1830		
HO358	Clyde Cottage. Spring Cottage & Kilby Cottage Houses 14-18 Octavia Street, St Kilda	Yes	No	No	No	No	No	No
HO353	<i>Flats</i> 46 Ormond Esplanade, Elwood	Yes	No	No	No	No	No	No
HO424	<i>Flats</i> 51 Ormond Esplanade, Elwood	Yes	No	No	No	No	No	No
HO425	<i>House</i> 123 Ormond Esplanade, Elwood	Yes	No	No	No	No	No	No
HO426	<i>Beach Kiosk</i> Ormond Esplanade, Elwood Foreshore	Yes	No	No	No	No	No	No

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PS map ref	Heritage place	External paint controls apply?	Internal alteration controls apply?	Tree controls apply?	Outbuildings or fences not exempt under Clause 43.01-4	Included on the Victorian Heritage Register under the Heritage Act 2017?	Prohibited uses permitted?	Aboriginal heritage place?
HO427	<i>Community Centre & Cafe</i> Ormond Esplanade, Elwood Foreshore	Yes	No	No	No	No	No	No
HO428	<i>Surf Lifesaving Club</i> Ormond Esplanade, Elwood Foreshore	Yes	No	No	No	No	No	No
HO220	<i>Surrey Court</i> 71 Ormond Rd, Elwood	Yes	No	No	No	No	No	No
HO303	<i>House</i> 77 Ormond Rd, Elwood	Yes	No	No	No	No	No	No
HO221	<i>Former Chemist shop</i> 90 Ormond Rd, Elwood	-	-	-	-	Yes Ref No H782	Yes	No
HO222	<i>Avalon</i>	Yes	No	No	No	No	No	No

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PS map ref	Heritage place	External paint controls apply?	Internal alteration controls apply?	Tree controls apply?	Outbuildings or fences not exempt under Clause 43.01-4	Included on the Victorian Heritage Register under the Heritage Act 2017?	Prohibited uses permitted?	Aboriginal heritage place?
	285 Orrong Rd, St. Kilda East							
HO223	<i>House</i> 311 Orrong Rd, St Kilda East	Yes	No	No	No	No	No	No
HO224	Former Church of Christ United Free Methodist Church (former) 96 Pakington St, St. Kilda	Yes	No	No	No	No	No	No
HO304	<i>Shops & Residence</i> 116 Park St, South Melbourne	Yes	No	No	No	No	No	No
HO225	<i>Royal Melbourne Yacht Squadron</i> Pier Rd, St. Kilda	Yes	No	No	No	No	No	No
HO458	<i>Abercrombie House</i> 8 Patterson Place, South Melbourne	-	-	-	-	Yes Ref No H404	Yes	No

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PS map ref	Heritage place	External paint controls apply?	Internal alteration controls apply?	Tree controls apply?	Outbuildings or fences not exempt under Clause 43.01-4	Included on the Victorian Heritage Register under the Heritage Act 2017?	Prohibited uses permitted?	Aboriginal heritage place?
HO429	<i>Flats</i> 33 Pine Ave, Elwood	Yes	No	No	No	No	No	No
HO227	<i>Point Ormond and Surrounding Landscape</i> Point Ormond Rd, Elwood	No	No	Yes	No	No	No	Yes
HO228	<i>House</i> 4 Pozieres Ave, St. Kilda	Yes	No	No	No	No	No	No
HO229	<i>Residence, also known as Berkeley Hall</i> 11 Princes St, St Kilda	-	-	-	-	Yes Ref No H491	Yes	No
HO230	<i>House</i> 24 Princes St, St Kilda	Yes	Yes	No	No	No	No	No

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PS map ref	Heritage place	External paint controls apply?	Internal alteration controls apply?	Tree controls apply?	Outbuildings or fences not exempt under Clause 43.01-4	Included on the Victorian Heritage Register under the Heritage Act 2017?	Prohibited uses permitted?	Aboriginal heritage place?
HO231	<i>Vacunce</i> 112 Princes St, Port Melbourne	Yes	No	No	No	No	No	No
HO232	<i>Former shop and residence</i> 14-16 Punt Rd, St Kilda	Yes	No	No	No	No	No	No
HO463	<i>St Kilda Cricket Ground</i> Queens Road and Fitzroy Street and Lakeside Drive, St Kilda	-	-	-	-	Yes Ref No H2234	Yes	No
HO233	<i>Netherby</i> 8 Queens Rd, Melbourne	Yes	No	No	No	No	No	No
HO330	<i>Clive Fairbairn Pavillion</i> 494-498 & 500-520 St Kilda Road,	Yes	No	No	No	No	No	No

PORT PHILLIP PLANNING SCHEME

PS map ref	Heritage place	External paint controls apply?	Internal alteration controls apply?	Tree controls apply?	Outbuildings or fences not exempt under Clause 43.01-4	Included on the Victorian Heritage Register under the Heritage Act 2017?	Prohibited uses permitted?	Aboriginal heritage place?
	Melbourne							
HO321	<i>Lancaster House</i> 18 Queens Rd, Melbourne	Yes	No	No	No	No	No	No
HO234	<i>Former Bendigonia</i> 25 Queens Rd, Melbourne	-	-	-	-	Yes Ref No H909	Yes	No
HO235	<i>Newburn flats</i> 30 Queens Rd, Melbourne	-	-	-	-	Yes Ref No H578	Yes	No
HO335	<i>Former Brookwood Flats</i> 32 Queens Rd, Melbourne	Yes	No	No	No	No	No	No
HO346	<i>Stanhill</i> <i>The heritage place includes Residential</i>	-	-	-	-	Yes Ref No H1875	No	No

PORT PHILLIP PLANNING SCHEME

PS map ref	Heritage place	External paint controls apply?	Internal alteration controls apply?	Tree controls apply?	Outbuildings or fences not exempt under Clause 43.01-4	Included on the Victorian Heritage Register under the Heritage Act 2017?	Prohibited uses permitted?	Aboriginal heritage place?
	<i>apartment building</i> 33-34 Queens Rd, Melbourne							
HO322	<i>Formerly Lanark</i> 55 Queens Rd, Melbourne	Yes	No	No	No	No	No	No
HO323	<i>Former John Bateman Motor Inn</i> 69 Queens Rd, Melbourne	Yes	No	No	No	No	No	No
HO324	<i>Avalon</i> 70 Queens Rd, Melbourne	Yes	No	No	No	No	No	No
HO325	<i>Myer House (former)</i> 72 Queens Rd, Melbourne	Yes	No	No	No	No	No	No
HO326	<i>Former Queenslodge Motor</i>	Yes	No	No	No	No	No	No

PORT PHILLIP PLANNING SCHEME

PS map ref	Heritage place	External paint controls apply?	Internal alteration controls apply?	Tree controls apply?	Outbuildings or fences not exempt under Clause 43.01-4	Included on the Victorian Heritage Register under the Heritage Act 2017?	Prohibited uses permitted?	Aboriginal heritage place?
	<i>Inn</i> 81 Queens Rd, Melbourne							
HO328	<i>The Mansion</i> 83 Queens Rd, Melbourne	Yes	No	No	No	No	No	No
HO236	<i>Chinese Temple</i> 76 Raglan St, South Melbourne	-	-	-	-	Yes Ref No H219	Yes	No
HO237	<i>House</i> 115 Raglan St, South Melbourne	Yes	Yes	No	No	No	No	No
HO238	<i>Our Lady of Mt Carmel complex</i> Richardson St, Middle Park	Yes	Yes	No	No	No	No	No
HO239	<i>Middle Park Primary School No 2815</i>	-	-	-	-	Yes Ref No	Yes	No

PORT PHILLIP PLANNING SCHEME

PS map ref	Heritage place	External paint controls apply?	Internal alteration controls apply?	Tree controls apply?	Outbuildings or fences not exempt under Clause 43.01-4	Included on the Victorian Heritage Register under the Heritage Act 2017?	Prohibited uses permitted?	Aboriginal heritage place?
	194 Richardson Street (part), Middle Park					H1711		
HO240	<i>House</i> 21 Ross St, Port Melbourne	Yes`	No	No	No	No	No	No
HO241	<i>Denmark Villa</i> 123 Ross St, Port Melbourne	Yes	No	No	No	No	No	No
HO242	<i>The Presbytery</i> 127 Ross St, Port Melbourne	Yes	No	No	No	No	No	No
HO305	<i>Shop</i> 207 Ross St, Port Melbourne	Yes	No	No	No	No	No	No
HO243	<i>St Joseph's Mission complex</i> 268-274 Rouse St,	Yes	Yes	No	No	No	No	No

PORT PHILLIP PLANNING SCHEME

PS map ref	Heritage place	External paint controls apply?	Internal alteration controls apply?	Tree controls apply?	Outbuildings or fences not exempt under Clause 43.01-4	Included on the Victorian Heritage Register under the Heritage Act 2017?	Prohibited uses permitted?	Aboriginal heritage place?
	and 93-95 Stokes St, Port Melbourne							
HO306	<i>House</i> 41 Ruskin St, Elwood	Yes	No	No	No	No	No	No
HO246	<i>Gunnarsens Pty. Ltd.</i> 112 Salmon St, Port Melbourne	Yes	No	No	No	No	No	No
HO488	<i>St Kilda Road</i> Melbourne and <i>Tram shelter</i> St Kilda Rd and Lorne St Melbourne and <i>Tram shelter</i> St Kilda Rd and Dorcas St, Melbourne	-	-	-	-	Yes Ref No H2359 and Yes Ref No H1867 and Yes Ref No H1869	No	No

PORT PHILLIP PLANNING SCHEME

PS map ref	Heritage place	External paint controls apply?	Internal alteration controls apply?	Tree controls apply?	Outbuildings or fences not exempt under Clause 43.01-4	Included on the Victorian Heritage Register under the Heritage Act 2017?	Prohibited uses permitted?	Aboriginal heritage place?
HO248	<i>Shops</i> 170-172 St Kilda Rd, St Kilda	Yes	No	No	No	No	No	No
HO249	<i>Shop</i> 228 St Kilda Rd, St Kilda	Yes	No	No	No	No	No	No
HO250	<i>Linton</i> 238 St. Kilda Rd, St. Kilda	Yes	No	No	No	No	No	No
HO251	<i>Post Office</i> 306A St Kilda Rd, St Kilda	Yes	Yes	No	No	No	No	No
HO252	<i>First Church of Christian Scientist, Melbourne</i> 336-340 St Kilda Rd, Melbourne	-	-	-	-	Yes Ref No H1766	Yes	No
HO253	<i>Airlie</i>	-	-	-	-	Yes	Yes	No

PORT PHILLIP PLANNING SCHEME

PS map ref	Heritage place	External paint controls apply?	Internal alteration controls apply?	Tree controls apply?	Outbuildings or fences not exempt under Clause 43.01-4	Included on the Victorian Heritage Register under the Heritage Act 2017?	Prohibited uses permitted?	Aboriginal heritage place?
	452 St Kilda Rd, Melbourne					Ref No H722		
HO254	<i>Rathgael – The Willows</i> 462 St Kilda Rd, Melbourne	-	-	-	-	Yes Ref No H96	Yes	No
HO307	<i>Offices</i> 464 St Kilda Rd, Melbourne	Yes	No	No	No	No	No	No
HO329	<i>Charsfield</i> 478 St Kilda Rd, Melbourne	Yes	No	No	No	No	No	No
HO331	<i>Landene</i> 490 St Kilda Rd, Melbourne	Yes	No	No	No	No	No	No
HO332	<i>Warwilla</i> 572 St Kilda Rd, Melbourne	Yes	No	No	No	No	No	No

PORT PHILLIP PLANNING SCHEME

PS map ref	Heritage place	External paint controls apply?	Internal alteration controls apply?	Tree controls apply?	Outbuildings or fences not exempt under Clause 43.01-4	Included on the Victorian Heritage Register under the Heritage Act 2017?	Prohibited uses permitted?	Aboriginal heritage place?
HO255	<i>Gas Valve House (Former)</i> 615 St Kilda Rd, Melbourne	-	-	-	-	Yes Ref No H675	Yes	No
HO333	<i>Flats</i> 628 St Kilda Rd, Melbourne	Yes	No	No	No	No	No	No
HO256	<i>Ulimaroa</i> 630 St Kilda Rd, Melbourne	-	-	-	-	Yes Ref No H658	Yes	No
HO257	<i>Luzmore Terrace</i> 645-649 St Kilda Rd, Melbourne	Yes	No	No	No	No	No	No
HO461	<i>St Kilda Street Bridge</i> St Kilda St, Elwood	-	-	-	-	Yes Ref No H2080	No	No
HO435	<i>Park Court Flat</i> 473 St Kilda St,	Yes	No	No	No	No	No	No

PORT PHILLIP PLANNING SCHEME

PS map ref	Heritage place	External paint controls apply?	Internal alteration controls apply?	Tree controls apply?	Outbuildings or fences not exempt under Clause 43.01-4	Included on the Victorian Heritage Register under the Heritage Act 2017?	Prohibited uses permitted?	Aboriginal heritage place?
	Elwood							
HO340	<i>Rochester Terrace</i> 33-51 St Vincent Place South, Albert Park	-	-	-	-	Yes Ref No H813 and Yes Ref No H1291	Yes	No
HO259	<i>House</i> 20 Scott St, Elwood	Yes	No	No	No	No	No	No
HO431	<i>Scots Church</i> 31a Scott St, Elwood	Yes	No	No	No	No	No	No
HO432	<i>Elwood Children's Centre</i> 31a Scott St, Elwood	Yes	No	No	No	No	No	No
HO260	<i>Elwood Central School No. 3942</i> 49 Scott Street and	Yes	No	No	No	No	No	No

PORT PHILLIP PLANNING SCHEME

PS map ref	Heritage place	External paint controls apply?	Internal alteration controls apply?	Tree controls apply?	Outbuildings or fences not exempt under Clause 43.01-4	Included on the Victorian Heritage Register under the Heritage Act 2017?	Prohibited uses permitted?	Aboriginal heritage place?
	161 Mitford Street (part), Elwood							
HO399	<i>Shirley Court</i> 20 Shirley Grove, East St Kilda	Yes	No	No	No	No	No	No
HO400	<i>House, including iron gateway</i> 22 Shirley Grove, East St Kilda	Yes	No	Yes - Canary Island (2) date palm (<i>Phoenix canariensis</i>)	No	No	No	No
HO433	<i>House</i> 54 Southey St, Elwood	Yes	No	No	No	No	No	No
HO261	<i>Elenora</i> 51 Spenser St, St. Kilda	Yes	No	No	No	No	No	No
HO262	<i>Los Angeles Court flats</i> 81A Spenser St, St	Yes	No	No	No	No	No	No

PORT PHILLIP PLANNING SCHEME

PS map ref	Heritage place	External paint controls apply?	Internal alteration controls apply?	Tree controls apply?	Outbuildings or fences not exempt under Clause 43.01-4	Included on the Victorian Heritage Register under the Heritage Act 2017?	Prohibited uses permitted?	Aboriginal heritage place?
	Kilda							
HO352	<i>House</i> 2A Spray Street, Elwood	Yes	No	No	No	No	No	No
HO434	<i>House</i> 54 & 56 Spray St, Elwood	Yes	No	No	No	No	No	No
HO244	<i>Former Swallow & Ariell Biscuit Factory</i> 1 Stokes St and 241-265 Rouse St and 40-44 Princes St and 29-53 Stokes St and 2-14 Capistrano Pl and 2- 10 Murtons Way, Port Melbourne	-	-	-	-	Yes Ref No H567	Yes	No
HO263	<i>Former Masonic Hall</i> 18 Stokes St, Port Melbourne	Yes	No	No	No	No	No	No

PORT PHILLIP PLANNING SCHEME

PS map ref	Heritage place	External paint controls apply?	Internal alteration controls apply?	Tree controls apply?	Outbuildings or fences not exempt under Clause 43.01-4	Included on the Victorian Heritage Register under the Heritage Act 2017?	Prohibited uses permitted?	Aboriginal heritage place?
HO264	<i>Laywell Terrace</i> 20-24 Stokes St, Port Melbourne	Yes	No	No	No	No	No	No
HO497	<i>Edith</i> 26 Stokes Street, Port Melbourne	Yes	No	No	No	No	No	No
HO265	<i>Former Swallow and Ariell offices</i> 60 Stokes St, Port Melbourne	Yes	No	No	No	No	No	No
HO308	<i>Thelma</i> 106 Stokes St, Port Melbourne	Yes	No	No	No	No	No	No
HO309	<i>Carmel</i> 108 Stokes St, Port Melbourne	Yes	No	No	No	No	No	No
HO266	<i>Former St. Osyth Hotel</i>	Yes	Yes	No	No	No	No	No

PORT PHILLIP PLANNING SCHEME

PS map ref	Heritage place	External paint controls apply?	Internal alteration controls apply?	Tree controls apply?	Outbuildings or fences not exempt under Clause 43.01-4	Included on the Victorian Heritage Register under the Heritage Act 2017?	Prohibited uses permitted?	Aboriginal heritage place?
	135 Stokes St, Port Melbourne							
HO267	<i>Woodlands</i> 168 Stokes St, Port Melbourne	Yes	No	No	No	No	No	No
HO310	<i>House</i> 169 Stokes St, Port Melbourne	Yes	No	No	No	No	No	No
HO268	<i>Former shop and residence</i> 175 Stokes St, Port Melbourne	-	-	-	-	Yes Ref No H1789	No	No
HO269	<i>Bundalohn</i> 6 Tennyson St, St Kilda	Yes	Yes	No	No	No	No	No
HO436	<i>Flats</i> 63 - 69 Tennyson St, St Kilda	Yes	Yes	No	No	No	No	No

PORT PHILLIP PLANNING SCHEME

PS map ref	Heritage place	External paint controls apply?	Internal alteration controls apply?	Tree controls apply?	Outbuildings or fences not exempt under Clause 43.01-4	Included on the Victorian Heritage Register under the Heritage Act 2017?	Prohibited uses permitted?	Aboriginal heritage place?
HO270	<i>Glanfell</i> 87 Tennyson St, Elwood	Yes	No	No	No	No	No	No
HO437	<i>Flats</i> 104 - 108 Tennyson St, St Kilda	Yes	Yes	No	No	No	No	No
HO271	<i>House</i> 109 Tennyson St, Elwood	Yes	No	No	No	No	No	No
HO117	<i>The Esplanade Hotel</i> 11 The Esplanade, St Kilda	Yes	Yes	No	No	No	No	No
HO118	<i>Belvedere</i> 22 The Esplanade, St Kilda	-	-	-	-	Yes Ref No H812	Yes	No
HO272	<i>Factory</i> 79 Thistlethwaite St,	Yes	No	No	No	No	No	No

PORT PHILLIP PLANNING SCHEME

PS map ref	Heritage place	External paint controls apply?	Internal alteration controls apply?	Tree controls apply?	Outbuildings or fences not exempt under Clause 43.01-4	Included on the Victorian Heritage Register under the Heritage Act 2017?	Prohibited uses permitted?	Aboriginal heritage place?
	South Melbourne							
HO273	<i>House</i> 28 Vale St, St Kilda	Yes	No	No	No	No	No	No
HO274	<i>House</i> 30/30A Vautier St, Elwood	Yes	Yes	No	No	No	No	No
HO61	<i>Primary School No 1181 (and former Wesleyan Methodist Church)</i> 2-38 Victoria Avenue, Albert Park	-	-	-	-	Yes Ref No H1629	Yes	No
HO275	<i>Mona</i> 12 Waterloo Cr, St Kilda	Yes	No	No	No	No	No	No
HO276	<i>Residence</i> 34 Waterloo Cr, St Kilda	-	-	-	-	Yes Ref No H780	Yes	No

PORT PHILLIP PLANNING SCHEME

PS map ref	Heritage place	External paint controls apply?	Internal alteration controls apply?	Tree controls apply?	Outbuildings or fences not exempt under Clause 43.01-4	Included on the Victorian Heritage Register under the Heritage Act 2017?	Prohibited uses permitted?	Aboriginal heritage place?
HO363	<i>Flats</i> 22 Wellington Street, St Kilda	Yes	No	No	No	No	No	No
HO364	<i>House</i> 67 Wellington Street, St Kilda	Yes	No	No	No	No	No	No
HO359	<i>House</i> 99 Wellington Street, St Kilda	Yes	No	No	No	No	No	No
HO360	<i>Former Tramway Engine House</i> 105 Wellington Street, St Kilda	Yes	No	No	No	No	No	No
HO277	<i>House</i> 48 Westbury St, St. Kilda East	Yes	No	No	No	No	No	No
HO278	<u>Talana Frenchay</u> 89 Westbury St, St	Yes	No	No	No	No	No	No

PORT PHILLIP PLANNING SCHEME

PS map ref	Heritage place	External paint controls apply?	Internal alteration controls apply?	Tree controls apply?	Outbuildings or fences not exempt under Clause 43.01-4	Included on the Victorian Heritage Register under the Heritage Act 2017?	Prohibited uses permitted?	Aboriginal heritage place?
	Kilda East							
HO279	<i>Flats</i> 54-56 Wilgah St, St. Kilda East	Yes	No	No	No	No	No	No
HO282	<i>Former BALM Paints offices</i> 2 Salmon Street, Port Melbourne	Yes	No	No	No	No	No	No
HO280	<i>Fire Station complex</i> 425 Williamstown Rd, Port Melbourne	Yes	No	No	No	No	No	No
HO281	<i>Former Disco Manufacturing corporation P.L factory</i> 477 Williamstown Rd, Port Melbourne	Yes	No	No	No	No	No	No
HO283	<i>Petrol filling station complex</i>	Yes	No	No	No	No	No	No

PORT PHILLIP PLANNING SCHEME

PS map ref	Heritage place	External paint controls apply?	Internal alteration controls apply?	Tree controls apply?	Outbuildings or fences not exempt under Clause 43.01-4	Included on the Victorian Heritage Register under the Heritage Act 2017?	Prohibited uses permitted?	Aboriginal heritage place?
	north-west cnr, Williamstown Rd and Salmon St, Port Melbourne							
HO284	<i>House</i> 33 Wordsworth St, St. Kilda	Yes	No	No	No	No	No	No
HO401	<i>House</i> 34 Young Street, East St Kilda	Yes	No	No	No	No	No	No
HO311	<i>Former Albion Hotel</i> 172 York St, South Melbourne	Yes	No	No	No	No	No	No
HO447	<i>Port Melbourne Cricket Ground</i> 525 Williamstown Road, Port Melbourne	Yes	No	No	No	No	No	No
HO448	<i>Edwards Park</i>	No	No	Yes	No	No	No	No

PORT PHILLIP PLANNING SCHEME

PS map ref	Heritage place	External paint controls apply?	Internal alteration controls apply?	Tree controls apply?	Outbuildings or fences not exempt under Clause 43.01-4	Included on the Victorian Heritage Register under the Heritage Act 2017?	Prohibited uses permitted?	Aboriginal heritage place?
	219 Esplanade East, Port Melbourne							
HO470	<i>Substation</i> 98 Johnson Street (corner of Johnson and Munro Streets)	Yes	No	No	No	No	No	No
HO471	<i>Horse Trough</i> Ingles Street, near intersection of Ingles Street and Williamstown Road	Yes	No	No	No	No	No	No
HO472	<i>Former Commonwealth WWII Facility and Rootes Factory</i> 19 Salmon Street, Port Melbourne	Yes	Yes – tower component only	No	No	No	No	No
HO449	<i>Former WJ Carr Warehouse</i> 95 Bay Street, Port Melbourne	Yes	No	No	No	No	No	No

PORT PHILLIP PLANNING SCHEME

PS map ref	Heritage place	External paint controls apply?	Internal alteration controls apply?	Tree controls apply?	Outbuildings or fences not exempt under Clause 43.01-4	Included on the Victorian Heritage Register under the Heritage Act 2017?	Prohibited uses permitted?	Aboriginal heritage place?
HO451	<i>Exchange Hotel</i> 39 Bay Street, Port Melbourne	Yes	No	No	No	No	No	No
HO456	<i>Former Australasian Sugar Refining Company complex</i> Land bounded by Beach, Rouse, Dow Streets and Esplanade West except the north western corner	Yes (10 Beach Street only)	No	No	No	No	No	No
HO457	<i>Former Army and Navy Hotel, 95 Dow Street</i> Part 100-128 Bay Street, Port Melbourne - fronting Dow Street	Yes	No	No	No	No	No	No
HO459	<i>Four shops</i> 79-85 Bay Street, Port Melbourne	Yes	No	No	No	No	No	No

PORT PHILLIP PLANNING SCHEME

PS map ref	Heritage place	External paint controls apply?	Internal alteration controls apply?	Tree controls apply?	Outbuildings or fences not exempt under Clause 43.01-4	Included on the Victorian Heritage Register under the Heritage Act 2017?	Prohibited uses permitted?	Aboriginal heritage place?
HO462	<i>Pier Hotel</i> 1 Bay Street, Port Melbourne	Yes	No	No	No	No	No	No
HO464	<i>Former Mission to Seamen</i> 49 Beach Street, Port Melbourne	Yes	No	No	No	No	No	No
HO485	<i>Local Hotel</i> 22 Bay Street, Port Melbourne	Yes	No	No	No	No	No	No
HO486	<i>Shop</i> Part 100-128 Bay Street, Port Melbourne	Yes	No	No	No	No	No	No
HO487	<i>Three houses</i> 183-187 Rouse Street, Port Melbourne	Yes	No	No	No	No	No	No

PORT PHILLIP PLANNING SCHEME

PS map ref	Heritage place	External paint controls apply?	Internal alteration controls apply?	Tree controls apply?	Outbuildings or fences not exempt under Clause 43.01-4	Included on the Victorian Heritage Register under the Heritage Act 2017?	Prohibited uses permitted?	Aboriginal heritage place?
HO488	<i>Tecoma Court</i> 16-20a Wellington Street, St Kilda	Yes	No	No	No	No	No	No
HO489	<i>Earls Court</i> 44 Wellington Street, St Kilda	Yes	No	No	No	No	No	No
HO491	<i>Duplex</i> 38-40 Wellington Street, St Kilda	Yes	No	No	No	No	No	No
HO492	<i>Terraces</i> 56-58 Wellington Street, St Kilda	Yes	No	No	No	No	No	No
HO493	<i>Shops with residences</i> 81-81a Wellington Street, St Kilda	Yes	No	No	No	No	No	No
HO494	<i>Residence</i> 129 Wellington	Yes	No	No	No	No	No	No

PS map ref	Heritage place	External paint controls apply?	Internal alteration controls apply?	Tree controls apply?	Outbuildings or fences not exempt under Clause 43.01-4	Included on the Victorian Heritage Register under the Heritage Act 2017?	Prohibited uses permitted?	Aboriginal heritage place?
	Street, St Kilda							
HO503	<i>Maisonettes</i> 21 Redan Street, St Kilda Statement of Significance: 21 Redan Street, St Kilda, "Maisonettes", February 2020	Yes	No	No	No	No	No	No
HO504	<i>Former church</i> 77 Park Street, South Melbourne	Yes	No	No	No	No	No	No
HO505	<i>Concrete House</i> 226 Alma Road, St Kilda East Statement of Significance: 226 Alma Road, St Kilda East. "House (Concrete House)", February 2020	Yes	No	No	No	No	No	No

PORT PHILLIP PLANNING SCHEME

PS map ref	Heritage place	External paint controls apply?	Internal alteration controls apply?	Tree controls apply?	Outbuildings or fences not exempt under Clause 43.01-4	Included on the Victorian Heritage Register under the Heritage Act 2017?	Prohibited uses permitted?	Aboriginal heritage place?
HO506	<p><i>Shop and Residence</i></p> <p>264-266 St Kilda Road, St Kilda</p> <p>Statement of Significance: 264-266 St Kilda Road, St Kilda "Shops & Residence", February 2020</p>	Yes	No	No	No	No	No	No
HO507	<p><i>Houses</i></p> <p>110, 112, 114, 116 and 118 Barkly Street, St Kilda and 2, 2A, 4 and 6 Blanche Street, St Kilda</p>	No	No	No	No	No	No	No
HO509	<p><i>Shops and Residence</i></p> <p>588 and 590 City Road, South Melbourne</p> <p>Statement of Significance: 588</p>	No	No	No	No	No	No	No

PORT PHILLIP PLANNING SCHEME

PS map ref	Heritage place	External paint controls apply?	Internal alteration controls apply?	Tree controls apply?	Outbuildings or fences not exempt under Clause 43.01-4	Included on the Victorian Heritage Register under the Heritage Act 2017?	Prohibited uses permitted?	Aboriginal heritage place?
	and 590 City Road, South Melbourne, "Shops and Residences", February 2021							
HO510	<i>Edgewater Towers</i> 12 Marine Parade, St Kilda	No	No	No	No	No	No	No
HO511	<i>Duplex Houses</i> 152-154 Mitford Street, Elwood	No	No	No	No	No	No	No
HO512	<i>Flats</i> 58-60 Queens Road, Melbourne	No	No	No	No	No	No	No
HO526	Grosvenor Hotel 10 Brighton Road, Balaclava Statement of Significance: 10 Brighton Road.	Yes	No	No	No	No	No	No

PORT PHILLIP PLANNING SCHEME

	<u>Balaclava "Grosvenor Hotel" September, 2022</u>							
<u>HO527</u>	<p><u>Former Melbourne Tramway & Omnibus Co. offices and car shed</u></p> <p>16 Brighton Road, Balaclava</p> <p>Statement of Significance:</p> <p><u>16 Brighton Road, "Former Melbourne Tramway & Omnibus Co. offices and car shed", 2022</u></p>	<u>Yes</u>	<u>Yes</u> <u>Former car shed section only</u>	<u>No</u>	<u>No</u>	<u>No</u>	<u>No</u>	<u>No</u>
<u>HO528</u>	<p><u>Yurnga</u></p> <p>36 Brighton Road, Balaclava</p> <p>Statement of Significance:</p> <p><u>Yurnga, 2022</u></p>	<u>Yes</u>	<u>No</u>	<u>No</u>	<u>No</u>	<u>No</u>	<u>No</u>	<u>No</u>
<u>HO529</u>	<p><u>Maison Parisienne</u></p> <p>122 Brighton Road, Ripponlea</p> <p>Statement of Significance:</p> <p><u>122 Brighton Road, Ripponlea "Maison Parisienne" 2022</u></p>	<u>Yes</u>	<u>No</u>	<u>No</u>	<u>Yes, garages</u>	<u>No</u>	<u>No</u>	<u>No</u>

PORT PHILLIP PLANNING SCHEME

HO540	<u>Chapel Lodge</u> <u>16A Chapel Street, St Kilda</u> <u>Statement of Significance:</u> <u>16A Chapel Street, St Kilda "Chapel Lodge Flats" 2022</u>	<u>Yes</u>	<u>No</u>	<u>No</u>	<u>Yes, front fence</u>	<u>No</u>	<u>No</u>	<u>No</u>
HO541	<u>Moruya</u> <u>70 and 70A Chapel Street, St Kilda</u> <u>Statement of Significance:</u> <u>70 and 70A Chapel Street, St Kilda "Moruya" 2022</u>	<u>Yes</u>	<u>No</u>	<u>No</u>	<u>No</u>	<u>No</u>	<u>No</u>	<u>No</u>
HO542	<u>Attached houses</u> <u>Statement of Significance:</u> <u>79 & 81 Chapel Street, St Kilda "Attached houses" 2022</u>	<u>No</u>	<u>No</u>	<u>No</u>	<u>No</u>	<u>No</u>	<u>No</u>	<u>No</u>
HO543	<u>Shop residences</u> <u>Statement of Significance:</u> <u>93 & 95 Chapel Street, St Kilda "Shop residences" 2022</u>	<u>No</u>	<u>No</u>	<u>No</u>	<u>No</u>	<u>No</u>	<u>No</u>	<u>No</u>

PORT PHILLIP PLANNING SCHEME

HO544	<p><u>Chudleigh Court</u> <u>9 Dickens Street, Elwood</u> <u>Statement of Significance:</u> <u>9 Dickens Street, Elwood "Chudleigh Court" September, 2022</u></p>	<u>No</u>	<u>No</u>	<u>No</u>	<u>Yes, front fence and garages</u>	<u>No</u>	<u>No</u>	<u>No</u>
HO545	<p><u>Park View</u> <u>5 Herbert Street, St Kilda</u> <u>Statement of Significance:</u> <u>5 Herbert Street, St Kilda "Park View" September, 2022</u></p>	<u>Yes</u>	<u>No</u>	<u>No</u>	<u>Yes, front fence</u>	<u>No</u>	<u>No</u>	<u>No</u>
HO546	<p><u>House</u> <u>101A Hotham Street, Balaclava</u> <u>Statement of Significance:</u> <u>101A Hotham Street, Balaclava "House" 2022</u></p>	<u>Yes</u>	<u>No</u>	<u>No</u>	<u>Yes, front fence</u>	<u>No</u>	<u>No</u>	<u>No</u>
HO547	<p><u>Dalgety</u> <u>191 Inkerman Street, St Kilda</u> <u>Statement of</u></p>	<u>No</u>	<u>No</u>	<u>No</u>	<u>Yes, front fence</u>	<u>No</u>	<u>No</u>	<u>No</u>

PORT PHILLIP PLANNING SCHEME

	<p><u>Significance:</u> <u>191 Inkerman Street, St Kilda "Dalgety" 2022</u></p>							
<u>HO548</u>	<p><u>House</u> <u>50 Westbury Street, St Kilda</u> <u>Statement of Significance:</u> <u>50 Westbury Street, St Kilda East "House" 2022</u></p>	<u>Yes</u>	<u>No</u>	<u>No</u>	<u>No</u>	<u>No</u>	<u>No</u>	<u>No</u>
<u>HO549</u>	<p><u>House</u> <u>5 Wando Grove, St Kilda East</u> <u>Statement of Significance:</u> <u>5 Wando Grove, St Kilda East "House" 2022</u></p>	<u>No</u>	<u>No</u>	<u>No</u>	<u>No</u>	<u>No</u>	<u>No</u>	<u>No</u>
<u>HO550</u>	<p><u>Cambury and Lynton</u> <u>58 and 58A Westbury Street, St Kilda East</u> <u>Statement of Significance:</u> <u>58 and 58A Westbury Street, St Kilda East, "Cambury and Lynton", 2022</u></p>	<u>Yes</u>	<u>No</u>	<u>No</u>	<u>Yes, front fence (no. 58) and fence to shared boundary, garages</u>	<u>No</u>	<u>No</u>	<u>No</u>

PORT PHILLIP PLANNING SCHEME

<p>HO551</p>	<p>Elbe 22 Blenheim Street, Balaclava Statement of Significance: 22 Blenheim Street, Balaclava "Elbe" 2022</p>	<p>Yes</p>	<p>No</p>	<p>No</p>	<p>No</p>	<p>No</p>	<p>No</p>	<p>No</p>
<p>HO552</p>	<p>Bellevue Lodge 342 Carlisle Street, Balaclava Statement of Significance: 342 Carlisle Street, Balaclava "Bellevue Lodge", 2022</p>	<p>No</p>	<p>No</p>	<p>No</p>	<p>No</p>	<p>No</p>	<p>No</p>	<p>No</p>
<p>HO553</p>	<p>Dick Whittington Tavern 34 Chapel Street, St Kilda Statement of Significance: 34 Chapel Street, St Kilda "Dick Whittington Tavern" 2022</p>	<p>Yes</p>	<p>No</p>	<p>No</p>	<p>No</p>	<p>No</p>	<p>No</p>	<p>No</p>

PORT PHILLIP PLANNING SCHEME

HO554	<p><u>Duke of Edinburgh Hotel (former)</u></p> <p><u>374 St Kilda Road, St Kilda</u></p> <p><u>Statement of Significance:</u></p> <p><u>374 St Kilda Road, St Kilda "Duke of Edinburgh Hotel (former)". 2022</u></p>	<u>Yes</u>	<u>No</u>	<u>No</u>	<u>No</u>	<u>No</u>	<u>No</u>	<u>No</u>
HO555	<p><u>Attached Houses</u></p> <p><u>2 and 4 Queen Street, St Kilda East</u></p> <p><u>Statement of Significance:</u></p> <p><u>2 & 4 Queen Street, St Kilda East, September 2022</u></p>	<u>Yes</u>	<u>No</u>	<u>No</u>	<u>No</u>	<u>No</u>	<u>No</u>	<u>No</u>
HO556	<p><u>Elwood Talmud Torah Congregation Complex</u></p> <p><u>37- 39 Dickens Street, Elwood</u></p> <p><u>Statement of Significance:</u></p> <p><u>37-39 Dickens Street, Elwood "Elwood Talmud Torah Congregation Complex" 2022</u></p>	<u>No</u>	<u>No</u>	<u>No</u>	<u>No</u>	<u>No</u>	<u>No</u>	<u>No</u>

PORT PHILLIP PLANNING SCHEME

HO557	<p>Adass Israel Synagogue</p> <p>12-24 Glen Eira Ave., Ripponlea</p> <p>Statement of Significance:</p> <p>12-24 Glen Eira Avenue, Ripponlea "Adass Israel Synagogue" 2022</p>	No	No	No	Yes, front fence	No	No	No
HO558	<p>Joseph Tarry Houses</p> <p>149, 151 Argyle Street, St Kilda East.</p> <p>1 Queen Street, St Kilda East</p> <p>Statement of Significance:</p> <p>Joseph Tarry Houses, Group Listing, 2022</p>	Yes	No	No	No	No	No	No
HO559	<p>Feldhagen Flats Group Listing 1 (1961 - 1964)</p> <p>169 Hotham Street, 247-249 Inkerman Street, 99 Westbury Street, Balaclava</p> <p>Statement of Significance:</p> <p>Feldhagen Flats</p>	Yes	No	No	Yes, front fences	No	No	No

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	Group Listing 1, 2022							
HO560	Benshemesh Flats Group Listing 2 (1960) 306 Dandenong Road, St Kilda East 16 Lansdowne Road, St Kilda East 8 Westbury Street, St Kilda East Statement of Significance: Benshemesh Flats Group Listing 2, 2022	No	No	No	Yes, front fences to 289 Barkly Street, 11 Burnett Street and 62 Hotham Street	No	No	No
HO561	Sheffield Manor and Wansbeck 110 and 125 Westbury Street, Balaclava Statement of Significance: Sheffield Manor and Wansbeck Group Listing, 2022							

SCHEDULE TO CLAUSE 72.04 DOCUMENTS INCORPORATED IN THIS PLANNING SCHEME**1.0 Incorporated documents**48/08/2022 - / / - - - -
6483port Proposed C206port

Name of document	Introduced by:
<i>2-14 Thistlethwaite Street, South Melbourne, Incorporated Document (March 2021)</i>	C175port
<i>10, 11, 12 / 339 Williamstown Road, Port Melbourne, Transitional Arrangements (January 2017)</i>	C136
<i>11-41 Buckhurst Street, South Melbourne, Incorporated Document (February 2021)</i>	C190port
<i>114-124 Albert Road, South Melbourne</i>	NPS1
<i>12 Acland Street, St Kilda</i>	NPS1
<i>12B Chapel Street, St Kilda (September 2013)</i>	C96
<i>17 Rocklea Drive, Port Melbourne, Incorporated Document (July 2022)</i>	C183port
<i>1-29 Albert Road, South Melbourne</i>	NPS1
<i>2-28 Montague Street and 80 Munro Street, Incorporated Document, South Melbourne</i>	C176port
<i>118 Bertie Street, Port Melbourne, Incorporated Document (July 2020)</i>	C172port
<i>132-134 Bank Street and 223-227 Moray Street, South Melbourne</i>	NPS1
<i>14-16 The Esplanade, St Kilda</i>	NPS1
<i>167 Fitzroy Street, St Kilda</i>	NPS1
<i>29 Fitzroy Street, St Kilda</i>	NPS1
<i>203-205 Normanby Road, Southbank, Incorporated Document (July 2020)</i>	C163port
<i>256-262 Normanby Road, South Melbourne, Incorporated Document (August 2020)</i>	C166port
<i>272-280 Normanby Road, South Melbourne, Incorporated Document (March 2021)</i>	C177port
<i>277-289 Ingles Street, Port Melbourne, Incorporated Document, June 2021</i>	C181port
<i>315-317 Beaconsfield Parade and 109-111 Park Street, St Kilda</i>	NPS1
<i>360-370 St Kilda Road, Melbourne (Revised November 2001)</i>	C33
<i>365-391 Plummer Street, Port Melbourne, Incorporated Document (October 2021)</i>	C182port
<i>400 - 430 City Road, Southbank (December 2010)</i>	C85
<i>400-410 City Road, 2-48 Cecil Street and 127-135 Whiteman Street, South Melbourne</i>	NPS1

PORT PHILLIP PLANNING SCHEME

Name of document	Introduced by:
414-416 and 418 St Kilda Road, Melbourne	NPS1
450-460 City Road and 7 Wolseley Street, South Melbourne, Incorporated Document (June 2021)	C193port
477-481 Plummer Street, Port Melbourne (part), Incorporated Document (June 2020)	C168port
582-584 St Kilda Road, Melbourne	NPS1
89 Fitzroy Street, St Kilda	NPS1
Acland Courtyard Development Plan	NPS1
Acland Street Upgrade Project Incorporated Document (December 2015)	C124
Albert Park Master Plan	NPS1
Beacon Cove Development, Port Melbourne (Revised 2013) (including Beacon Cove Concept Plan No.1, Beacon Cove Precinct Plan No. 1, Beacon Cove Residential Component Guidelines No.1 and Plan named Beacon Cove Port Melbourne showing areas subject to an environmental audit)	C104
Becton, Port Melbourne Development Concept Plan and Building Envelope Plan	NPS1
City of Port Phillip Heritage Policy Map (Adoption Version Amendment C161port Part 2, December 2021 Amendment C206port Version, August 2022) (Part of Port Phillip Heritage Review)	C161portPt2C206port
City of Port Phillip Neighbourhood Character Map (Adoption Version Amendment C161port Part 2, December 2021 Amendment C206port Version, August 2022) (Part of Port Phillip Heritage Review)	C161portPt2C206port
Hospital Emergency Medical Services - Helicopter Flight Path Protection Areas Incorporated Document (June 2017)	GC49
Incorporated Plan - Sea Wall and Promenade (September 2008)	C70
Luna Park	NPS1
Major Promotion Signs – Permit Provisions (December 2008)	C100
Melbourne CityLink Project – Advertising Sign Locations (November 2003)	VC20
Melbourne Convention Centre Development, Southbank and North Wharf redevelopment, Docklands (April 2006, Amended May 2016)	GC44
Melbourne Metro Rail Project Incorporated Document (May 2018)	GC82
Melbourne Metro Rail Project – Infrastructure Protection Areas Incorporated Document (May 2016)	GC67
Melbourne Sports & Aquatic Centre, Albert Park	NPS1
Montague Community Park and associated Streetscape Works (August 2017)	C135
Part 61 Bertie Street, Port Melbourne (November 2001)	C33

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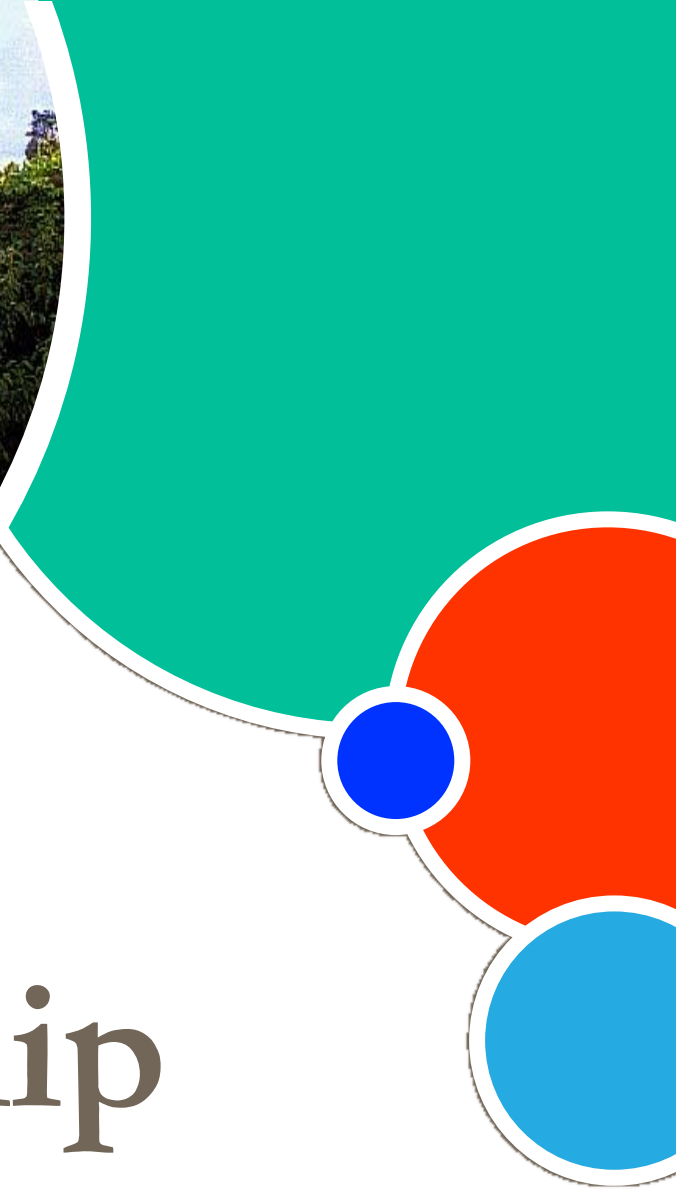
Name of document	Introduced by:
<i>Port Melbourne Mixed Use Area Development Contributions Plan (Streetscape Works) (July 1999)</i>	C13
<i>Port Phillip Heritage Review - Volumes 1-6 (Adoption Version Amendment C161port Part 2, December 2021 Amendment C206port Exhibition Version, September 2022)</i>	C161port Part 2 C206port
<i>Prince Apartments Stage 2 Development Plans – 29 Fitzroy Street, St Kilda (December 2013)</i>	C94
<i>Shrine of Remembrance Vista Controls (April 2014)</i>	C140
<i>St Kilda Foreshore Urban Design Framework (2002)</i>	C36
<i>St Kilda Seabaths</i>	NPS1
<i>St Kilda Station Redevelopment plans prepared by Billard Leece Partnership (July 1999)</i>	C9
<i>State Sports Facilities Project Albert Park, September 2009 (amended May 2012)</i>	C120
<i>Statement of Significance: Arden Woodside Group Listing (September 2022)</i>	C206port
<i>Statement of Significance: Balaclava Flats Precinct (September 2022)</i>	C206port
<i>Statement of Significance: Balston Street Precinct (September 2022)</i>	C206port
<i>Statement of Significance: Benshemesh Flats Group Listing 1 (September 2022)</i>	C206port
<i>Statement of Significance: Benshemesh Flats Group Listing 2 (September 2022)</i>	C206port
<i>Statement of Significance: Brunnings Estate and Environs Precinct (September 2022)</i>	C206port
<i>Statement of Significance: Carlisle Street Commercial and Public Precinct (September 2022)</i>	C206port
<i>Statement of Significance: Feldhagen Group Listing 1 (September 2022)</i>	C206port
<i>Statement of Significance: Inkerman Street Commercial Precinct (September 2022)</i>	C206port
<i>Statement of Significance: Joseph Tarry Houses Group Listing (September 2022)</i>	C206port
<i>Statement of Significance: Montague Commercial Precinct (February 2021)</i>	C186port
<i>Statement of Significance: Ripponlea Commercial Precinct (September 2022)</i>	C206port
<i>Statement of Significance: Ripponlea Residential Precinct (September 2022)</i>	C206port
<i>Statement of Significance: Sheffield Manor & Wansbeck Group Listing (September 2022)</i>	C206port
<i>Statement of Significance: St Kilda Botanical Gardens & Environs Precinct (September 2022)</i>	C206port

PORT PHILLIP PLANNING SCHEME

Name of document	Introduced by:
<i>Statement of Significance: Village Belle Commercial Precinct (September 2022)</i>	C206port
<i>Statement of Significance: Westbury Close Precinct (September 2022)</i>	C206port
<i>Statement of Significance: 2 and 4 Queen Street, St Kilda East (September 2022)</i>	C206port
<i>Statement of Significance: 21 Redan Street, St Kilda, "Maisonettes" (February 2020)</i>	C142port
<i>Statement of Significance: 226 Alma Road, St Kilda East, "House (Concrete House)" (February 2020)</i>	C142port
<i>Statement of Significance: 264-266 St Kilda Road, St Kilda, "Shops & Residence" (February 2020)</i>	C142port
<i>Statement of Significance: 5 Herbert Street, St Kilda "Park View" (September 2022)</i>	C206port
<i>Statement of Significance: 5 Wando Grove, St Kilda East "House" (September 2022)</i>	C206port
<i>Statement of Significance: 9 Dickens Street, Elwood "Chudleigh Court" (September 2022)</i>	C206port
<i>Statement of Significance: 10 Brighton Road, Balaclava "Grosvenor Hotel" (September 2022)</i>	C206port
<i>Statement of Significance: 12-24 Glen Eira Avenue, Ripponlea "Adass Israel Synagogue" (September 2022)</i>	C206port
<i>Statement of Significance: 16 Brighton Road, Balaclava "Melbourne Tramway & Omnibus Co Officers & Car Shed (former)" (September 2022)</i>	C206port
<i>Statement of Significance: 16A Chapel Street, St Kilda "Chapel Lodge Flats" (September 2022)</i>	C206port
<i>Statement of Significance: 22 Blenheim Street, Balaclava "Elbe" (September 2022)</i>	C206port
<i>Statement of Significance: 34 Chapel Street, St Kilda "Dick Whittington Tavern" (September 2022)</i>	C206port
<i>Statement of Significance: 36 Brighton Road, Balaclava "Yurunga" (September 2022)</i>	C206port
<i>Statement of Significance: 37-39 Dickens Street, Elwood "Elwood Talmud Torah Congregation Complex" (September 2022)</i>	C206port
<i>Statement of Significance: 50 Westbury Street, St Kilda East "House" (September 2022)</i>	C206port
<i>Statement of Significance: 58 and 58A Westbury Street, St Kilda East "Cambury and Lynton" (September 2022)</i>	C206port

PORT PHILLIP PLANNING SCHEME

Name of document	Introduced by:
<i>Statement of Significance: 70 and 70A Chapel Street, St Kilda "Moruya" (September 2022)</i>	C206port
<i>Statement of Significance: 79 and 81 Chapel Street, St Kilda "Attached Houses" (September 2022)</i>	C206port
<i>Statement of Significance: 93 and 95 Chapel Street, St Kilda "Shop residences" (September 2022)</i>	C206port
<i>Statement of Significance: 101A Hotham Street, Balaclava "House" (September 2022)</i>	C206port
<i>Statement of Significance: 122 Brighton Road, Ripponlea "Maison Parisienne" (September 2022)</i>	C206port
<i>Statement of Significance: 191 Inkerman Street, St Kilda "Dalgety" (September 2022)</i>	C206port
<i>Statement of Significance: 342 Carlisle Street, Balaclava "Bellevue Lodge" (September 2022)</i>	C206port
<i>Statement of Significance: 374 St Kilda Road, St Kilda "Duke of Edinburgh (former)" (September 2022)</i>	C206port
<i>Statement of Significance, 'Houses', 110, 112, 114, 116 and 118 Barkly Street, St Kilda and 2, 2A, 4 and 6 Blanche Street, St Kilda (December 2021)</i>	C161port Part 2
<i>Stokehouse – 30 Jacka Boulevard, St Kilda (July 2014)</i>	C110
<i>Tramway Infrastructure Upgrades Incorporated Document (May 2017)</i>	GC68
<i>Victorian Cricket and Community Centre, St Kilda Cricket Ground (May 2016)</i>	C119
<i>Victorian Pride Centre Incorporated Document (September 2018)</i>	C149port
<i>West Beach Pavilion Precinct Incorporated Plan (2004)</i>	C36
<i>Statement of Significance, 588-590 City Road, South Melbourne "Shops & Residences" (February 2021)</i>	C161port Part 1
<i>Statement of Significance, 324 Esplanade East, Port Melbourne (December 2021)</i>	C161port Part 2
<i>Statement of Significance, 'Duplex Houses', 152 and 154 Mitford Street, Elwood (December 2021)</i>	C161port Part 2
<i>Statement of Significance, 'Edgewater Towers', 12 Marine Parade, St Kilda (December 2021)</i>	C161port Part 2
<i>Statement of Significance, 'Flats', 58-60 Queens Road, Melbourne (December 2021)</i>	C161port Part 2



Port Phillip Heritage Review

Volume I – ~~Version 36, December 2021~~ ^{EXHIBITION} ~~Version~~
Version
~~December 2021~~ September 2022



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7. Horticultural Assessment..... [Error! Bookmark not defined.56+](#)

Prepared for the City of Port Phillip by Andrew Ward, Architectural Historian

1. Introduction

1.1 Port Phillip Heritage Review¹

The initial Review of the cultural heritage of the City of Port Phillip was commissioned in October, 1996. The consultant team was lead by Andrew Ward, architectural historian and supported by Francine Gilfedder, horticulturalist and garden historian. Data base management and map generation was undertaken by Ian Perry of Big Picture Software Pty. Ltd. and research assistance was provided by Jenny Dalrymple of Andrew Ward's office. The project was directed by Jim Holdsworth, manager, Urban Design and Strategic Planning at the City of Port Phillip and he was assisted during the early stages of the Study by Peter Boyle, architect, as project officer.

The project was undertaken simultaneously with the City of Port Phillip Urban Character Study and a joint project steering committee was established to give support to the consultant teams. The membership of the committee was as follows:

- Councillor Dick Gross (chair),
- Councillor Pat Browne,
- Councillor Liz Johnstone
- Jim Holdsworth, manager Urban Design and Strategic Planning,
- David Spokes, general manager, Community Planning,
- Steve Dunn, manager Business and Industry,
- Geoff Austin, Department of Infrastructure,
- Dale Wardlaw, Department of Infrastructure,
- Kim Dovey, University of Melbourne,
- Lyn Harrison, community representative,
- Adair Bunnnett, community representative,
- Andrew Heslop, community representative, and
- David Brand, community representative.

The support of the members of this committee throughout the course of the Study is acknowledged with thanks, their knowledge of the Municipality, their expertise and commitment to the task being highly valued.

¹ The Port Phillip Heritage Review (Version 2) was gazetted as a part of Amendment C5 to the Port Phillip Planning Scheme in December 2000.

The City of Port Phillip, having been formed by the amalgamation of the Cities of Port Melbourne, South Melbourne and St. Kilda, had inherited several urban conservation studies. They had been prepared at different times, commencing in 1975 and using different criteria for the evaluation of the significance of places. Furthermore, the municipal boundaries represented discontinuities in the identified urban conservation areas, placing the integrity of the new City's conservation strategy at risk. The studies were as follows:

- Yuncken Freeman Ashton Wilson: South Melbourne Conservation Study (1975),
- Jacobs Lewis Vines: Port Melbourne Conservation Study (1979),
- Allom Lovell Sanderson Pty. Ltd.: South Melbourne Conservation Study (1987),
- Nigel Lewis and Associates: St. Kilda Conservation Study Area 1 (1982),
- David Bick: St. Kilda Conservation Study Area 2 (1985),
- Robert Peck von Hartel Trethowan with Henshall Hansen Associates: City of St. Kilda Twentieth Century Architectural Study (1992), and
- Allom Lovell and Associates: Port Melbourne Conservation Study Review (1995).

1.2 Updating the Port Phillip Heritage Review

Since the gazettal of the original Port Phillip Heritage Review in 2000, additional assessments of places and areas of heritage significance have been completed. The following heritage studies were commissioned:

- Graeme Butler and Associates: *Swallow Street (2004)*
- Heritage Alliance: *East St Kilda Heritage Study (2004)*
- Heritage Alliance: *Elwood Heritage Review (2005)*
- Heritage Alliance: *Nightingale Street Heritage Study (2008)*
- Heritage Alliance & Built Heritage: *Review of Heritage Overlay 3 (2009 / 2010)*
- Lovell Chen: *Review of Heritage Overlay 1 (2011)*.
- Lovell Chen: *Review of Heritage Overlay 1 Port Melbourne – Stage 2 Review (2012)*
- Peter Andrew Barrett: *Tiuna Grove, Elwood (2019)*
- RBA Architects and Conservation Consultants: *Fishermans Bend Heritage Review: Montague Commercial Precinct (2019)*
- David Helms Heritage Planning: *Port Phillip Heritage Review Update (2019)*
- David Helms: *HO6 St Kilda East Precinct Review (2020)*
- Context: *Heritage Assessment 588-590 City Road South Melbourne (2017)*
- Context: *Heritage Assessment 2-6 Blanche Street and 110-118 Barkly Street, St Kilda (December 2017)*
- Peter Andrew Barrett: *Heritage Assessment 58-60 Queens Road, Melbourne (November 2017)*
- David Helms Heritage Planning: *Port Phillip Heritage Review Update (2019)*
- RBA Architects and Conservation Consultants: *Review of Heritage Precinct HO7: Elwood, St Kilda, Balacava and Ripponlea – Stage 2 Report (2022)*
- David Helms and Peter Barrett: *Heritage Overlay 7 Review - Citations Update Report (2022)*
-

The resultant findings have been included in the Port Phillip Heritage Review through the Planning Scheme Amendment process.²

The assessment framework used in each of the above heritage assessments is based upon the framework developed by Andrew Ward as outlined in the following chapters.

² The Port Phillip Heritage Review is an incorporated document in the Port Phillip Planning Scheme. Planning Scheme Amendments C24, C29, C32, C46, C52, C54, C70, C72, C74, C89 and C103 enabled new information on heritage places and heritage areas within the municipality to be included in the Port Phillip Heritage Review.

2. Brief

The project brief was designed to address the inconsistencies inherent in the previous studies when viewed together. The objectives were stated in the brief as follows:

- *“to provide a consistent approach to building grading and the recording of building significance across the municipality, for all architectural/historical periods including the twentieth century;*
- *to identify and fill gaps in building records, e.g., to ensure that significant 20th century buildings across the municipality are identified;*
- *to ensure that building gradings are updated, e.g., some buildings have been demolished;*
- *to identify historically significant streetscapes, other public spaces, parks or elements within them worthy of protection;*
- *to provide the strategic basis for any future statutory heritage controls in the Planning Scheme using the new Heritage Place Control.”*

The project tasks were to:

- Review the building gradings and assessments from the earlier studies.
- Assess 20th century buildings across the whole of the municipality to complement the work previously undertaken in the former City of St. Kilda.
- Investigate and complete building identification forms and citations for the commercial and industrial areas of Port Melbourne that were not included in the 1995 review.
- Review the Port Melbourne recommendations for area controls based on the new Model Heritage Place control.
- Prepare plans identifying the location of all graded buildings and existing and proposed urban conservation area boundaries.
- List those buildings recommended for inclusion in the Register of the National Estate and the Victorian Historic Buildings Register.
- Identify and assess the public spaces and parks within the City of Port Phillip and their contents including significant trees, monuments and sculptures.

3. Study Method

3.1 Thematic Environmental History

A working paper was prepared (no.1) summarising the findings of the environmental histories prepared by earlier consultants so as to establish an historical context for the forthcoming field work. It was, however, agreed at an early stage, that the Review should be founded in a new thematic history of the whole of the Municipality using the trial framework of themes contained in the report entitled “Principal Australian Historic Themes: A Guide for heritage agencies” (draft), being a document prepared under the Australian Heritage Commission’s National Heritage Co-ordination Strategy. This work was carried out and constitutes section 4 of the Report. The work previously undertaken by the consultants in the reports noted above was used as a source of information in the thematic history which also drew on available published histories of the former Cities of Port Melbourne, South Melbourne and St. Kilda. This work was undertaken by Andrew Ward.

3.2 Field Survey

The Thematic Environmental History provided a basis for the identification and evaluation of the significance of places in the field. The criteria for the assessment of cultural heritage significance adopted by the Australian Heritage Commission in April, 1990 were used in conjunction with the history and the field inspections to provide preliminary assessments of significance for all properties in the Municipality. A working paper (no.4) was prepared to explain how these criteria would be applied and used in the generation of computerised maps. These maps recorded information according to a system of ranking which can be explained in the following terms:

Levels of importance were simplified along traditional lines, assigning the letter A to places considered to be of national importance, B to those of regional importance and C to those of local importance. These levels of importance had implications for the introduction or confirmation of existing statutory control provisions in the Planning Scheme. Where a place was considered to have lesser importance than level C, it was ranked D, meaning that it was likely to be substantially intact but merely representative of an era. Places of lesser cultural value were ranked E, usually implying that the place had been defaced, but not irretrievably, or that it was aesthetically undistinguished. Finally, a place was ranked F if it was considered to have been important in the past but as a result of intervention now so compromised that it was likely to be of interest only. Places having for planning purposes no cultural value were ranked N.

It is important to note when interpreting the maps produced in this way that they represent a “picture” of the Municipality that is in many instances based upon imperfect data. A quick visual inspection of the exterior of a building, after all, cannot be said to constitute a thorough appraisal. By the same token, however, if a data sheet has been prepared for a place, then the recommendations arising from the review of this data sheet have been incorporated in the maps and may therefore be counted as a firm basis for future planning decisions. The maps are therefore of greatest value for their capacity to graphically present an overview of the Municipality, not only in terms of its evolution but also in terms of the cultural value of neighbourhoods. They have been used to assist the consultant to identify potential heritage overlay areas.

The maps themselves used a digital base supplied to Council by the State Government. One of the layers of this base consists of a series of polygons representing the boundaries of properties. The mapping software allows data fields to be attached to each property with the result that the map becomes a front end to a data base table. Data generated during this Review, however, was included on the map by adding a separate data base table, linked to the map table by a unique identifying number. In this way, one can work on the data in the heritage table independently of the map. In its final form, the Review consists of data sheets for individual places linked to the map by the appropriate identifying numbers. The mapping software was Mapinfo, having the capability of linking with Microsoft Access97 for the storage of linked data.

3.3 Heritage Overlay Areas

These areas were identified using the maps in conjunction with the work of the previous consultants. Further inspection was then undertaken in the field to verify this Consultant's findings. There are important changes between the work of the earlier consultants and this Review that can be accounted for in the following ways:

- in some instances, places have been altered since the earlier surveys. In extreme circumstances, contributory buildings have been demolished. This was, not surprisingly, most evident in the areas that had not been protected by planning scheme control.
- given the new planning scheme provisions and more particularly the urban character provisions, it was determined that heritage controls should only apply to those areas where the fabric of the place was considered to be so important that it should not be demolished. In other words, the areas of lesser cultural value could not unreasonably be managed by the urban character provisions of the Scheme. It is for this reason that the proposed heritage overlay areas have been drawn with precision and form highly irregular patterns. Their focus, after all, is on the conservation of fabric as well as character. It is argued in this Review that discrete areas, bounded more or less neatly by streets and natural boundaries are best managed by the urban character controls with heritage overlay controls applying only to those areas within the urban character areas where demolition control is required. It is partly as a consequence, therefore, of the new planning provisions, that the approach to the identification of the heritage overlay areas has changed.
- finally, and as a consequence of the computerised mapping process, changes were made on the basis of data that had been prepared consistently over the whole of the Municipality, irrespective of past municipal boundaries. Consistency carries with it the fact that comparative evaluations were made for places in this Review over a much larger area than had previously been subject to consideration. In other words, some areas, which when assessed in terms of the former municipal boundaries, were arguably the most important of their respective types, were of much lesser importance when assessed comparatively over the wider municipality of Port Phillip.

Once identified, the areas were documented in terms of their present circumstances and the elements which give them distinction. Their history was then summarised and their position in the thematic framework identified prior to preparing statements of significance with consequent recommendations.

3.4 Data Sheets

Data sheets have been prepared for several additional places previously undocumented. They include the heritage overlay areas themselves, individually significant places situated outside of the areas and a number of additional places. A standard format has been used that is similar to the heritage overlay area data sheets. Big Picture Software Pty. Ltd. was engaged during the course of the Study period to prepare a data base incorporating the data sheets for the individual places undertaken as a part of this Study as well as the work of all previous consultants. The findings of the past consultants have been reviewed as a part of this Study using the same criteria, thereby introducing consistency to the assessments. This data base forms an additional four volumes of this report.

3.5 Schedule to the Heritage Overlay Table

This schedule was prepared using the assessments arising from the field survey and checking them wherever possible against the assessments of the earlier consultants. It includes the identified heritage overlay areas and all places of individual significance outside of those areas. Within the areas, only those places considered to be of regional or state importance have been listed. It follows that there are many places of individual significance at the local level within the identified heritage overlay areas that have not been separately listed.

Generally speaking, paint colour scheme controls have been proposed only in the retail streets of the heritage overlay areas. These controls are not proposed in the residential areas except where a place is individually listed. Interior controls for individually listed places have only been proposed where elements of the interior of a place are known to contribute to its significance in an important way. This may be on account of their architectural or aesthetic value or simply because a building of a certain type is expected to have rooms of a certain type, the absence of defacement of which would impact on its significance. By way of example, a post office would be expected to have a public space; a railway station, waiting rooms, and so on. Planning decisions impacting on the significance of the building should respect the integrity of these spaces, irrespective of their aesthetic values.

4. Recommendations

It is recommended that the findings of the Port Phillip Heritage Review Version 3, February 2005 be adopted by Council for application in the following ways:

4.1 Port Phillip Heritage Review

List the Heritage Review document as an Incorporated Document in Clause 81 of the Port Phillip Planning Scheme. This will have the effect of incorporating the Statements of Significance for the 8 heritage areas and the citations for individually significant heritage buildings into the Planning Scheme.

4.2 Heritage Place

(including heritage overlay areas and individually significant heritage buildings, structures, gardens and trees)

Inclusion of the recommendations of the Heritage Review in the schedule and maps to Clause 43.01 of the Port Phillip Planning Scheme. This would include the nominated heritage areas and the list of individual heritage places that have been identified and substantiated.

Organisation of all preliminary heritage gradings into the following categories:

- all places given a preliminary grading of A, B, C or D within a Heritage Overlay or A, B or C outside a Heritage Overlay should be collectively termed “Significant Heritage Places” and
- all places given a preliminary grading of E or F inside a Heritage Overlay or D, E or F outside a Heritage Overlay should be collectively termed “Contributory Heritage Places”,

for the purpose of developing policy and administering the recommendations of the Heritage Review.

A map identifying significant, contributory and non-contributory buildings in Heritage Overlays is provided as a Heritage Policy map to assist the Council in interpreting how to apply Clause 22.04 ‘Port Phillip Heritage Policy’ of the Port Phillip Planning Scheme. A Neighbourhood Character Policy Map is provided which identifies contributory buildings outside the Heritage Overlays.

Where a permit is required for demolition of a significant or contributory building, it should be policy to:

- Require all applications of significant or contributory buildings to be accompanied by an application for new development.
- Allow the demolition of part of a heritage place if it will not affect the significance of the place and the proposed addition is sympathetic to the scale and form of the place.
- Not support the demolition of a significant building unless and only to the extent that:
 - The building is structurally unsound or cannot be feasibly reused.
 - The replacement building and / or works displays design excellence which clearly and positively supports the ongoing heritage significance of the area.
- Not support the demolition of a contributory building unless and only to the extent that:
 - The buildings is structurally unsound or cannot be feasibly reused, and either
 - The replacement building and / or works displays design excellence which clearly and positively supports to the ongoing heritage significance of the area, or
 - In exceptional circumstances the streetscape is not considered intact or consistent in heritage terms.

4.3 Conservation Principles and Guidelines

Integration of conservation principles and guidelines into the Port Phillip Heritage Policy, at Clause 22.04 of the Port Phillip Planning Scheme and the Port Phillip Design Manual, Version 3 August 2000, which will be a referenced document in the Port Phillip Planning Scheme.

4.4 Heritage Register Nominations

Nominate all 'A' graded heritage places (that have not previously been nominated) for inclusion by Heritage Victoria on the Victorian Heritage Register.

Balaclava Flats Residential Precinct

Places of individual significance within the precinct that have a separate citation in the Port Phillip Heritage Review with additional descriptive and historical information are indicated in **bold**.

1.0 Thematic Context

Victoria's framework of historical themes

4. Transforming and managing land and natural resources: 4.7 Transforming the land and waterways

6. Building towns, cities and the garden state: 6.3 Shaping the suburbs, 6.7 Making homes for Victorians

Port Phillip thematic environmental history

2. Land transformation: 2.2 Altering the land (2.2.1 Water)

5. Buildings and cultural landscapes: 5.2 Shaping the suburbs (5.2.2 Private development)

2.0 History

The precinct is comprised of two parts as shown in Figure 1:

- The north section comprises parts of Crown lots 71C and 71D the north of Carlisle Street west side of Chapel Street.
- The south section comprises parts or all of Crown lots 216A, 217B, 219, 228, 230, 230A & 231 to the south of Carlisle Street and west of Chapel Street.

The Government Land Sales offering Crown lots in the precinct were held in 1850, 1853, and 1863.

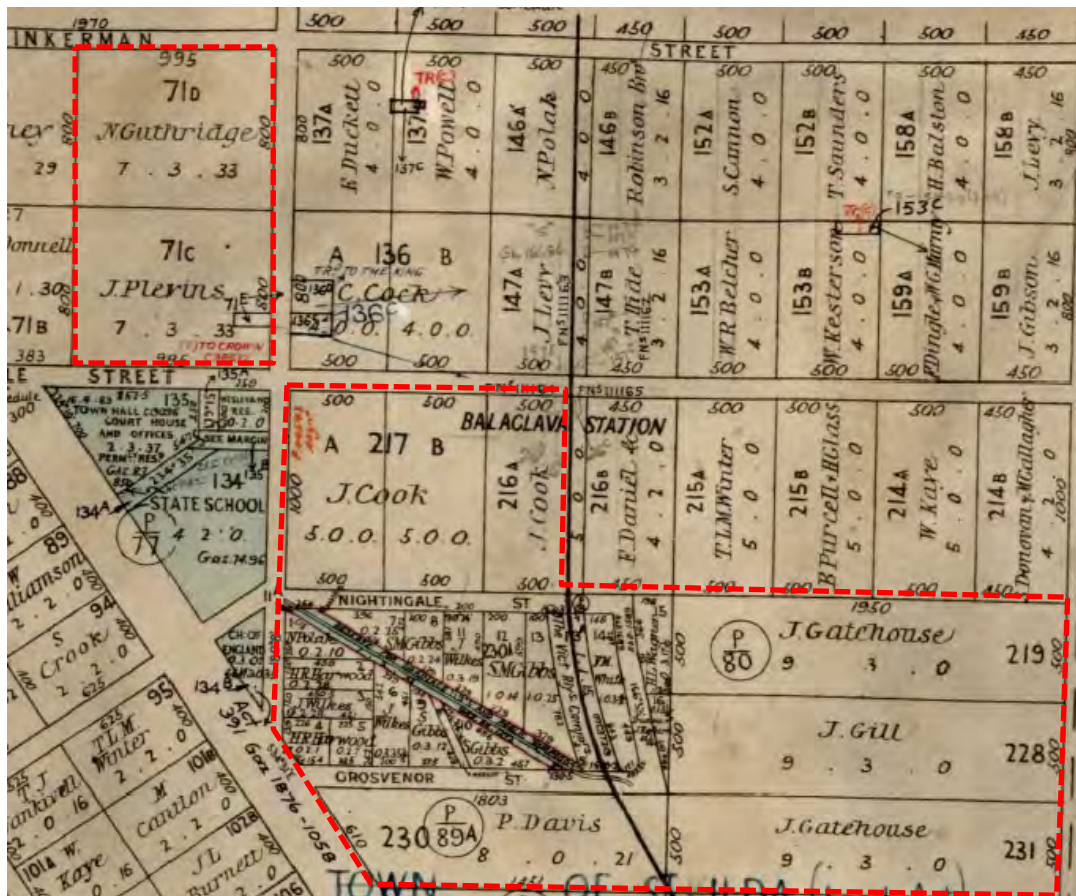


Figure 1 - Parish Plan - P81(13) At Elwood Parish of Prahran. Lots that are partly or wholly within the precinct area are highlighted (Source: Landata)

Development in the precinct was limited initially due to the risk of flooding. In 1857, a councillor 'presented a petition signed by 69 residents and owners of property near the Balaclava and Inkerman roads praying the (St Kilda) Council to take steps for the drainage of that locality'. (*Argus* 16 May 1857 p.5).

The impetus for subdivision however was likely the impending railway, which was being discussed in public meetings from at least early 1856 (*Argus* 2 February 1856 p5), however its location was not identified on the Blenheim Estate plan. Construction of the railway line between the terminus at St Kilda and Bay Street, Brighton was authorised on 24 November 1857 for the St Kilda and Brighton Railway Co., with the first service operating on 3 December 1859. The Grosvenor Street Bridge was one of 11 bridges constructed probably in timber bridge initially. The Melbourne and Hobson's Bay United Railway Co. purchased the line in 1865 and subsequently the company's assets were sold to the Government in 1878 (PPHR 2109).

From late 1857, St Kilda Council sought to address the issue of flooding in the area with the construction of the first drain. Plans for the first section running westwards from Chapel Street were prepared and the location of the proposed watercourse marked out (JBCI, p213). The current location corresponds with the description being about equidistant between Inkerman Street to the north and Carlisle Street to the south.

The situation had not been sufficiently resolved by 1860 when:

storm waters from outlying districts swept into St. Kilda, and flooded the lower lands lying between Barkly Street, and the eastern boundary. Residents of the flat had to leave their

houses, and seek shelter in the higher parts of the town. Along the line of the main drain much damage was done by the overflowing waters (JBC I, p146).

In the following year, Council entered into contracts for enlarging, and for making the main drain to the sea (channelling run-off that emanated in Caulfield). These contracts presumably included the section covered by the reserve in Bothwell Street, then extended across the original market reserve (now the town hall and state school) and linked into the drain between Duke and Pakington streets. Although works were hampered by the reduction in government grants to the Council, the drain was completed by 1865 (JBC I, pp145-146, 214).

Nineteenth century development in the north section

The first allotments to be sold in the precinct were the two to the north of Carlisle Street in May 1850 (*Argus*, 16 May 1850, p.2). It was recorded in the *Argus* that R(ichard) Guthridge had bought both allotments but on the Parish Plan, different names are noted on the Parish Plan (as did occur) – N(ehmiah) Guthridge for lot 71D – (Pakington Street) and J(abez) Plevins for lot 71C (Duke Street area). These allotments were both relatively large at nearly 8 acres.

The land in Portion C of lot 71 was subdivided soon after in early 1853 (Figure 2) creating the east end of Duke Street (*Argus*, 5 January 1853, p1). The allotments were larger than the extant blocks being between 1/4 and 1/2 acre (SLV va200055). The initial subdivision of Pakington Street also probably occurred about this time (SLV va001220; *Argus* 22 April 1852 p1)

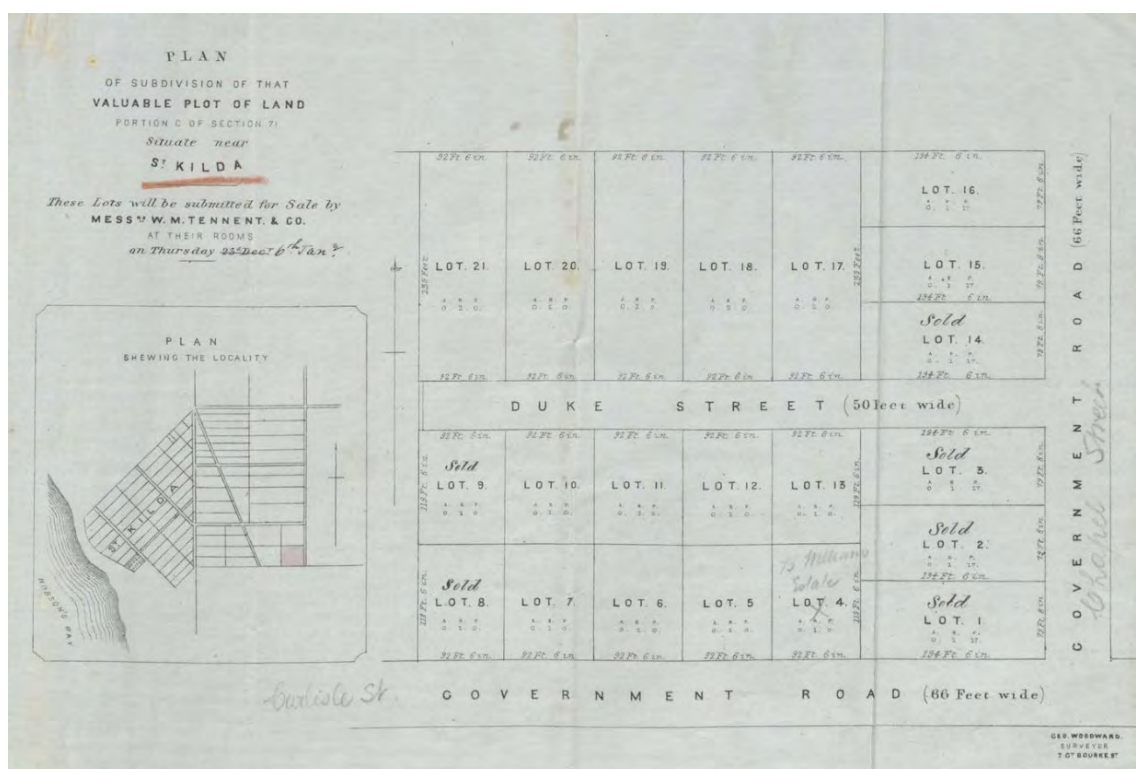


Figure 2 – 1853, Subdivision of Portion C of Section 71 St Kilda (Source: SLV, va200055)

The first plan recording development in the area dates to 1855 shows that only Pakington Street had been created and possibly one building existed on what would be the south side of Duke Street. A similar situation is evident on the 1866 Cox plan (see Figure 8).

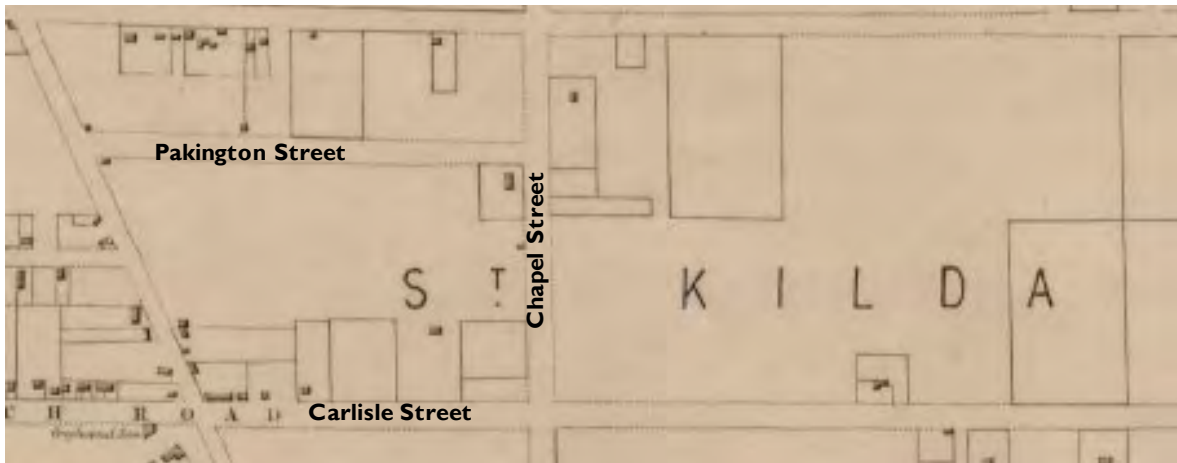


Figure 3 – 1855 James Kearney ‘Melbourne + its Suburbs’ plan (Source: SLV)

The Vardy Plans of 1873 (Figure 4) shows that there was some development on the south side of Duke Street near Chapel Street, but it does not correspond to the extant houses. The north side was undeveloped and neither Lynott Street nor Glenmark Avenue had been laid out. There were some timber houses in the mid-part of Pakington Street and possibly one or two on the south side survive (from the group of nos 49-53).

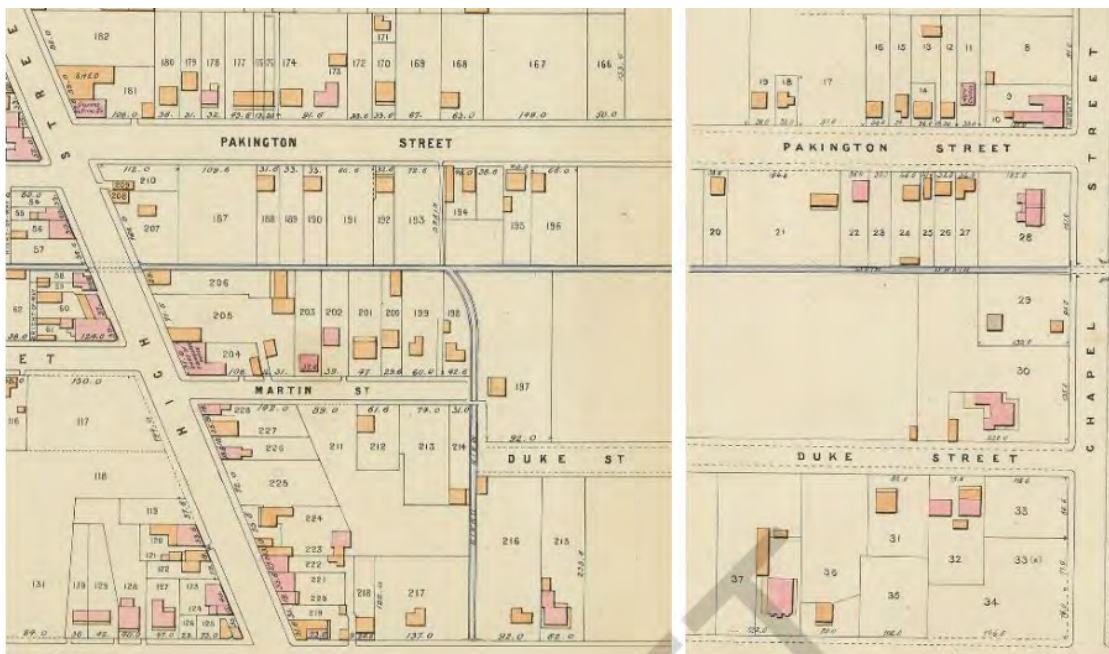


Figure 4 - 1873 Vardy Plans SW1 + SW2 (Source: SKHS)

By the end of the 19th century according to the MMBW plans (Figure 5), much of the northern section had been developed and a considerable proportion of that building stock survives. Pakington Street was largely as it is, however Duke Street was less developed (MMBW 1371 + 1383, 1897). The group on south side of the street had been constructed (nos. 27-41), most of Lynott Street and adjacent part on north side of Duke Street (nos. 2-12/14) but Glenmark Avenue had not been created yet. The confluence of two arms of the drainage system is also evident.

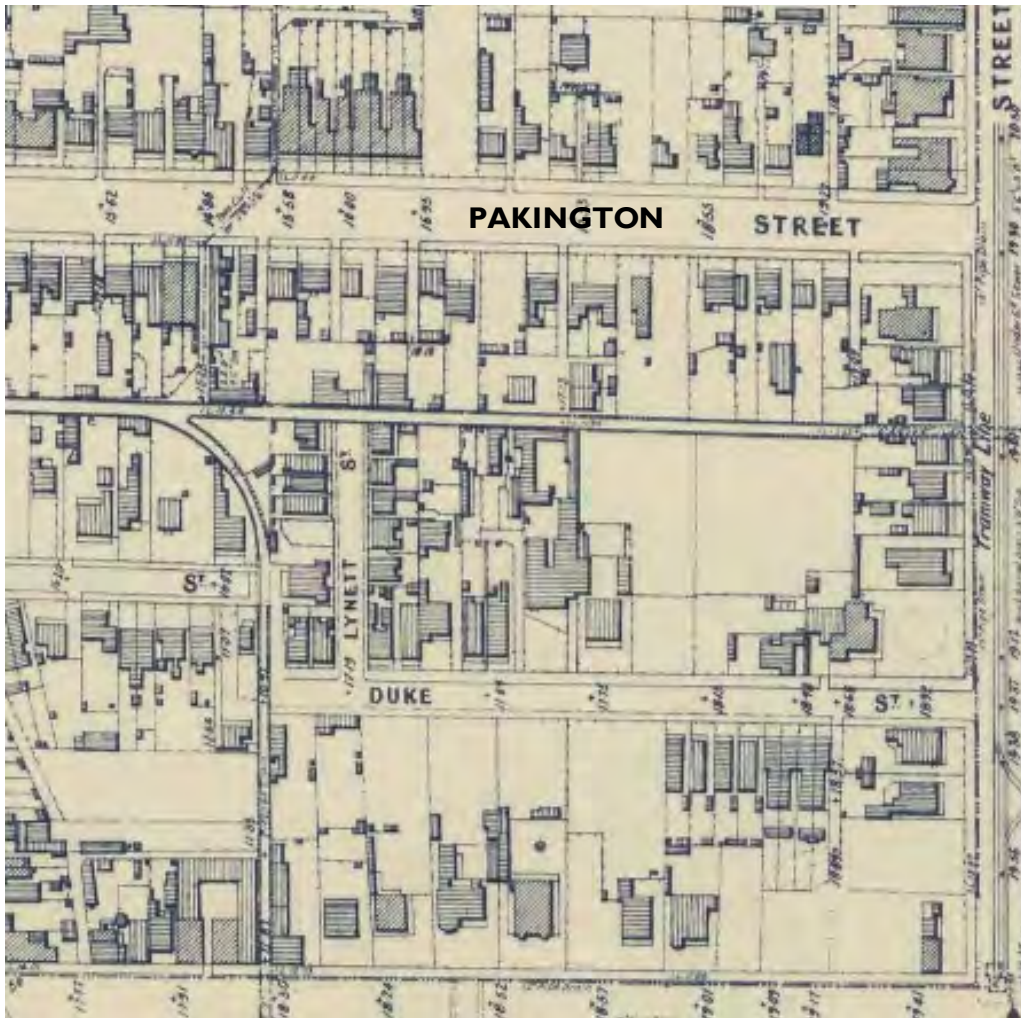


Figure 5 – 1896 MMBW no. 45 (Source: SLV)

Nineteenth century development in the south section

The section west of the railway between Carlisle Street (to the north) and Nightingale Street (to the south) was all acquired by John Cooke, relating to three, five-acre allotments - 216A and 217 A + B. Two are known to have been offered for sale in November 1853 and it is likely the other Crown lot was sold about this time (*Argus* 25 November 1853 p5). Part of the land east of the railway in the precinct was also sold in November 1853, being lot 228 (J Gill). The two other large allotments – no. 219 and no. 230 – were respectively acquired by J Gatehouse and Peter Davis, auctioneer and one-time mayor of Melbourne (1856-57). The land between Nightingale and Grosvenor streets was initially set aside as a reserve and subdivided in 1863.

Regardless of the flooding issue, which had not been resolved by 1857, a major subdivision was undertaken between Carlisle and Nightingale streets and named the Blenheim Park Estate (Figure 6). In the auction notice of the agents Symon and Perry, the estate was advertised as follows (Age 2 October 1857 p7):

The above magnificent estate, the most valuable unsold large portion of land in the municipality of St Kilda. This splendid property has been subdivided into 178 allotments The auctioneers deem it unnecessary to expatiate upon the value of the above described property, as it must be patent to every one that a more valuable and choice spot could not be selected.

The name of the estate references one of England's most famous and grandest country houses built for the Duke of Marlborough. The width of the original allotments varied between 29 feet (8.84m) and 31 feet (9.45m).

Within a year, houses were being constructed, including, according to a contemporary advertisement, a four-roomed brick cottage with a slate roof in Marlborough Street (*Argus* 28 Sept 1858 p2). Unfortunately, the early editions of the directories do not record the early phase of occupation in the smaller streets in the precinct area (not until 1872).

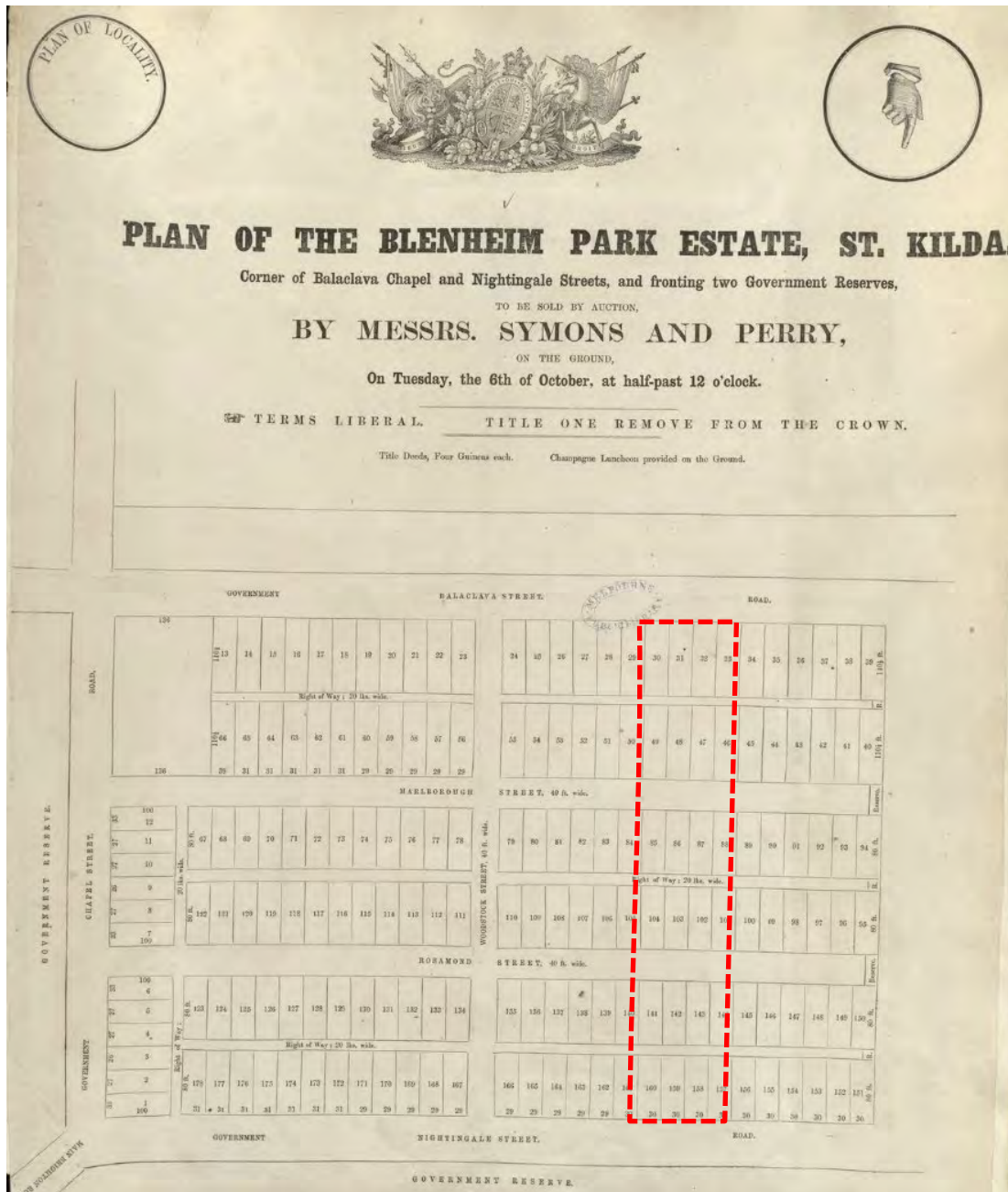


Figure 6 – Blenheim Park Estate, approximate location of railway highlighted. Note that ‘Balaclava Street’ is now Carlisle Street (Source: SLV, ge000112)

The last phase of government subdivision and sale occurred from late 1863, when the land about the main drain (between Nightingale and Grosvenor streets) was surveyed by B M Goldinet. H. Leopold Wagner acquired the east side of William Street in 1864 and the architect F M White purchased the west side in 1865. S M Gibbs, who was involved with mining companies at Ballarat, acquired about a

third of the allotments on the west side of the railway in November 1865, including where Gibbs Street is now located.

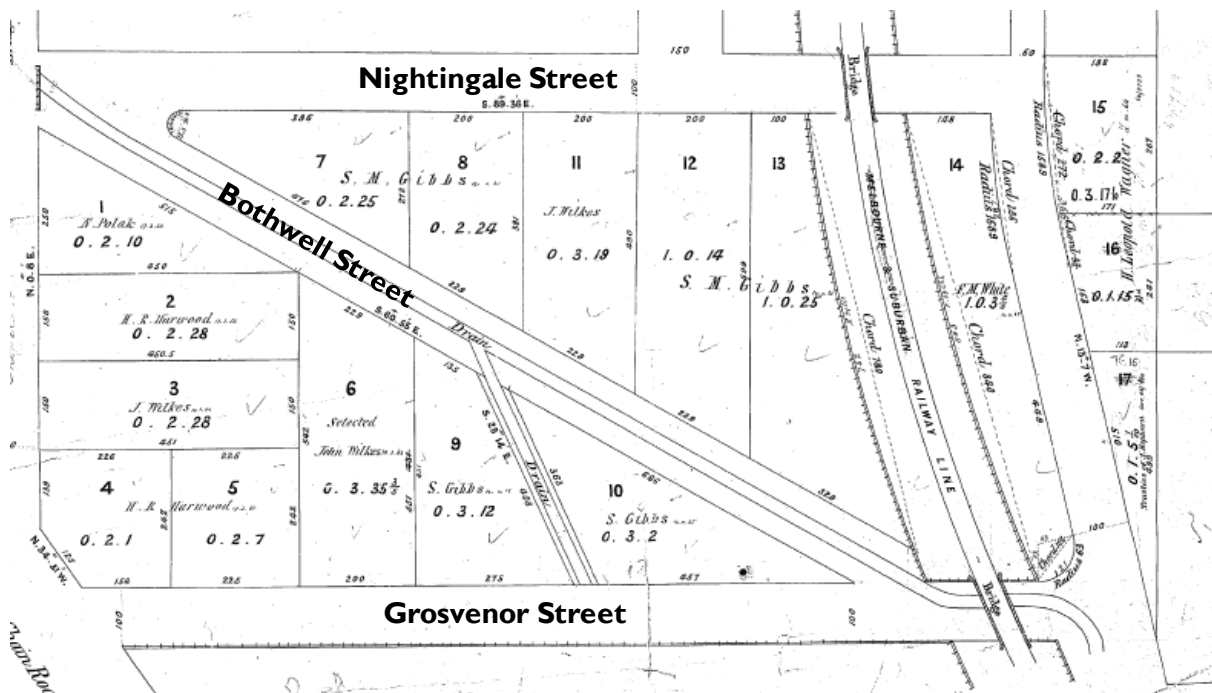


Figure 7 – 1863 subdivision plan (Source: Landata, Put away plan P89A-1)

The Cox Plan of 1866 (Figure 8) shows some development in the Blenheim Park Estate area and in William Street, though not all the streets that had been laid out in the precinct area by that time. The railway and main drain are evident. The pattern of development contrasted with that in other parts of the municipality in that the allotments were generally smaller, especially between Marlborough and Nightingale streets. Further to the north and west in the centre of St Kilda, those who ruled Victoria (judges, magnates and legislators) lived in elegant estates in what was considered to be the best address in Melbourne at this time (AL, pix).



Figure 8 - Cox plan (1866) showing drains (arrows), railway and some development in the Blenheim Park Estate (Source: SLV)

Not all the land was sold in the Blenheim Park Estate during the late 1850s, and in 1871 a second phase of offerings in the Estate was undertaken in January and July (Figure 9). Nine lots in Marlborough and Rosamond streets were available in January (*Argus* 14 January 1871 p2) and 35 in July (*Argus* 14 July 1871 p2). According to the contemporary plans, about 2/3rds of the lots had been sold. The lot configuration and sizes changed from the original subdivision as they are generally smaller. Most of the lots were 20 feet (6m) wide but varied between 17 feet (5.2) and 31 feet (9.45m).

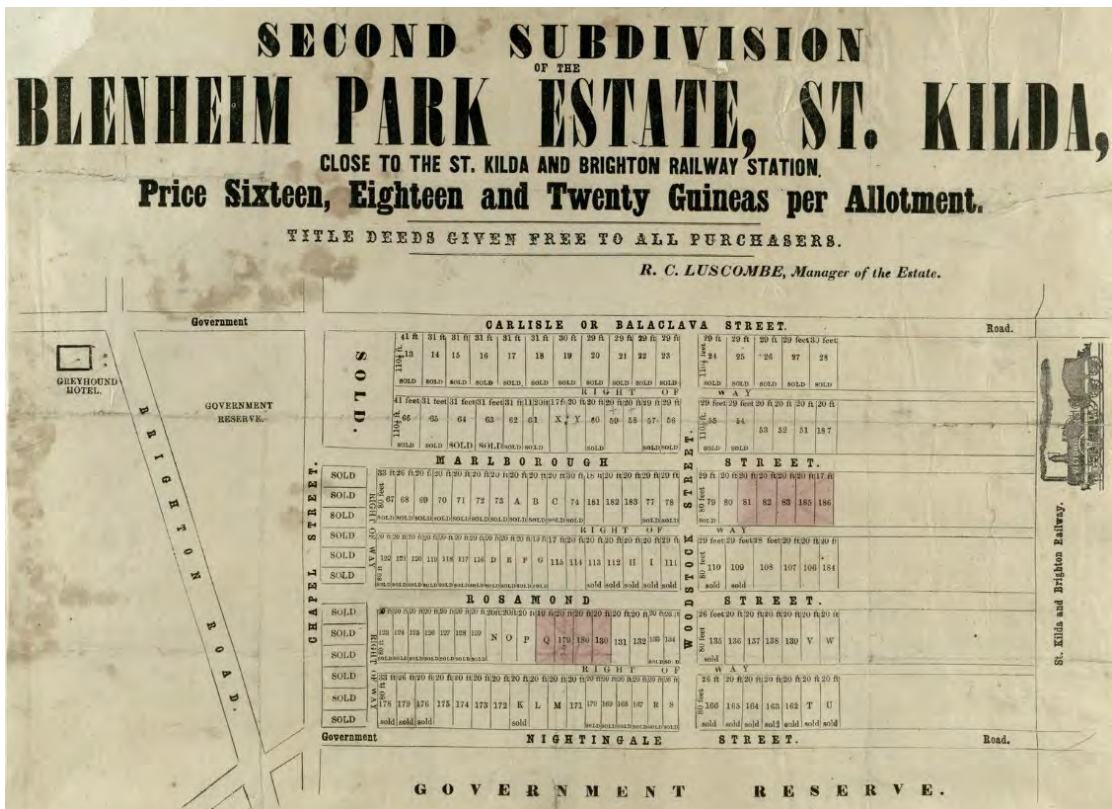


Figure 9 - 1870, second subdivision of Blenheim Park Estate. The lots marked red were offered January 1871 (Source: SLV, va002617)

The Vardy Plans of 1873 (Figure 10) show that some development had occurred in the part of the Blenheim Park Estate within the precinct (mainly east of Woodstock Street), however it is unlikely that any of pre-1873 buildings survive. Three houses in Nightingale Street have probably been replaced (definitely nos 32 and 56, though possibly no. 44 is original). Similarly, the three timber cottages at 24-28 Rosamond Street replaced an earlier brick house. The double-fronted timber house at 41 Rosamond Street might be the only pre-1873 residence. Much of the east end of the estate (near the railway line) was in large holdings owned by R Byrne and J Robinson (VI)

The allotments in the section about the drain remained unsubdivided and undeveloped in the precinct area with Gibbs retaining his holdings (SW6, nos 149-156). A villa had been erected on what is now the William Street Reserve, adjacent to the railway. The east side of William Street and Gourlay Street were undeveloped. original Crown Allotment (no. 228) was unsubdivided and owned by W Young with a house at the east end (Hotham Street).

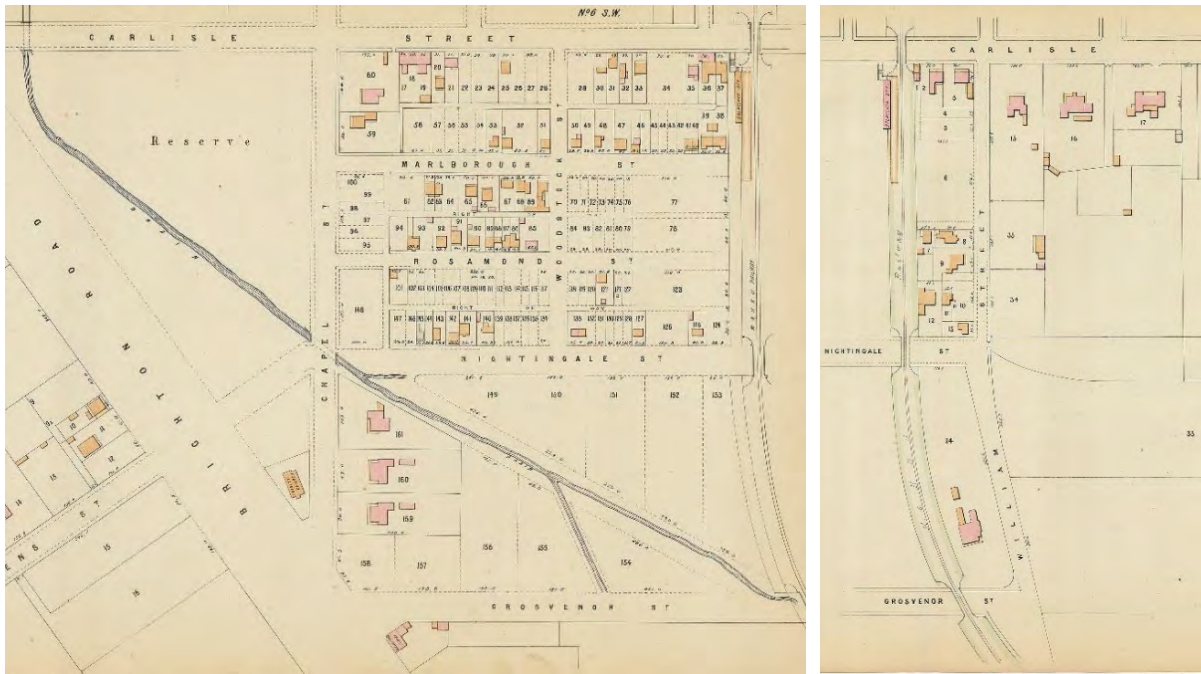


Figure 10 – 1873 Vardy plans SW6 + SW7 (Source: SKHS)

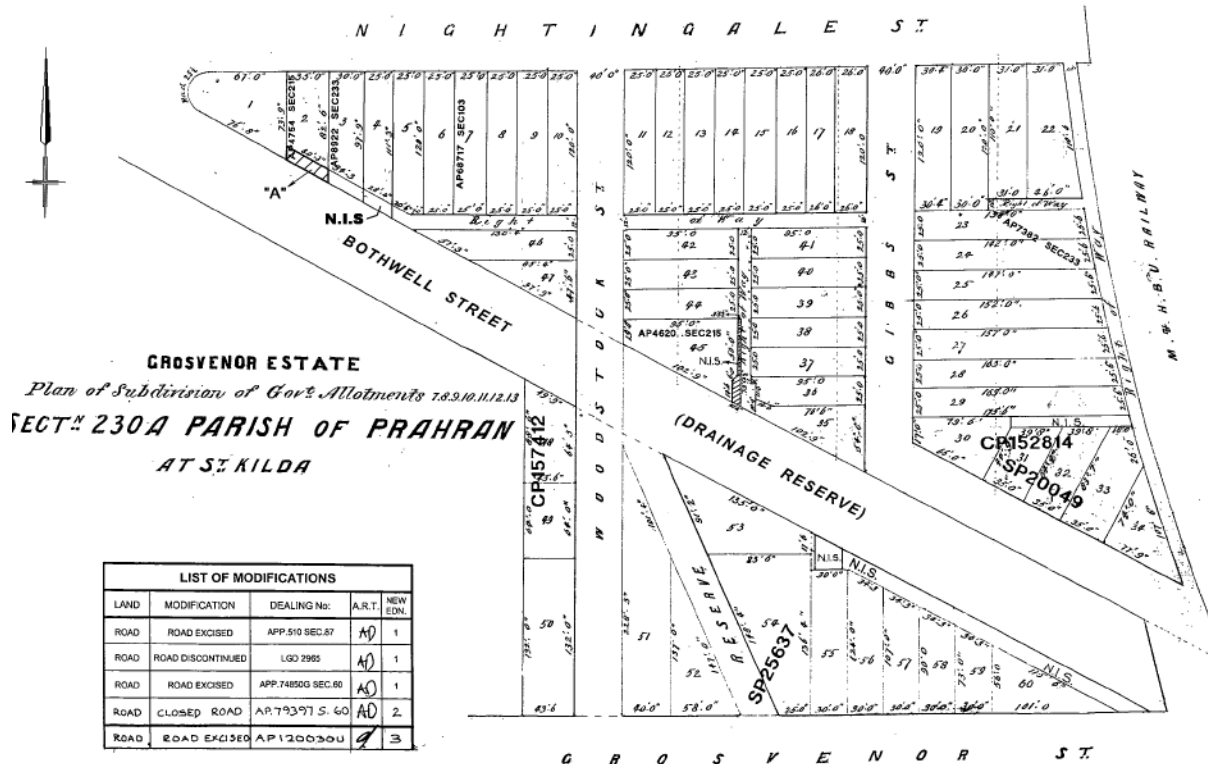
The land that had been owned by R B Gibbs was subdivided by his executors as the Grosvenor Estate (LPI51; Age 11 October 1873 p.8) (Figure 11). 61 allotments were auctioned in October 1873 - on the south side of Nightingale Street, all of Gibbs Street, Woodstock Street (southern end), and Grosvenor Street (north-east section). The advertising was directed at the working classes as follows:

This block of ground has been subdivided especially with a view to serve the requirements and pockets of tile working classes, and to place within the reach of all the opportunity of acquiring a freehold residence plot of ground, The position is advantageous, as most accessible. the Balaclava Station being distant exactly 220 yards from the north-east corner of the land to be sold.

The central reserve of St. Kilda is in close proximity on the west, and as the borough rapidly fills up on the south, tins situation will not only be a geographical but likewise a commercial centre.

The sea beach is half-a-mile distant, allowing that splendid tonic and health-restorer (a bath in the sea) to be accessible to residents without great loss of time.

Every provision has been made to ensure good and efficient drainage, the reserve for this purpose being sufficiently wide to allow a belt of trees to be planted on each side.



LIST OF MODIFICATIONS				
LAND	MODIFICATION	DEALING No:	A.R.T	NEW EDN.
ROAD	ROAD EXCISED	APP.510 SEC.57	AD	1
ROAD	ROAD DISCONTINUED	LGO 2985	AD	1
ROAD	ROAD EXCISED	APP.74850G SEC.60	AD	1
ROAD	CLOSED ROAD	AP.79397 S. 60	AD	2
ROAD	ROAD EXCISED	AP120030U	AD	3

Figure 11 – Grosvenor Estate, 1873 (Source: Landata, LPI5)

During the mid to late 1880s, there was further subdivisional activity relating to the Grosvenor Gardens Estate, the Gourlay Street area, and in Duke and Lynott streets.

In September 1885, the Grosvenor Gardens Estate, consisting of 55 'villa and mansion sites fronting Grosvenor, Brunnings, Woodstock and Gibbs streets', was auctioned (*Herald* 14 September 1885 p4) (Figure 12). The various advantages of the subdivision were described as follows and clearly differentiated from the land immediately to its north:

GAS and WATER LAID ON. Principal Streets all Formed and Metalled. Best position in St. Kilda "Not wholly in the busy world, nor quite beyond it."

Surrounded by the Mansions and Villas of our well to do citizens, enclosed by "a Brotherhood of Venerable trees."

SPLENDID GARDEN SOIL. Most Complete Subsoil Drainage, perfected by Mr Brunning at hundreds of pounds expense.

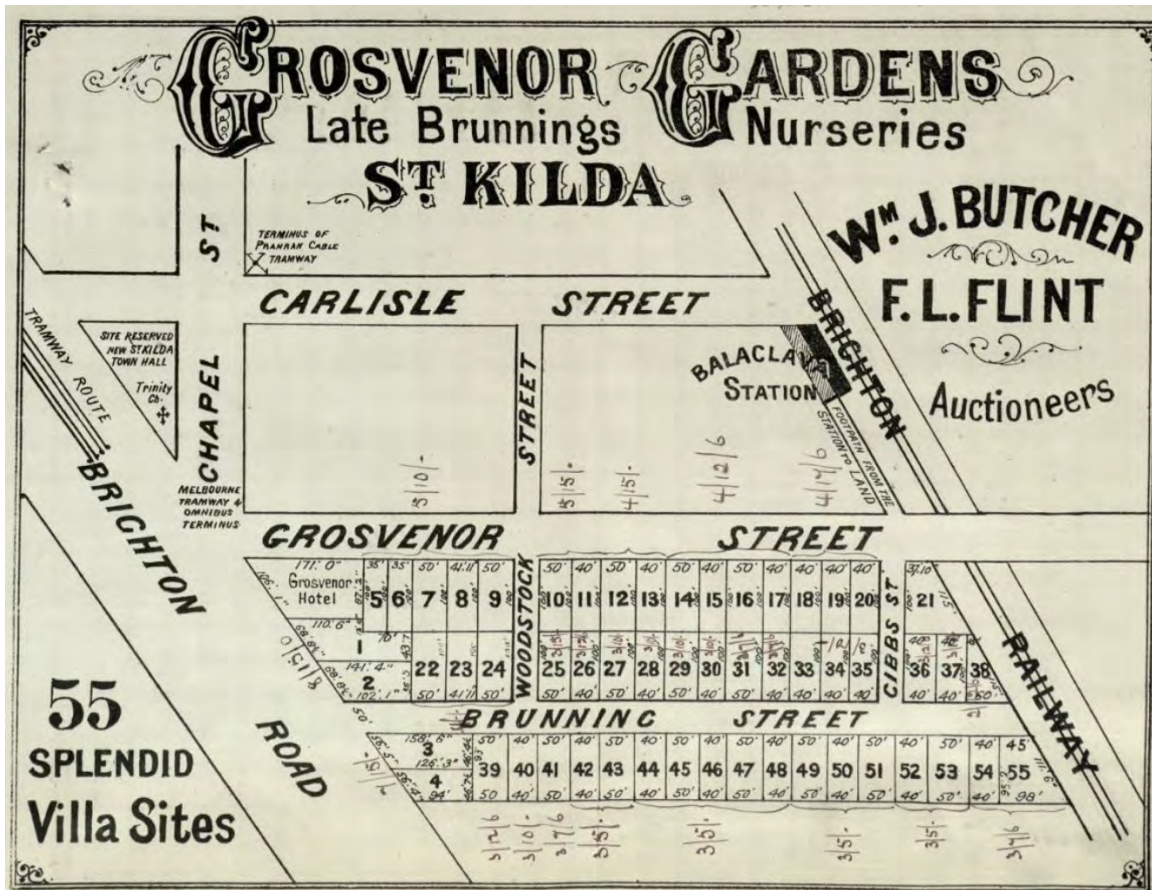


Figure 12 – Grosvenor Gardens 1885 (Source: SLV)

Two years later, land and houses in the southernmost part of the precinct - Grosvenor and Brunning streets - were being sold (Age 29 January 1887 p2). In the same year, subdivision was also underway in the eastern part of the precinct as the original Crown Allotment 228 was subdivided to create Gourlay Street and the adjoining part of William Street (Figure 13). The allotment sizes were generally larger than those in the subdivisions to the west side of the railway.

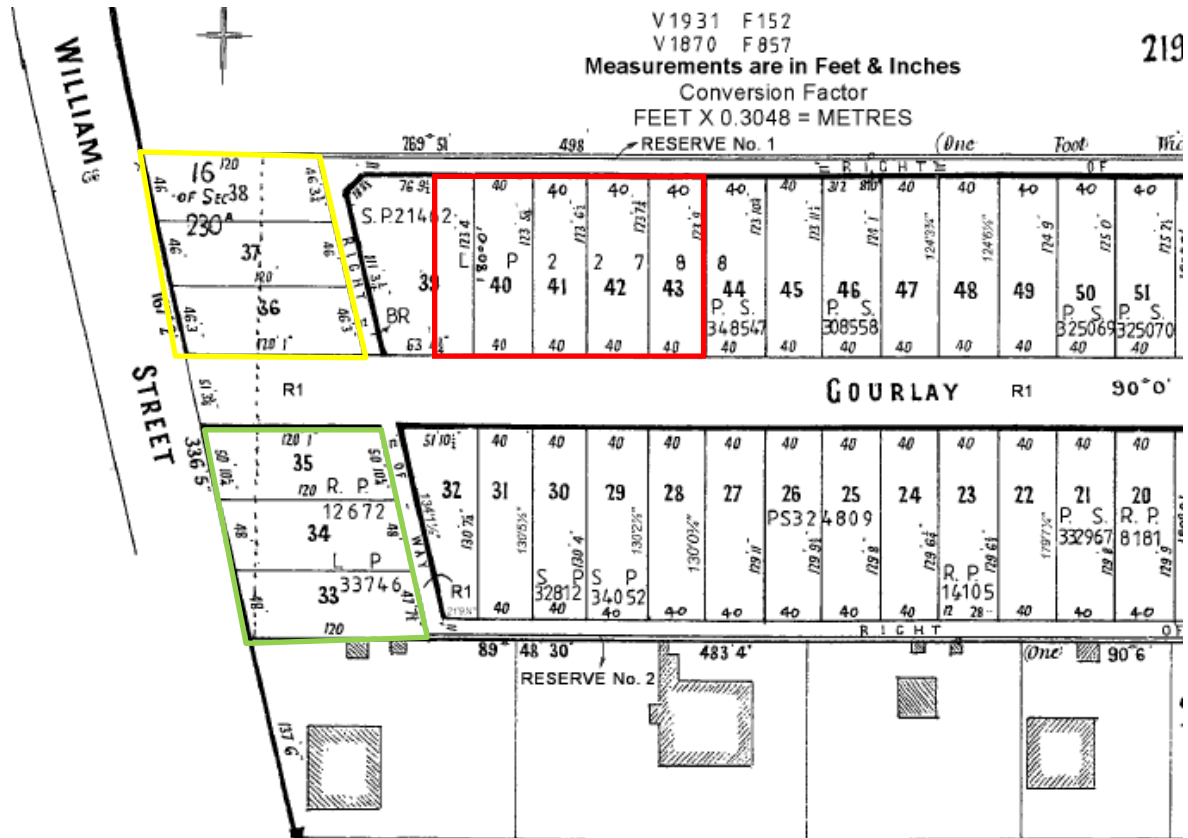


Figure 13 – 1887 subdivision of Gourlay and adjoining part of William streets, showing approximate location of Aberdeen terrace (yellow, 58-72 William St), Roseberry Terrace (red, 4-22 Gourlay St) and Chusan Terrace (later Grosvenor Mansions) (green, 74-80 William St). (Source: LPI 630)

The last two subdivisions in the precinct area during the 19th century were undertaken in 1888. The section including 46-50 William Street and the adjoining section of the Avenue (nos 1-3, 2-6) were part of a 60 lot subdivision which extended to Hotham Street (LPI 1833; 21 Mar 1888). Houses were being constructed in the Avenue by April of that year when plasterers were being sought (Age 30 April 1888 p7). The other subdivision related to 13 blocks in Lynott Street and the adjacent part of Duke Street. This subdivision was advertised to ‘builders, speculators and others’ and related to land ‘lately occupied by Charles Lynott, Esq’ and his ‘comfortable weatherboard villa, containing eight rooms and all conveniences’ (Age 26 Sept 1888 p7).

During the late 1880s, construction activity in the south and eastern portions of the precinct was high, including infrastructure. For instance, during 1887 the Borough of St Kilda were seeking tenders for formation, channelling, etc. in Gourlay Street (Age 26 Sept 1887 p7) and in 1889 water mains were being laid in various streets by the MMBW - Brunning, Grosvenor, Gibbs, Gourlay (Age 15 March 1889 p3).

Some tender notices of this time include two from local builder/plumber Henry French for works to properties in Brunning Street: for plastering six cottages in late 1888 (Age 14 Nov 1888 p10) and asphaltting in early 1889 (Age 13 Feb 1889 p7). Later that year, the architect William Rain called for tenders for internal decoration (paper hanging, painting, distempering) for 10 two-storey houses in Gourlay Street, relating to Roseberry Terrace at nos 4-22 (Age 12 Nov 1889 p8).

Review of the contemporary directories also emphasises the rate of construction in this part of the precinct. For instance, in 1885 there were seven listings in Gibbs Street, which nearly doubled by 1890. Similarly at the east end of Rosamond Street, between Woodstock Street and the railway,

there were 18 listings in 1885 and 26 in 1890, however there was little change in Nightingale Street (SM).

In 1885, most of existing houses on the north side of Grosvenor Street between Woodstock Street and Brighton Road had been constructed, whereas the land on the south side and Brunning Street was only subdivided in that year. Five years later, 17 houses had been erected on the south side of Grosvenor Street between Gibbs and Woodstock streets including a block of eight being vacant (half survive at nos. 47-53, with a 1950s block of flats at no 39 replacing the other four). Similarly, rapid development had taken place in Brunning Street as on the north side between Woodstock and Gibbs streets, 17 residences had been completed, and 17 on the south side (SM).

The two shops in the precinct area were constructed at this time. The corner site at 41 Nightingale Street was listed from 1885, though the shop may not have been constructed until 1890, when a grocer George Walker was listed at the site. In 1903, a carpenter William Nichols was probably employing the shop; in 1905, a ladies nurse, Mrs Ellen Sanders, though it may not have been used from about 1907 (SM).

The corner shop at 31 Marlborough Street had been constructed by 1892 for Mrs Ryan, a greengrocer. Subsequently it continued to be employed as a greengrocer or a fruiterer for a few years (SM), later changing to a grocer (1920s) and boot repair (1974).

By the end of the 19th century, much of the precinct area had been developed, as outlined on a series of MMBW plans (Figure 14), and a considerable proportion of that building stock survives.

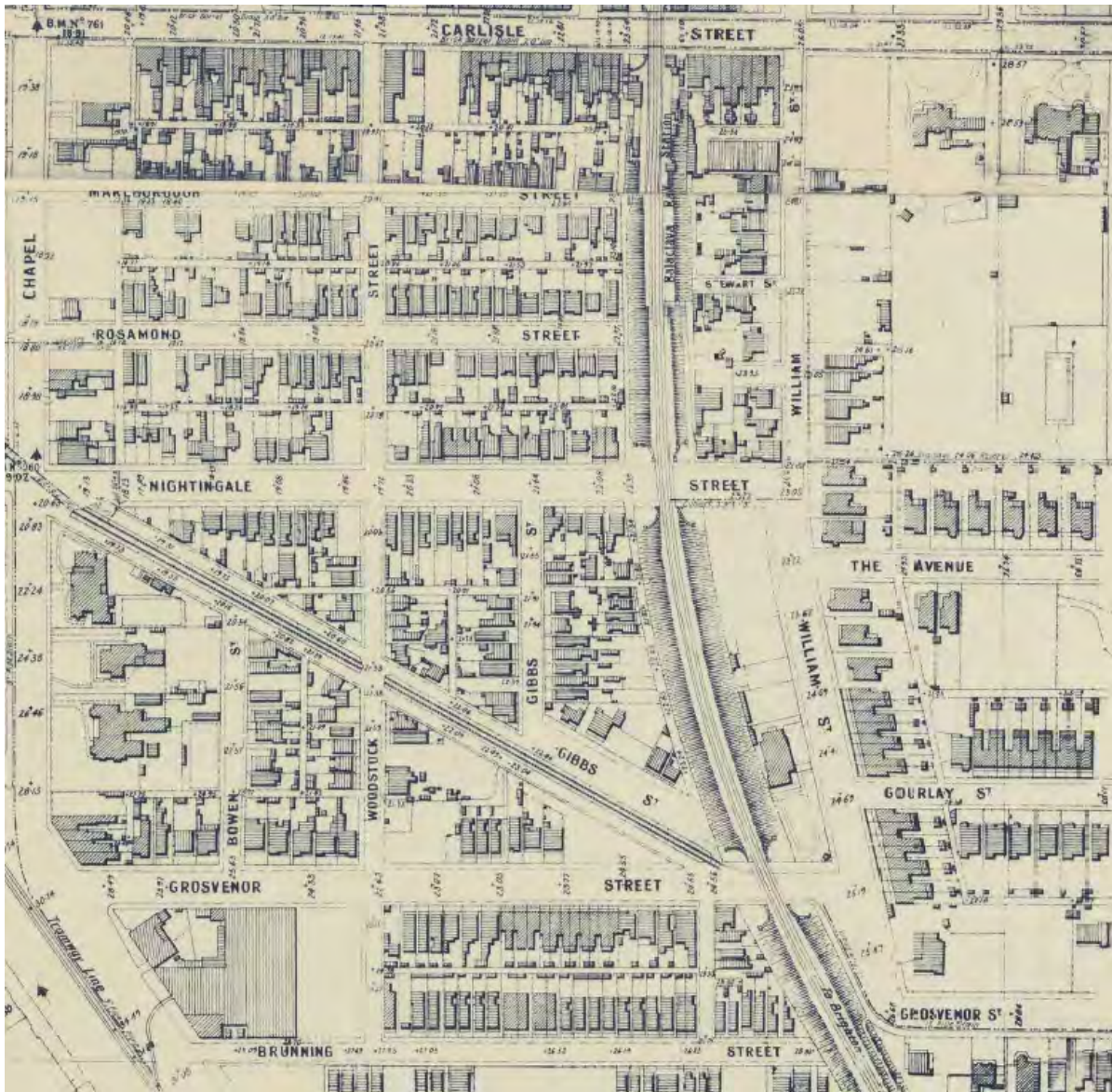


Figure 14 – 1896 MMBW no. 45 (Source: SLV)

South of Carlisle Street and west of the railway line, the Blenheim Park Estate area (Marlborough to north side Nightingale streets) was fully developed, as was most of the Grosvenor Estate (south side Nightingale to north side of Grosvenor streets), and much of the Grosvenor Gardens Estate to south side of Grosvenor to south side of Brunning streets).

East of the railway line, the three surviving villas at 46-50 William Street had been built however the narrow lot of no. 44 was vacant (MMBW 1438, 1898). Further to the south, the three large terrace groups had been constructed. South of Goulay Street was Chusan Terrace (SM 1890), initially comprised of eight houses however converted to 16 flats by H R Lawson in about 1919 and now known as Grosvenor Mansions (**PPHR 910**). 58-72 William Street, initially known as Aberdeen Terrace, consisted of eight premises (SM 1892). Roseberry Terrace at 4-22 Goulay Street had been completed in 1889. Each of these three terrace groups were owned by one entity in 1891 – Carney + Kelly for Roseberry Terrace and the Victorian Permanent Building Society for the two in William Street (RB). The nearby timber villa at 26 Goulay Street is one of only a few in a street that originally was fully developed with similar housing except for Roseberry Terrace (MMBW 1441, 1898).

On the west side of William Street, there was a large villa occupied by the architect F M White and his family where the William Street Reserve has been established. The two villas to the north near the corner of Nightingale Street were constructed by Mrs Harriet White after her husband's death and are among the few known buildings to be designed by architects in the precinct area. Her son Alfred White designed Honiton at 29-31 William Street in 1896 and Kempson & Conolly designed Kergunyah (no.33) in 1898. A third villa also constructed in 1898 was demolished to make way for the William Street Reserve (**PPHR 2449**).

Infill development in the twentieth century

The turn of the century heralded an upturn in Victoria's fortunes after the 1890s economic depression. As an indication of the recovery during the early 20th century, the population of St Kilda almost doubled between 1901 and 1921, rising from 20,500 to 38,500.

Construction in the precinct area during the Federation period, circa 1900 to World War I, however, was limited and mostly occurred in discrete areas of undeveloped land or vacant lots subdivided in the late nineteenth century.

In the north section, Glenmark Avenue and adjacent land in Chapel and Duke streets was developed between 1910 and 1915, replacing earlier houses evident on the MMBW plan, as follows:

- 22-26 Duke Street. In 1911, a group of three houses - two semi-detached and one detached villa – were constructed by A Rasmus (BP 1213). They were not listed in 1910 but were in 1912 (SM).
- Glenmark Avenue. From 1913 to 1915, the Malvern East based builder J C Tainash constructed all 15 houses (BP 2057, 2067, 2102, 2119, 2195, 2392, SM).
- 28-32 Duke Street. In 1915, three brick cottages were probably constructed by G Simpson for Miss Mitchell (AAI, registration no. 2766).
- 133-139 Chapel Street. Also in 1915, another four brick cottages were constructed by G Simpson for Miss Mitchell (AAI, registration no. 2689).

Two houses on the south side of Duke Street – nos. 5 and 25 – were also constructed at this time (SM). The development within this area prompted St Kilda Council to form and improve the local streets. In 1914, Council accepted the tender for public works of Messers McLeod and Co., presumably for the surfacing and/or channelling of Glenmark Avenue (PC, 8 August 1914, p4).

In the south section below Carlisle Street, there was limited development on the few remaining vacant lots:

- The two brick houses at 22 and 24 Grosvenor Street were erected by the builder Samuel Brooks in 1906 (BP, 363), who resided at no. 24 (SM).
- The brick house opposite at no. 19 at the corner of Woodstock Street was constructed in 1907 by the Leonard Brothers (BP 489).
- In 1912, two weatherboard cottages were built by J Toomath, likely the pair at 35-37 Brunning Street (BP 1780).

In 1911, what had been Drain Street was renamed Bothwell Street (MS, 2 December 1911, p2).

The development during the Interwar period was largely replacement or renewal, often with/to blocks of flats. The remodelling by Howard R. Lawson of the former eight house Chusan Terrace into the 16 flats of the Arts & Crafts style Grosvenor Mansions in 1919 was an early example. In 1925, Wild Court at 66 Pakington Street, named after its owner E. Wild, was constructed by E Jennings & Sons, who were responsible for other buildings in the municipality (BP, 6207).

There were however two sites in Brunning Street which remained vacant until this time - no. 39 constructed in 1918 (BP 3782) and no. 14 in 1924 for George Stuart (BP 5908). Curiously the house at 20 Grosvenor Street, was not listed until about 1930 although the house is indicative of the earlier Federation period (SM).

Other minor changes that occurred about this time included the likely widening of the house (western part) at 49 Marlborough Street (definitely evident on the 1945 aerial). The drain along Bothwell Street may have remained open extended into the southern edge of the school site (other side of Chapel Street) and had an established canopy of trees. Small tree specimens were evident in only a few streets – the east end of Duke, west end of Grosvenor, and Pakington (1931A).

Two blocks of flats were erected in the precinct area during the late 1930s, with those at 45 Rosamond Street during 1936 by the builder E & G Gallagher (BP 9526). Alma Court at 18 Duke Street was constructed in the following year by the Gynge Brothers, who were responsible for other significant buildings in the municipality (BP 9635).

The 1945 aerial photographs (Figures 15-17) show the precinct area essentially as it remains. No more street planting had been undertaken since 1931, however the trees along Bothwell Street had been replaced and a grassy reserve had been established to the centre. The palm trees at 18 Duke and 45 Rosamond streets are evident on these aerials.



Figure 15 - 1945 aerial photograph – North section, flats at 18 Duke Street evident (Source: Landata, Project no. 5, Run 17E, Frame 58012)



Figure 16 - 1945 aerial, middle section, flats at 45 Rosamond Street highlighted. The main drain along Bothwell Street had been enclosed by this time (Source Landata, Project No. 5, Run 17E, Frame 58013)



Figure 17 - 1945 aerial, southern end of precinct (Source: Landata, Project No. 5, Run 16, Frame 57848)

Since World War II, one further block of flats was erected at 20 Duke Street in 1959 (BP 57/628), replacing the Alma Hall built during the 19th century.

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- St Kilda Council building permit records, various (BP)
- St Kilda Council Rate books (RB)
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3.0 Description

The precinct consists of the residential areas north and south of Carlisle Street in the vicinity of the main drain, with the former being smaller than the latter. The north section is located in St Kilda and extends between Pakington and Duke streets. The larger southern section pivots about the railway between Marlborough Street (north) and Brunning Street (south) on the west side and incorporates a smaller area to the east side in William and Gourlay streets.

The topography is essentially flat throughout the precinct area with a typically regular grid of streets. The railway line cuts through the eastern part of the precinct and the early bluestone drain (Figures 18 and 19) is a distinctive part of the northern section. The drain is open nearly the whole length between Brighton Road and Chapel Street. The drain has a coping of large basalt blocks, rock-faced with a margin. The side walls have been rendered over but the underlying basalt is evident, where the latter has failed. The floor of the drain is also lined with basalt blocks. The larger southern drain along Bothwell Street, etc. where it disrupts the traditional grid pattern of streets has been enclosed and joins behind 12-18 Martin Street (outside the precinct).



Figures 18 & 19 – section of early bluestone drain west of Lynott Street (left) and east of Lynott Street (right)

A high proportion of the housing stock dates to the Victorian period, with a few pockets from the Federation period, as well as scattered examples from the Interwar period, typically flats. There is also limited number of later 20th or early 21st century buildings. The buildings are predominantly single storey except for a few terrace groups and blocks of flats.

There are basalt lined laneways throughout the precinct area (Figure 21). Kerbing and channelling is also basalt and crossovers are concrete, though there are few of the latter. The footpaths are generally asphalt. The street planting varies, including native and exotic species, and mostly dates to the second half of the 20th century, though the trees to the grassy reserve over the enclosed drain along Bothwell Street, mostly Ash, date to circa 1940 (Figure 20).



Figures 20 & 21 – Bothwell Street reserve (left) and typical laneway (right)

Victorian period

The Victorian period buildings tend to be timber, especially those in the Blenheim Park Estate and to the south in the Grosvenor Estate/Gibbs Street and the Grosvenor Gardens Estate (Brunning, and south side of Grosvenor, streets). Alternately most of the buildings west of the railway line, in Gourlay and William streets, are masonry, as well as some in Brunning Street.

The timber residences are more commonly modest cottages than double-fronted examples, though only a few of the latter type are substantial enough to be classified as villas. Walls are clad in weatherboards though ashlar boards to the façade were popular from the 1880s (for example 27-31 Rosamond Street, 34 Nightingale Street).

The larger timber houses mostly have symmetrical facades with a verandah extending the length of the façade, but some have an asymmetric frontage with an offset verandah, recessed behind a projecting bay. Distinctive examples of the later include 18 Grosvenor Street which has a broken

bed pediment/gable roof to the bay. The associated window frame complements the roof form and is relatively ornamental. Further west in the same street at no. 2 is rendered brick house with decorative mouldings to the paired windows of the projecting bay.

Only a few Victorian period houses retain slate clad roofs (for example 29 Marlborough, 46-50 Pakington streets), though many from that period were also likely clad in slate (as suggested on historic aerials). In most instances, the slate has been replaced with corrugated sheet metal or in some cases the 'faux tiled' metal sheeting. Roof forms are more commonly hipped than gabled, with concentrations of the latter in Gibbs and Rosamond streets, as well as the south side of Brunning Street. Gable ends feature either bargeboards (for example scalloped at 5 Gibbs Street) or a cast iron fringe (15 and 16 Gibbs Street, 24-28 Rosamond Street, 4 and 6 Lynott Street), though several have a broken bed pediment format featuring console brackets with drop ornaments (for example, 23 Brunning Street as shown in Figure 22, as well as 37-41 Duke Street). Some double fronted houses have a transverse gable roof, that is the ridge is parallel to the street (for instance in Gibbs, Nightingale, Pakington streets, and a continuous group at 1-5 Lynott Street). Only a few of the hipped roof type include a parapet.



Figures 22 & 23 - 23 Brunning Street (left), broken bed gable with cast iron fringe, 19 Nightingale Street (right), typical Victorian period rendered chimney

Many chimneys are rendered with moulded caps, 29 Nightingale Street featuring panels of vermiculation, but some are polychrome brick (especially the 1880s examples) with corbelled caps and banding, some of the latter including dogtooth brickwork. Cornices are articulated with alternating brackets, often paired, and panelling (in timber or brick). Verandahs are a standard feature predominantly with timber posts, rather than cast iron, though the friezes are usually cast iron. Some friezes are set within a timber frame with cast iron brackets - for example 4-8 Lynott Street. Also, there is a rare timber frieze at 41 Pakington Street (Figure 24). Verandah roof forms are generally hipped or skillion, and profiles range from bullnose, straight, to concave. There are also some rare gentle 'ogee' profiles, such as at 27 and 33 Duke Street.

Original front doors are typically panelled, and windows are timber-framed double-hung sashes often in a tripartite configuration. 41 Pakington Street is a rare example which retains early two-paned sashes. Few examples have/retain any decorative glass but 34 Nightingale (Figure 25) has leadlight and stained glass to the narrow side sashes.



Figures 24 & 25 - 41 Pakington Street (left) and 34 Nightingale Street (right)

There are several surviving Italianate style villas east of the railway in an area which was extensively developed with that type. The only timber example at 26 Gourlay Street has a faceted bay with a window to each of the three faces.

Adjacent to each other in William Street (nos 46-50) and The Avenue (nos 1, 3, 4 & 6), is a group of mostly intact, rendered masonry villas. Those at 46 and 50 William Street have vermiculation to the quoining, sill of the window below the verandah, and keystone of the windows to the faceted bay. Decorative cast iron cresting survives to the faceted bay of no. 50, whereas the villa at no. 48 has a squared bay and less ornamentation (possibly altered as it followed the alternating pattern of squared and faceted bays on north side of the Avenue and remains at no. 6). Three of those in The Avenue (nos 1, 3, 4) retain slate clad roofs. Nos 1 + 3 have vermiculated quoining similar to 46 William Street however with paired windows below the verandah rather than a tripartite window.

On the west side of William Street are some of the most distinctive houses in the precinct at nos **29-31 and 33** which feature diamond quoining brickwork to their symmetrical façades. Elaborate detailing, in particular the timber screen to nos 29-31, defines the three gable ends (outer major and inner minor).



Figures 26 & 27 – 46 (left) and 33(right) William Street

The masonry houses from the Victorian period typically have bichrome, cream and brown (some featuring Flemish bond and diamond patterning), where they have not been painted. There is a rare group of row houses with a continuous gable roof at 33-37 Grosvenor Street, and a similar group nearby which are freestanding with hip roofs at nos 21-25. On the north side of Nightingale Street, there are two small groups of row houses both with a continuous hip roof at nos 38-42 and 56-58. On the north side of Pakington Street, there is a co-joined group of paired row houses with individual hipped roofs: nos 46-48 (polychrome, and both retaining slate cladding), nos 50-52 (brown brick), and nos 54-60 (paired windows with fluted central muntin). Only a few examples in the

precinct are polychrome, that is also include red brick. A pair nearby on the south side of the street at nos 29+ 31 feature ornate rendered parapets.



Figures 28 & 29 – 46 & 48 (left) and 29 & 31 (right) Pakington Street

Other terrace groups survive, all masonry and with parapets:

- Aberdeen Terrace, 58-72 William Street – bi-chrome brick, parapet with circular openings and shell in pediment, varying cast iron detailing.
- Roseberry Terrace, 4-22 Gourlay Street – similar to Aberdeen terrace. (Figure 30)
- 47-53 Grosvenor Street – displaying an Anglo-Dutch style influence to the parapet with Dutch gables, orbs. (Figure 31)
- 40-44 Blenheim Street – parapet decoration has been removed and the balustrade replaced. No. 44 is different to 40-42 and likely was bi/polychrome (suggested by the quoining).



Figures 30 & 31 - Roseberry Terrace, Gourlay Street (left) and 47-51 Grosvenor Street (right)

Two residences also include a former corner shop, both altered to varying degrees – a timber example at 31 Marlborough Street (Figure 32) and a masonry example at 41 Nightingale Street (Figure 33). Interestingly the associated house at the latter site has a brick façade with timber behind.



Figures 32 & 33 - 31 Marlborough Street (left) and 41 Nightingale Street (right)

A few Victorian period houses have been altered with an Interwar period verandah, that is, one that includes some masonry elements – for example 45 Nightingale and 13 Brunning streets.

Federation period

Generally, houses from the Federation period in the precinct are modest versions of the Queen Anne style. Characteristically they feature picturesque roofs with a front gable end and are clad in terracotta tiles, some with decorative crestings and/or finials to the main ridge. Whilst gambrel roofs were popular at this time, they tended to be on larger houses than those evident in the precinct. Chimneys are red brick with corbelled caps and possibly a band of roughcast render and terracotta chimney pots. Walls are either red brick with rendered band (at sill level) or timber-framed clad in weatherboards and might include a band of shingled/notched boards, though ashlar boards continued to be employed. Gable ends usually are battened with roughcast finish (sheeting or render) and verandahs are supported by turned timber posts and decorated with timber fretwork or sometimes with cast iron frieze. Doors are panelled some with glazing to the upper panel and casement windows with highlights (some with leadlight and/or stained glass) are favoured to the façade/front of the building.

The largest cluster of Federation period housing is in the north section of the precinct and includes Glenmark Avenue in conjunction with the adjacent parts of Duke and Chapel streets. Glenmark Avenue is a cul-de-sac with 15 houses all dating to the early 1910s. This Federation period group is very distinctive and would probably qualify as a precinct on its own right. Whilst all constructed by the same builder, there are three different types – nos 1-9 are unusual row-like houses (two pairs and one freestanding) with transverse gable roofs; nos 2-12 are narrow mirrored pairs and nos 11-17 are wide, mirrored pairs. All have exposed rafter ends, paired casement window with highlights, typically retain a timber verandah frieze, and the houses with the gable ends feature either shingles or a roughcast render. Undoubtedly, they all are red brick to the façade, though about half have been overpainted.



Figures 34 & 35 – 6+8 Glenmark Avenue (left) and 28 Duke Street (right)

The abutting group of seven at 28-32 Duke and 133-139 Chapel streets have consistent detailing (and were erected by another builder) including vermiculated bands, faceted or square bays, tulip motifs to some of the timber friezes with low balustrade wall, and stained glass to some highlights with floral motifs. Also dating to the Federation period in Duke Street are a group of 3 brick houses at nos 22-26 and timber examples at nos 5-7 with a lower band of shingled/notched boards and no. 25 with a vermiculated render panel to the brick wing wall.

There is a group of three Federation period houses at 20-24 Grosvenor Street. No. 20 has a gambrel roof, is timber-framed with dado, and more unusually for the period has a symmetric façade. No. 22 is (painted) brick with roughcast render to gable end and battens over, and no. 24 is red brick with a curved timber frieze to the verandah. Opposite at no. 19 is another brick example to a corner. There are few timber examples to the south side of Brunning Street including a free-standing pair at nos 35 and 37 (Figure 37) with battens and roughcast sheeting to the gable end.



Figures 36 & 37 – 37 Pakington Street (left) and 37 Brunning Street (right)

Whilst the Queen Anne style was the dominant residential design mode during the Federation period, the classicising, Italianate mode of the late 19th century continued to be employed. This is referred to as the Victorian Survival style, however they are readily identified by the tell-tale, tall corbelled, red brick chimneys indicative of the Federation period (for example 32 Nightingale Street (Figure 38), this is an unusual example of where an earlier house was replaced at this time) and often have paired longer double-hung sash windows, for instance at 19 Brunning Street (Figure 39).



Figures

38 & 39 – 32 Nightingale Street (left) and 19 Brunning Street (right)

Interwar period and later

The residential buildings from the Interwar period are a mixture of small houses and larger blocks of flats. Nearly all the buildings are masonry and have tile clad roofs. During the 1920s gable roofs were favoured, especially examples of the Bungalow style, whereas during the 1930s, hip roofs were typically employed, possibly in combination with a gable end.

There are four bungalows from the 1920s characterised by red brick and render to the walls, boxed frame windows (multi-paned upper sashes), and a side entry (recessed or in a small porch). The example at 44 William Street retains white, tuck-pointed clinker brick banding of soldier coursing. There are also two brick bungalows in Brunning Street at nos 14 + 39 and a timber-framed example at 54 Nightingale Street (Figure 40) with squat columns above a lower walled balustrade.



Figures 40 & 41 – 54 Nightingale Street (left) and 14 Brunning Street (right)

One block of flats from the 1920s is indicative of the Arts and Crafts style. The block at 66 Pakington Street (Wild Court, Figure 42) is mostly roughcast rendered on a clinker brick base and has a central first floor porch with curved timber brackets and paired posts to the corner piers. The stairs are a prominent feature to the front.



Figures 42 & 43 –Wild Court, 66 Pakington Street (left) and Grosvenor Mansions, 74-80 William Street (right)

There is one example of a remodelled Victorian era terrace house group, in which each house was divided into two flats - **Grosvenor Mansions** at 74-80 William Street (Figure 43), also in the Arts and Crafts style and has roughcast render walls and decorative battening of the gable ends

The fewer residential buildings dating to the 1930s in the precinct are relatively restrained in their detailing. The flats at 18 Duke Street (Alma Court) and 45 Rosamond Street (Figure 45) both display some Moderne style influence in their horizontal emphasis including banding to clinker brick sections. The latter also have glazing bars to the upper window sashes. Both are complemented by mature palms, three Canary Island Date Palms along the side of Alma Court, and one Washingtonia at the front of 45 Rosamond.

The semi-detached pair at 43-45 Blenheim Street are rendered with some brick highlights, concrete hoods, fluted columns to the porches. The semi-detached pair at 39-41 Rosamond Street (Figure 44) includes geometric decorative glass to the upper sashes and a gable end is suggestive of a Tudor Revival style, another style that was popular at that time. Both semi-detached pairs have hipped roofs clad in concrete pantiles.



Figures 44 & 45 – 39-41 (left) and 45 Rosamond Street (right)

There has been minimal development or replacement of earlier building stock in the precinct since World War II. Examples include the two storey flats at 20 Duke Street, 39-45 Grosvenor Street as well as isolated houses in Brunning, Pakington, Gibbs and Rosamond streets.

4.0 Comparative Analysis

At the core of the Balaclava Flats Residential Precinct, and some of its fringes, there is a concentration of 19th century workers' timber cottages, which represents the most extensive and cohesive surviving remnants of this typology in St Kilda, with the more substantial buildings mainly to the east of the railway line and a few to the southern end.

Within the City of Port Phillip, timber cottages are ubiquitous in Port Melbourne when industrial development in the 1870s and '80s stimulated the need for workers accommodation (HO1, especially the West and East sub-precincts). This housing type had also been common in the Montague area (Gladstone to Thistlethwaite streets in South Melbourne) but little of it remains. Similar housing proliferated in other inner suburbs of Melbourne during the late nineteenth century, such as Richmond, Collingwood and Brunswick.

This type of housing, however, was less common in St Kilda, which, befitting its status as a prestige residential address, developed with larger villas and mansions of brick, stone and timber construction, especially on the higher ground. The less affluent inevitably converged on the cheaper, poorly drain Balaclava Flats in the vicinity of the railway line.

By the end of the 19th century, the pattern of intense timber cottage development on the flats extended from about Argyle Street in the north to the main drain (Bothwell Street) in the south, mostly west of the railway line, though there were some sections east of the railway near Inkerman Street (such as Sebastopol to Prentice streets). Often the street widths in these areas were narrower than those in the upmarket areas. West of Chapel Street, there were also less extensive clusters in Duke and Lynnot streets.

Patches of this development survive in other streets such as Camden Street, Leslie Street, Linton Avenue and Queen Street, however the Victorian phase (and latter Federation and Interwar period phases) have been largely overwhelmed by development from the late 20th and early 21st centuries of usually of a markedly different character.

A small enclave does however survive in Chusan Street Precinct, East St Kilda (HO385). This precinct consists almost entirely of modest single-fronted weatherboard cottages which were erected between 1885 and 1888. The exceptions amongst the significant buildings include two double-fronted Victorian villas and one brick cottage from the Federation period house.

The narrow streets at the south-west end of the St Kilda Hill Precinct (HO5), mainly Clyde to Havelock, are comprised of smaller residences - timber cottages from the Victorian and Federation periods, as well as paired brick houses from the Federation period. This precinct otherwise is generally comprised of larger residences, including some mansions, and blocks of flats, which are located on the wider streets further north.

East of the railway, the precinct character varies as there is more substantial, mostly brick housing. This section compares with the smaller HO317 Hotham Street precinct, nearby in Balaclava. HO317 consists of only a row of four, two-storeyed terraces and three asymmetrical villas built in 1888. The comparative part of the subject precinct is however distinguished by the three villas at 29-33 William Street and the Arts and Crafts style Grosvenor Mansions.

South of Bothwell Street and at the north-west corner, the subject precinct consists of a mixture of timber and brick housing dating from the Victorian and Federation periods. Part of other precincts, such as the Railway Reserves sub-precinct of HO1 has a similar character but these parts of the subject precinct form highly intact streetscapes.

Also, the Federation period group in Glenmark Avenue and surrounds is very distinctive and compares with similar enclaves such as Moodie Place (and surrounds) and Lambeth Place in HO6 St Kilda East.

5.0 Statement of Significance

What is significant?

The Balaclava Flats Residential Precinct comprising two sections north and south of Carlisle Street is significant:

- The north section is in St Kilda between Pakington and Duke streets, and includes Lynott Street and Glenmark Avenue. It also includes the full extent of the exposed network drain between Chapel Street and Brighton Road.
- The south section is in Balaclava between Marlborough Street extending as far south as Brunning Street, generally between Woodstock Street (west) and William Street (east), and some adjoining properties in Gourlay Street and The Avenue.

The following features contribute to the significance of the precinct:

- Victorian period houses including single fronted timber cottages, larger timber and brick villas and brick terraces. Typically have hipped roofs (some retaining slate cladding), rendered chimneys, timber-framed double-hung sashes and verandahs with cast iron friezes. Brick houses are typically bichrome or polychrome.
- Federation period houses including red brick and timber. Typically have gable ends with battening and roughcast finish, terracotta tile roof cladding, red brick chimneys, timber windows with highlights and leadlighting, and verandahs with timber fretwork or cast-iron frieze.
- Interwar period houses (mostly brick) and flats, as well as fences. Typically have gable (1920s) or hipped (1930s) tile clad roofs, porches supported by masonry piers and columns, and multipaned timber windows.
- Former shops (attached to residences) from the late 19th and early 20th century.
- The palms at 18 Duke and 45 Rosamond streets.
- The exposed basalt drain between Chapel Street and Brighton Road.
- Basalt lined laneways and kerbing and channelling.
- Ash trees along Bothwell Street.

The Significant places within the precinct are 29-31, 33, 74-88 William Street

The Non-contributory properties are:

- 9 Brunning Street, Balaclava
- 12-14, 20 Duke Street, St Kilda
- 4, 6, 8, 8A, 14 Gibbs Street, Balaclava
- 2, 24, 24A Gourlay Street, Balaclava
- 4A, 4B, 29, 31, 39-45 Grosvenor Street, Balaclava
- 10, 12, 14 Lynott Street, St Kilda
- 35, 53 Marlborough Street, Balaclava
- 20 Martin Street, St Kilda
- 29A, 31A, 33, 35, 37A, 39 Pakington Street, St Kilda
- 35 Rosamond Street, Balaclava

All other properties not specified above are Contributory places within the precinct.

How is it significant?

The Balaclava Flats Residential Precinct is of local historical, representative and aesthetic significance to the City of Phillip.

Why is it significant?

Historically, the Balaclava Flats Residential Precinct is significant as a representative and substantially intact example of mainly Victorian period housing, much of it resulting from three key subdivisions – the Blenheim Park Estate (1857), the Grosvenor Estate (1873) and the Grosvenor Gardens Estate (1885). It contains the main remnants in the Balaclava area of the once more extensive zone/s of working-class, timber cottages. This housing is complemented by other areas of late 19th century streetscapes which are more diverse and include brick villas and terrace groups. At its core is the original drainage system part of which remains visible between Duke and Pakington streets. This significant early piece of infrastructure by St Kilda Council was constructed during the early 1860s and allowed for the former reserve (between Nightingale and Brunning streets) to be sold by the government as freehold. (Criteria A & D)

The humble living quarters of the Victorian working class are demonstrated in many of the streetscapes with rows of modest timber cottages, night soil lanes, and unusually two corner shops survive (albeit no longer in operation). Within the City of Port Phillip, this housing type was widespread and ubiquitous in Port Melbourne and South Melbourne, but was much less common in St Kilda. This housing developed on the flats in Balaclava where much of the land was cheap during the 19th century due to the poor drainage, though this hindrance was at least partly resolved with the construction of the main drain between about 1858 and 1865, and conveniently located near the railway line operating from late 1859. The precinct also demonstrates the recovery that occurred during the Federation period with some groups of similarly scaled houses and continued during the Interwar period with a few interspersed buildings, including some blocks of flats, which overall forms cohesive streetscapes. (Criteria A & D)

Aesthetically, the precinct is significant for its many streetscapes of modest 19th century housing of predominantly single-storeyed, single-fronted detached cottages with either a gabled or hipped roof, many retaining their original face brick or rendered chimney/s, but often enlivened by a cornice (if hipped) and a verandah, usually with cast iron detailing but invariably with timber posts. These are complemented by groups of Federation period houses, which are concentrated in, and near, Glenmark Avenue (semi-detached), which is a cohesive enclave of varying but complementary groups, and near the corner of Grosvenor and Woodstock streets (freestanding). These Queen Anne style houses, which are mostly red brick with terracotta clad roofs (usually hipped with prominent gable ends) and timber detailing to porches, add to the consistency of the streetscapes. Additionally, the precinct contains several fine buildings, including most of the Italianate style or Flemish influenced villas and terrace or row groups in William and Gourlay streets and a few in Grosvenor and Pakington streets, the Victorian Survival house at 32 Nightingale Street, and some Interwar period blocks of flats, especially the Arts and Crafts styled Grosvenor Mansions (74-88 William Street) and Wild Court (66 Pakington Street). (Criterion E)

6.0 Recommendations

Excise from HO7 and HO439 to create separate precinct heritage overlay.

Apply the following controls in the schedule to the heritage overlay:

- Tree controls (to 12-14 Duke Street and 45 Rosamond Street),
- Fence controls (to Interwar period flats).

-
- External paint controls to 29-31 and 33 William Street, Balaclava and 74-88 William Street, Balaclava

Extensions recommended (that is, not currently within the HO as part of HO7 or HO439):

- The exposed drain between Chapel Street and Brighton Road.
- 1-3 and 4- 6 The Avenue

Removals recommended (that is, currently part of HO7):

- 32-44 & 37-47 Blenheim Street. This is a small, physically disassociated group of residences of moderate integrity, despite being consistent with the period of significance for the precinct.
- 3-17 Grosvenor Street, 2-10 Brunning Street and 1A- 1F Woodstock Street. These are Non-Contributory places.
- The Sandringham Railway embankment currently included within HO7 between and beside the individual HO 147 overlays that apply to the railway bridges at Nightingale and Grosvenor streets and the William Street Reserve at 35-39 William Street. These areas do not contain historic fabric relating to the periods of significance.
- 45 Brunning Street. Non-contributory house at edge of precinct.

Transfers the following individually significant places on Brighton Road from HO7 into new separate individual heritage overlays:

- Grosvenor Hotel, 10 Brighton Road (PPHR 301)
- Former Melbourne Omnibus and Tramways Co. Building, 16 Brighton Road (Citation 2451)
- Yurnga flats, 36 Brighton Road (PPHR 302)

The following place with a PPHR citation becomes Contributory to the precinct:

- 32 Nightingale Street (PPHR citation no. 2353)

7.0 Assessment

RBA Architects & Conservation Consultants, *HO7 Elwood St Kilda Balaclava Ripponlea Precinct heritage review Stage 2, 2022*

Balston Street Precinct

Places of individual significance within the precinct that have a separate citation in the Port Phillip Heritage Review with additional descriptive and historical information are indicated in **bold**.

1.0 Thematic Context

Victoria's framework of historical themes

6. Building towns, cities and the garden state: 6.3 Shaping the suburbs, 6.7 Making homes for Victorians

Port Phillip thematic environmental history

5. Buildings and cultural landscapes: 5.2 Shaping the suburbs (5.2.2 Private development), 5.3 Diverse Housing (5.3.2 Workers and artisans housing, 5.3.3 Suburban bungalows)

2.0 History

The Balston Street Precinct formed parts of Crown portions 158A and 159A, each of 4 acres. The former (which relates to the northern half of Balston Street) was purchased by Henry Balston in September 1857 and the latter (which relates to the southern half of Balston street) by F Dingle and William Gilmour Murray in December 1857.

In early 1859, Henry Balston subdivided Crown portion 158A, creating allotments in the northern half of Balston Street and fronting the south side of Inkerman Street; in March, these allotments were advertised for sale for 20 shillings a foot (*Argus* 1 Mar 1859 p8). The 1859 rate book (dated March) indicates that a few of the allotments had been purchased.

The first houses in Balston Street were built during 1859, including one by May for John Wildbar (*Argus* 18 May 1859 p3). The 1860 rate book (dated March) records nine houses in Balston Street, mostly 2-roomed and either of 'wood and slate' or 'lath, plaster, and shingles' (possibly, wattle and daub walls with timber roof shingles). One dwelling was described as a one-roomed 'hut'. The surviving house at 16 Balston Street had been built by 1862 (RB March 1862 no. 1676) as a two-roomed wood house, with a net annual value of £6, owned and occupied by John Baggs. The April 1864 rate book records that most of the Balston Street houses were owner occupied. The occupations of the residents included labourer, bricklayer, milkman and gardener.

Also in 1859, the beginnings of a commercial zone were established in the nearby section of Inkerman Street, including the Inkerman Hotel on the west corner of Balston Street and shops at the corner of Malakoff Street. Also, the new Balaclava railway station was opened, located within a few minutes' walk from Balston Street.

Meanwhile, Crown portion 159A to the south was divided lengthways to create two 2-acre allotments, upon which substantial villas were erected fronting Carlisle Street by the early 1860s. The villa to the west, *Westbourne*, (Figure 1) was the home of William Gilmour Murray (one of the purchasers of Crown portion 159A), a merchant and one time mayor of St Kilda (1872-1873) (*Australian Town and Country Journal* 12 May 1888 p45). In 1879, following Murray's relocation to Sydney, *Westbourne* was sold and for a period thereafter it was used as a school. The villa to the east, *Woodslee*, was owned by George Rolfe, a successful merchant of Rolfe and Co., member of the Legislative Council, and owner of several properties in St Kilda.



Figure 1 - Westbourne 1860s-1870s (Source: State Library of Victoria, accession no. H87.9114)

The 1873 Vardy plan (Figure 2) shows eleven residences (10 timber and one brick) and two vacant allotments in Balston Street which at that time was still a dead-end street ending at the southern boundary of the original Crown portion 158A. The allotment sizes were varied, with frontages ranging between 29 feet and 147 feet. The earliest surviving house in the precinct, **16 Balston Street** (c.1862) can be seen on the plan. By this time

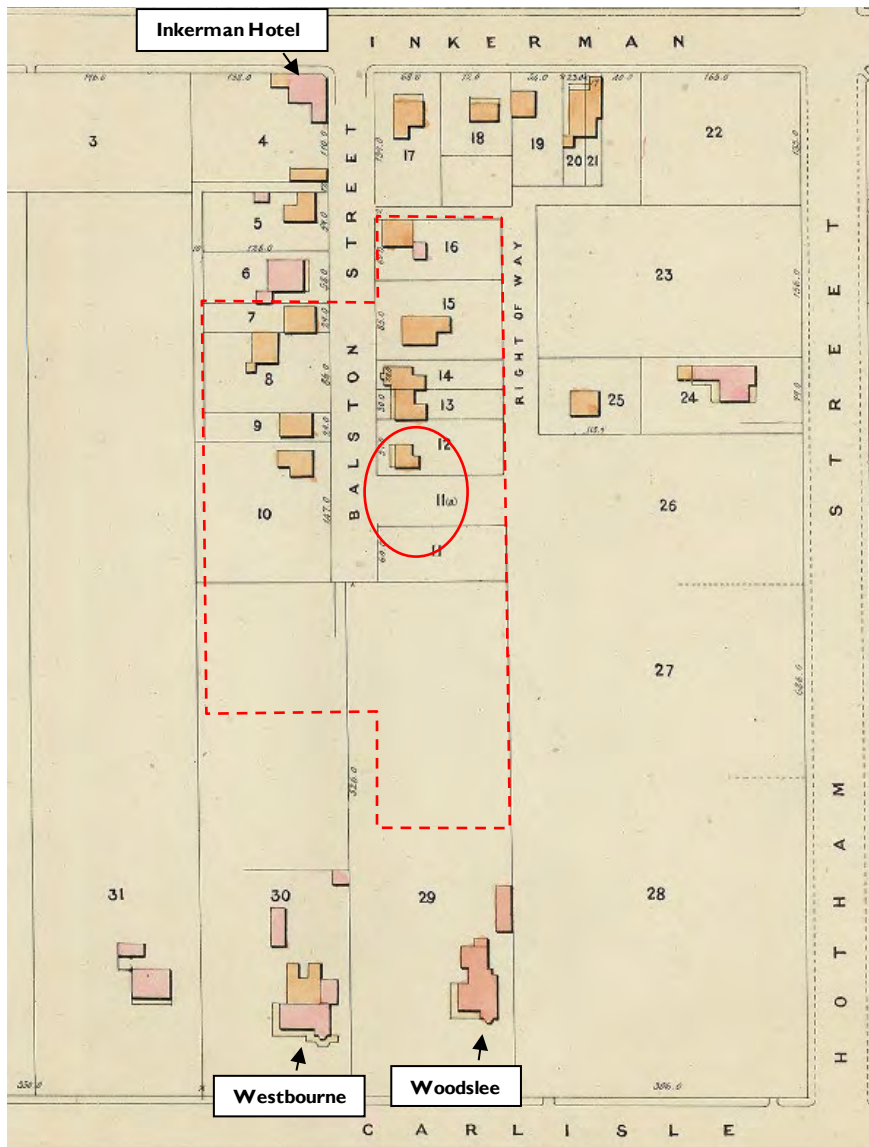


Figure 2 - Plan of the Borough of St Kilda, South Ward No. 3 (J.E.S. Vardy, 1873). Showing the north side of Inkerman Street, with the extent of the precinct indicated. Note, masonry buildings are shaded pink and timber buildings are shaded orange. The earliest surviving house, 16 Balston Street, is circled.

In August 1888, the grounds of Westbourne were subdivided, and Balston Street was extended (but it still did not continue through to Carlisle Street). Twelve allotments on the west side of Balston Street (southern half) and three to Carlisle Street, together with the villa Westbourne, were offered for sale (Age 25 August 1888 p.2). This sale coincided with the impending opening of two nearby tramlines: one along Chapel Street (from Carlisle Street) and the other along Brighton Road (from Brunning Street). The twelve Balston Street allotments were purchased by the one owner but remained undeveloped into the 20th century.

The 1898 MMBW plan (Figure 3) shows thirteen buildings in the northern half of Balston Street, including some which replaced earlier houses shown on the 1873 Vardy plan. Five houses which survive today (nos. 4, 10, 14, 16 and 18) are shown on the plan. The southern section of Balston Street created by the 1888 Westbourne subdivision had a different alignment to the current (further to the west, with a dog-leg) and still did not continue through to Carlisle Street and contained no houses.

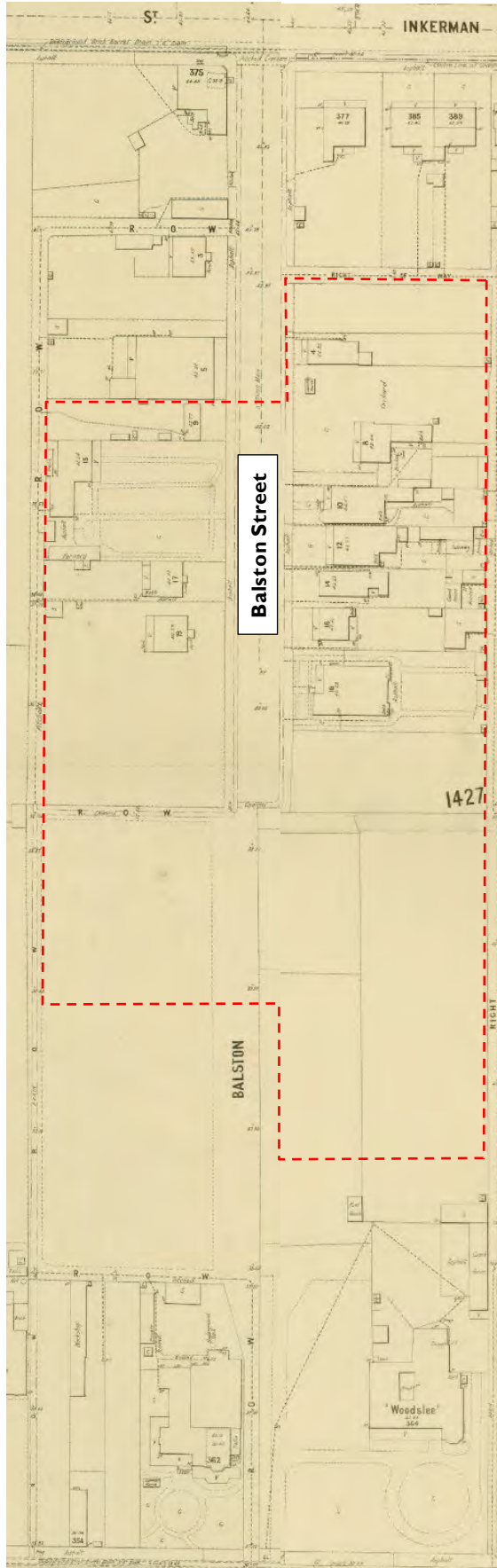


Figure 3 - MMBW Detail Plans 1426 and 1427 dated 1898

From about 1914, development of the southern half of Balston Street began and was well advanced by 1925 (Figure 4). During the interwar period some of the earlier houses in the northern part of Balston Street were replaced (for example it appears the duplexes at 6/6a and 8/8a replaced four c.1917 brick cottages) and by 1945 an aerial photograph (Figure 5) shows the precinct fully developed.

While Balston Street was predominantly residential, other industrial/commercial/agricultural activities were also carried out. During the 1890s, there was a Chinese market garden in the vicinity of no. 21 (*Argus* 13 December 1894 p.5) and a dairy at no. 14, while during the 1910s there was an electric joinery works at no. 20.

In the 1930s or early 1940s, *Westbourne* was demolished. Subsequently, *Woodslee* was demolished around the 1950s. Both were replaced with apartment buildings.



Figure 4 - Aerial Photograph showing part of Balston Street from the west c.1925 (W R Garrett). (Source: State Library of Victoria, H98.129/21)



Figure 5 - 1945 Proj No 5, Melbourne and Metropolitan Area Project, Run 17E, Frame 58014

References

Melbourne & Metropolitan Board of Works (MMBW) Detail Plans nos. 1426 and 1427.

Newspapers, various

Port Phillip Heritage Review citation 2303 (16 Balston Street)

Port Phillip Thematic Environmental History (TEH), February 2021

Practice Note 1 'Applying the Heritage Overlay' (August 2018)

Rate Books for St Kilda 1859-1900

St Kilda Council building permits (BP): 243 (1904, weatherboard and brick villa, 2 Balston Street); 3347 (1917, 2 brick villas, 24 and 26 Balston Street).

Sands and McDougall's Directory (SM)

3.0 Description

The Balston Street Precinct is comprised of 41 residences from the late Victorian, Federation and Interwar periods. Overall, the housing is consistently modest, both timber-framed (earlier) and masonry (later), and all are single storey. There is a mix of freestanding houses, pairs, and groups.

The grassed nature strips are planted with various native trees, planted within the last few decades (there are no street trees evident in the 1945 aerial photograph). Earlier basalt kerbing and channelling survives, and the carriageway and footpaths are asphalt. About a third of properties have crossovers which are either asphalt or concrete. There are few surviving original front fences.

The roof forms are usually hipped or gabled, with some having a combination. Roofs are clad in corrugated sheet metal (sometimes a replacement for earlier slate), terracotta tiles (glazed, unglazed) and concrete tiles. Most retain original chimneys. Windows are usually timber-framed sashes, with casements being employed during the Federation period.

The precinct contains five Victorian period houses, all of which are timber-framed (ashlar boards or weatherboards). No. 16 is the oldest and the only one evident on the 1873 Vardy Plan; however, it has been altered at the front. Nos. 4, 10, 14 and 18 are evident on the MMBW plans (1897-98). Windows are timber framed double hung sashes and doors are panelled.

The Federation period houses include a few timber, or partially timber, examples (nos. 2, 12, 18, 22, 29) but most are masonry (red brick and render) and reflect the Arts and Crafts style or modest versions of the Queen Anne style, both derived from vernacular English building traditions and exhibiting picturesque and asymmetric qualities. There are some pairs and groups, with the terrace at nos. 28-34 designed by Arthur Plaisted being a distinctive example of the Arts and Crafts style. Gable ends have roughcast finish and battens, and chimneys are tall with corbelled and/or rendered caps. Windows are timber framed and either double hung sashes or casements. Doors are often panelled with glazing to the upper part.

Most of the Interwar houses are semi-detached pairs (nos. 6/6A, 8/8A, 9/11, 13/15, 17/19, 23/25). As was commonly the approach at the time, most of the semi-detached pairs are designed to give the impression of a single house by sharing the same roof. The examples from this period are red or clinker brick, or a combination of both. The timber framed windows typically have differentiated upper sashes (leadlight or multi-paned). Many are in the Bungalow style, characterised by informal design reflective of the influence of the Arts and Crafts aesthetic, especially in their combination of 'natural materials', and typically feature broad simple roofs, exposed rafter ends to timber lined soffits, gable ends with battening (giving a half-timbered effect) or timber shingles, and the walls and other elements are commonly expressed in contrasting brick and render.

The precinct is intact to its c.1937 state, although some houses have been altered to varying degrees and there are a few upper-level additions which are visible. The Federation period houses at 20, 27 and 31 have been altered to the extent that their original format/presentation can no longer be interpreted.

Details	Image
East Side	

Details	Image
<p>2</p> <p>Federation (c.1904)</p> <p>Weatherboard façade with brick side walls, shingled boards to upper part of wall, verandah with turned timber posts and geometric frieze, roughcast sheeting and timber battens to gable end, bracketed hood above window, corbelled brick chimneys with terracotta pots.</p>	
<p>4</p> <p>Late Victorian (c.1890)</p> <p>Weatherboard, timber brackets to cornice, verandah with timber posts and frieze, chimneys.</p>	
<p>6 and 6A (semi-detached pair)</p> <p>Interwar (c.1935)</p> <p>Symmetrical, tiled hipped roof, rendered walls with tuckpointed clinker brick lintels and random quoining, side entry porches, concrete window boxes, Art Deco leadlighting, chimneys.</p> <p>Builder: W Borelace.</p> <p>Building Permit no. 8859 (11 April 1935)</p>	
<p>8 and 8A (semi-detached pair)</p> <p>Interwar (c.1937)</p> <p>Tudor Revival influence, asymmetrical, tiled roof, clinker brick, header/rowlock brick edging, arched entrances, projecting dogtooth detail to gable end, chimney (no.8A).</p> <p>Upper storey addition at no. 8.</p> <p>Architect: Gordon J. & Bruce Sutherland</p> <p>Builder: D. Richardson</p> <p>Building Permit no. 9753 (28 July 1937)</p>	
<p>10</p> <p>Victorian (pre-1898, possibly c.1887)</p> <p>Italianate style, ashlar boarding to façade, weatherboards to sides, projecting faceted bay, verandah (timber posts, cast-iron frieze, dentillated band), cornice with timber brackets, rendered chimneys.</p>	

Details	Image
<p>12</p> <p>Federation (post-1898)</p> <p>Ashlar boarding to façade, weatherboards to sides, jerkinhead roof, verandah with timber posts and cast-iron frieze, timber battening to upper part of wall.</p> <p>Some façade alterations, building extended forwards (2009).</p>	
<p>14</p> <p>Victorian (pre-1898)</p> <p>Weatherboard walls, verandah (altered), original door with sidelights, chimney.</p> <p>Building permit 3345 issued 28 July 1917 for additions to verandah.</p>	
<p>16</p> <p>Victorian (c.1862)</p> <p>Largely obscured. Symmetrical façade, transverse gable roof, rear skillion section, multi-paned windows, verandah with cast iron frieze, corbelled brick chimney.</p> <p>Façade alterations.</p> <p>PPHR citation 2303</p>	
<p>18</p> <p>Federation (pre-1898)</p> <p>Ashlar boarding to façade, weatherboards to sides, verandah with timber posts and cast-iron frieze, gable end with roughcast sheeting and timber screen, corbelled brick chimneys.</p> <p>Verandah was originally to front only (i.e. did not return).</p> <p>Cast iron frieze may not be original.</p>	
<p>20</p> <p>Federation (post-1898)</p> <p>Timber house with hipped roof. Rendered chimney/s (one has been removed).</p> <p>Façade alterations.</p>	

Details	Image
<p>22 Federation (post-1898) Weatherboards (shingled/notched) to lower wall, roughcast sheeting (non-original odd vermiculated panels), side verandah with turned timber post. Façade alterations and upper-level addition.</p>	
<p>24 Interwar (c.1917) Bungalow, red brick and roughcast render, terracotta ridge cresting, projecting masonry porch with timber shingling in gable end, angled wall within porch, leadlight picture window, boundary wall, rendered chimney. Same footprint as no. 26. Owner/builder: E.W. Nicholls Building Permit 3347 (1 August 1917)</p>	
<p>26 Interwar (c.1917) Bungalow, red brick and roughcast render, gable end with timber boards and vent, projecting masonry porch with decorative timber brackets and timber shingling in gable end, angled wall within porch, gable ends with timber boards and timber shingles, gable vent, terracotta ridge cresting, rendered chimney. Same footprint as no. 24. Owner/builder: E.W. Nicholls Building Permit 3347 (1 August 1917)</p>	
<p>28-34 (group of four row houses) Federation (c.1913) Arts and Crafts style, red brick and roughcast render (nos 28+30 overpainted), sheeting to larger gable ends and timber shingling to smaller gable ends, recessed entrances with timber brackets, exposed rafter ends, multi-paned windows, highlights with coloured glass (no. 34), rendered chimneys with flat caps and terracotta pots. Architect: A W Plaisted Builder: J G Jennings Building Permit 2033 (1 October 1913).</p>	
<p>38 Interwar (c.1922) Bungalow, red brick with contrasting clinker brick and smooth render detailing, broad gable end with weatherboards (upper) and timber battens (lower), gable vent, recessed porch, original brick and metal fence, finial, brick chimneys. Upper-level addition. Owner/builder: J Wilkins Building Permit 5029 (23 October 1922)</p>	

Details	Image
<p>40 and 42 (semi-detached pair)</p> <p>Federation (c.1913)</p> <p>Brick and roughcast render (overpainted), broad gable end, arched gable vent with timber louvres, terracotta ridge cresting, side entrance porches, bay window with canopy (no.42), rendered chimney with wide cap and brick detailing and terracotta pots.</p> <p>Façade alterations, including front addition to no.40.</p> <p>Owner/builder: C Goodridge</p> <p>Building Permit 2070 (30 October 1913)</p>	
<p>44-50 (group of four row houses)</p> <p>Federation (c.1914)</p> <p>Red brick, verandahs under the main roof with timber posts and frieze, bay windows with hoods, gable ends (roughcast and timber battens to no.50), terracotta ridge cresting and finials, chimneys with rendered caps and terracotta pots.</p> <p>Owner/builder: C. Goodridge</p> <p>Building Permit 2109 (3 December 1913)</p>	
<p>West Side</p>	
<p>9 and 11 (semi-detached pair)</p> <p>Interwar (c.1927)</p> <p>Bungalow, symmetrical, concrete pantiles to roof, contrasting red brick and clinker brick with tuckpointing, prominent broad gable end with timber shingles (upper) and timber battens (lower), porch with square brick piers, red brick with contrasting clinker brick detailing, leadlighting to upper sashes.</p> <p>Owner/builder: G.A. Gough</p> <p>Building Permit 6729 (25 February 1927)</p>	
<p>13 and 15 (semi-detached pair)</p> <p>Interwar (c.1926)</p> <p>Bungalow (Craftsman type), symmetrical, transverse ridge, central dormer with slatted vent, porch with square brick piers, exposed rafter ends, timber battening in gable ends, contrasting red brick and clinker brick, leadlighting to upper sashes.</p> <p>Owner/builder: G.A. Gough</p> <p>Building Permit 6559 (10 September 1926)</p>	
<p>17 and 19 (semi-detached pair)</p> <p>Interwar (c.1926)</p> <p>Bungalow, symmetrical, twin gable ends with timber shingling and timber brackets, contrasting red brick and clinker brick with tuckpointing, side porches with square brick piers, leadlighting to upper sashes. Original low brick fence and metal gates.</p>	

Details	Image
<p>21</p> <p>Federation (post-1898)</p> <p>Faceted bay, rendered façade (may not be original), cornice with timber brackets.</p> <p>Façade alterations, chimneys removed, corrugated sheet metal roof cladding replaced slate.</p>	
<p>23 and 25 (semi-detached pair)</p> <p>Interwar (1923)</p> <p>Bungalow, asymmetrical, tiled roof, gable end with timber shingling, tuckpointing, exposed rafter ends, square brick piers to porches, multi-paned upper sashes, corbelled brick brackets beneath box-framed windows.</p> <p>No. 25 has been overpainted.</p> <p>Builder: H E Carter</p> <p>Building permit 5381 (14 July 1923)</p>	
<p>27</p> <p>Federation (post-1898)</p> <p>Weatherboard, red brick chimney, gable end with timber battens and roughcast render.</p> <p>Façade alterations and upper-level addition.</p>	
<p>29</p> <p>Federation (post-1898)</p> <p>Brick side wall with a weatherboard façade, return verandah with turned timber posts and decorative frieze, gable end with timber battens and roughcast render, red brick chimneys, squared bay window across corner.</p> <p>Interwar period brick fence (rebuilt).</p>	
<p>33</p> <p>Interwar (1928)</p> <p>Brick, roughcast render, timber battens to gable end, brick chimney. Partly obscured.</p> <p>Alterations to façade/openings.</p> <p>Builder: W P Sinclair</p> <p>Building permit 7088 (14 February 1928)</p>	
<p>35 and 37 (semi-detached pair)</p> <p>Federation (1914)</p> <p>Red brick (no. 35 overpainted), separate gable roofs, decorative gable ends with elongated niches, brick chimneys with rendered caps and terracotta pots. Original low brick fence.</p> <p>Alterations to façade/openings.</p> <p>Builder: G Curry</p> <p>Building Permit 2159 (30 January 1914)</p>	

4.0 Comparative Analysis

The Balston Street Precinct is significant as a group of houses intact to its c.1937 state (that is, no replacement buildings since that time), though some have been altered. The generally modest building stock represents the key phases of development in the municipality – Victorian period beginnings, with consolidation (and replacement of earlier houses) throughout the Federation and Interwar periods. One house survives from the early pre-1870 phase. Whilst there are few distinctive buildings, the street is a microcosm of the broader development of the area, and a less common remnant of a relatively cohesive streetscape in this part of the municipality.

Although the types of housing in Balston Street are represented in other parts of the municipality, there are few intact streetscapes that survive in this area (either side of Inkerman Street in Balaclava and East St Kilda) with a similar profile of modest historic examples which had been common. The precinct demonstrates a broad architectural variety in building type (freestanding, semi-detached pairs, row houses and duplexes) and expression (roof forms and façade compositions etc.).

Modest Federation period houses are also evident in the Balaclava Flats Residential Precinct and Ripponlea Residential Precinct, generally masonry (for example, Elm Grove and Glenmark Ave) and often paired, with a few scattered timber examples (for example, Sycamore Grove, not in Heritage Overlay). There are two groups/rows of four houses in Balston Street which was a less common type during the Federation period terrace houses fell out of favour, as they were perceived as being cold and dark with limited garden space (TEH p90).

A concentrated group of Interwar period, semi-detached pairs survive in HO387 (Hammerdale Avenue Precinct), however they primarily date to the 1930s rather than 1920s. Semi-detached bungalows, of which there are several examples in Balston Street, are a less common type.

5.0 Statement of Significance

What is significant?

The Balston Street precinct comprising 2-50 and 9-37 Balston Street, Balaclava is significant. Development in the northern half of Balston Street began in 1859, and the earliest surviving house dates from c.1862. The southern half of Balston Street was developed from about 1914, following the subdivision of the grounds of two villas, *Westbourne* and *Woodslee*, which fronted Carlisle Street. The contributory building stock in the precinct is comprised of modest single-storey dwellings, both timber and brick, from the Victorian, Federation and Interwar periods, constructed over a 75-year period with most built between c.1887 and c.1937.

The following features contribute to the significance of the precinct:

- Dwellings dating between c.1862 and c.1937,
- The predominant single storey scale,
- Roof forms (hipped, gabled) and roof cladding including terracotta tiles (glazed and unglazed), concrete tiles, corrugated sheet metal,
- Original chimneys (face brick or rendered), some with terracotta pots,
- Original detailing to gable ends including timber battening, roughcast finish and shingling,
- Walls of face brick (red, clinker), rendered finishes and contrasting detailing,
- Original porches and verandahs,
- Original timber windows (some with decorative glass or glazing bars) and doors,
- Original or early low front masonry fences,
- Front garden settings,

-
- Basalt kerbing and channelling.

The Significant place within the precinct is:

- 16 Balston Street.

The Contributory places within the precinct are:

- 2, 4, 6, 6A, 8, 8A, 10, 12, 14, 16, 18, 20, 22, 24, 26, 28, 30, 32, 34, 38, 40, 42, 44, 46, 48, 50 Balston Street.
- 9, 11, 13, 15, 17, 19, 21, 23, 25, 27, 29, 33, 35, 37 Balston Street.

The Non-contributory property within the precinct is:

- 31 Balston Street.

How is it significant?

The Balston Street Precinct is of local historical, rarity, representative and aesthetic significance to the City of Phillip.

Why is it significant?

The Balston Street Precinct is of historical significance as illustrative of the suburban development of Balaclava during the Victorian, Federation and Interwar periods. It is an intact remnant of modest housing in Balaclava/St Kilda East, which had previously been common, and as a streetscape where the phases of development are so interspersed. The northern part of the precinct is associated with the early development of the area from the late 1850s following the Crown land sales, while the southern part of the precinct is associated with a common settlement pattern in this part of the municipality where large Victorian properties were subdivided during the Federation period for residential and commercial development. The timber house at 16 Balston Street, constructed c.1862, is a rare surviving pre-1870 example in the municipality. (Criteria A and B)

The Balston Street Precinct is of representative significance as a residential group dating to the Victorian, Federation and Interwar periods that is intact to its c.1937 state and that forms a cohesive streetscape of similar scaled residential buildings. It is demonstrative of the key phases of development in the municipality, that is, Victorian period beginnings with consolidation throughout the Federation and Interwar periods. The precinct demonstrates a broad architectural variety in building type and expression. Whilst mainly modest representative housing, there is a concentration of semi-detached pairs from the Interwar period and, less commonly, two groups of four Federation period row houses. The Arts and Crafts style group of four row houses at nos. 28-34 is particularly distinctive. (Criteria D and E)

6.0 Recommendations

Include the Balston Street Precinct in the Heritage Overlay.

Transfer 16 Balston Street from individual HO395 to the new Balston Street Precinct HO.

7.0 Assessment

RBA Architects & Conservation Consultants, *HO7 Elwood St Kilda Balaclava Ripponlea Precinct heritage review Stage 2, 2022*

Brunnings Estate & Environs Precinct

Places of individual significance within the precinct that have a separate citation in the Port Phillip Heritage Review with additional descriptive and historical information are indicated in **bold**.

1.0 Thematic Context

Victoria's framework of historical themes

6. Building towns, cities and the garden state: 6.3 Shaping the suburbs, 6.7 Making homes for Victorians

Port Phillip thematic environmental history

5. Buildings and cultural landscapes: 5.2 Shaping the suburbs (5.2.2 Private development), 5.3 Diverse Housing (5.3.3 Suburban bungalows; 5.3.4 Model housing estates)

2.0 History

Early Land Sales

The precinct formed parts of Crown portions 230, 232, 233, 234, 235 and 237 in the parish of Prahran (PP).

Crown portions 230, 233 and 234, totalling about 19 acres, were sold in the 1850s (pre-1857). Crown portion 230 was purchased by Peter Davis, auctioneer and one-time mayor of Melbourne (1856-57), while portions 233 and 234 were purchased by 'Greeves and others', a syndicate of land speculators headed by politician Dr Augustus Frederick Adolphus Greeves.

Crown portions 232 and 237, each comprised of almost 10 acres, were purchased respectively by F Thompson in November 1853 and Thomas Hale, of Robertson & Hale architects and estate agents prior to 1857. Crown portion 235 formed part of a larger public reserve that included land on both sides of Glen Eira Road.

In 1859, the railway to Brighton was opened, with the line forming the eastern boundary of the precinct. A failed proposal around this time to establish a station at Glen Eira Road on the railway to Brighton briefly inspired attempts to sell land and develop the area. Between 1858 and 1859, several building allotments between Maryville and Albion streets were offered for sale, including one at the corner of Brighton Road and Maryville Street which was expressly recommended as an excellent position for a hotel (*Age*: 30 October 1858 p.7; 7 September 1859 p.7). Also in 1859, Thomas Hale invited tenders for the erection of five brick cottages at 'Merivale' (assumed to be *Maryville*) but these do not appear to have been built (*Argus* 5 August 1859 p.7).

Early development

The first houses in the precinct were constructed in the 1850s and 1860s, but only limited development occurred before the 20th century. On the north side of Maryville Street, a substantial brick residence *Maryville* was erected c.1858 for Thomas Hale, of Robertson & Hale (architects and estate agents), who it seems had been residing in the street since at least 1855 in a timber house (*Argus* 18 August 1855 p.5). The name of both the residence and the street may have been chosen in honour of Hale's wife Mary. In about 1860, *Maryville* was purchased by the McEwan brothers who were grocers (RB 1860 no.1418). In the early 1860s, the McEwans built a second brick residence adjacent to *Maryville*. In Albion Street, which at that time did not extend all the way to the railway line, another substantial brick residence was constructed in the late 1850s for E Hart, which was then sold to William Hawkins in the early 1860s. Several other smaller timber houses/structures were also constructed in both Albion and Maryville streets. None of these early buildings survive.

In 1873, a subdivision plan (Figure 1) was prepared for the sale of the two Maryville Street residences (lots 1 and 2) and seven villa sites (lots 3-9) between Albion Street and Maryville Street, as well as sites outside the precinct east of the railway line.

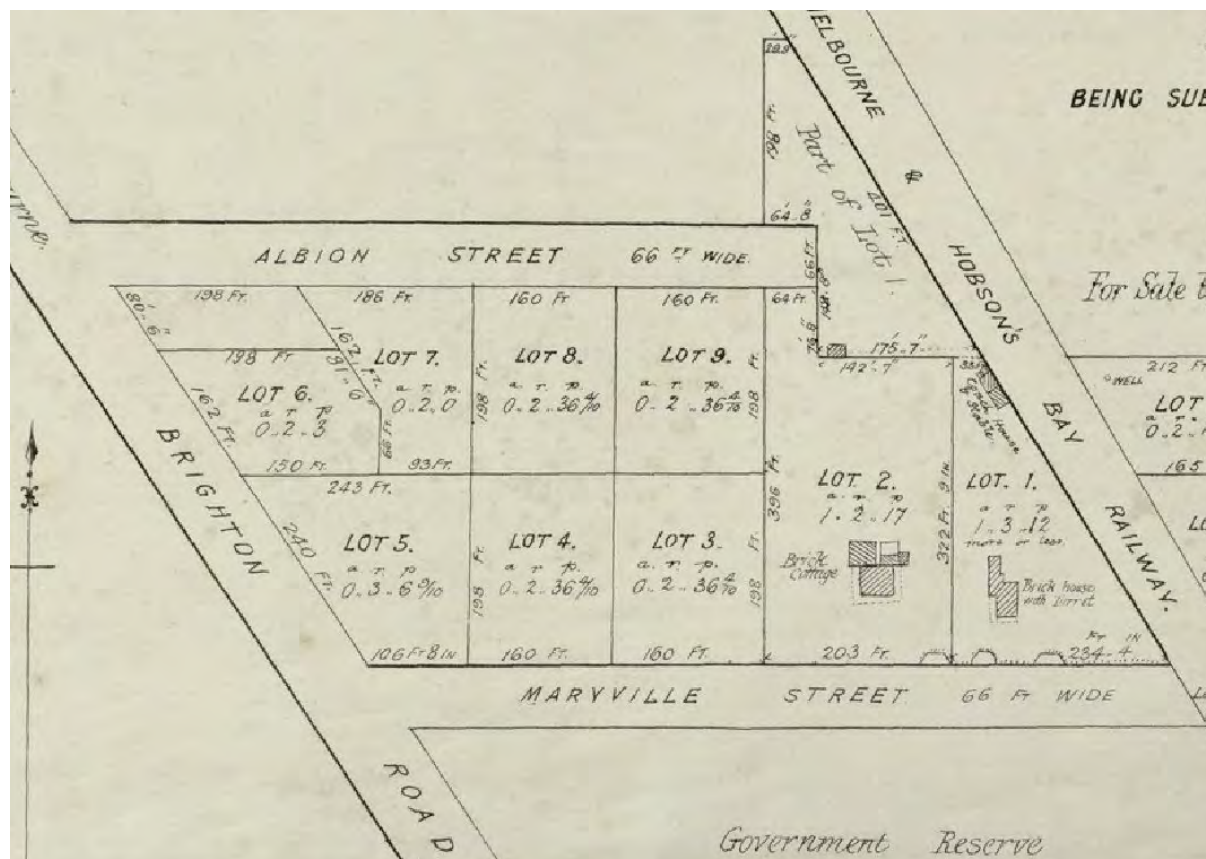


Figure 1 - 'Plan of valuable freehold properties, family residence and cottage adjoining, together with splendid villa sites'. For sale on 7 January 1873. (Source: State Library of Victoria)

In 1874, Lot 2 was purchased by Thomas Turnbull, a gentleman (CT v.681 f.129). Turnbull lived at the property he named *Hawick*, after his native place in Scotland, for the next two decades (*Euroa Advertiser* 13 October 1893 p3). In 1876, the remaining lots in the subdivision were again put to auction, including Lot 1 containing *Maryville*, and seven 'magnificent building villa sites' (lots 3-9) amounting to almost 5 acres which were to be sold as one (*Argus* 31 January 1876 p.2). A description of *Maryville* was given in the *Argus* as follows:

This truly elegant mansion ... has a stone foundation, is brick built, with slate roof, and contains a complete suite of rooms, each being beautifully finished without regard to cost. ... Adjoining to the house are to be found all other necessary outbuildings, viz., coachhouse, four-stall stable, servants' apartments etc.; a magnificent verandah of 7 ft in width with tessellated pavement surrounds the house. The grounds are laid out in garden plots with great taste and elegance, the chief feature of which is the selection of fruit trees of all descriptions. (Argus 31 January 1876 p.2)

The rate book for December 1876 records that James Nolan, a judge, was the purchaser of *Maryville* and George Brunning was the purchaser of the other lots/5 acres (RB entry nos. 1982, 1983). George Brunning was a nurseryman who at that time leased premises nearby in Brunning Street.

Over the ensuing few years, George Brunning acquired additional land in the precinct. In 1879, he purchased land on the north side of Albion Street, which included a tenanted four-roomed timber house (RB entry nos. 2088, 2089). Then in 1880/81, he also purchased five of the seven lots from the subdivision of the public reserve between Maryville Street and Glen Eira Road (that is, Crown portion 235) (PP). In total, the land acquired by Brunning amounted to about nine acres, representing a large proportion of the precinct (approximately two thirds).

Brunning's nursery and other late 19th century development

George Brunning's holdings remained undeveloped until the early 1880s when he relocated his nursery after the lease at his previous location expired. During 1882, preliminary work to prepare the land for nursery purposes was undertaken, including trenching and draining, and the soil was supplemented with large quantities of material from elsewhere to improve the quality. The grounds were laid out in rectangular beds and a variety of sheds, greenhouses and glasshouses were erected. In 1883, a private residence was built for George Brunning, a single storey brick villa with a verandah on three sides, in a central position within the nursery facing Brighton Road (in the current location of Los Angeles Court).



Figure 2 - Brunning's Nursery, in the precinct area, undated (post-1882). (Source: St Kilda Historical Society, via flickr)

In 1893, George Brunning died, and ownership of his holdings was transferred to his sons George Edward Brunning and Herbert John Brunning who were partners in the nursery business (CT).

Also in 1893, Thomas Turnbull died, and the following year *Hawick* was purchased by solicitor Francis Grey Smith who renamed the property *Monkstadt* (CT v.681 f.129). In 1905, Francis Grey Smith also acquired the northern part of the former *Maryville* estate (CT v.3036 f.155).

The MMBW plans, one dated 1899 (Figure 3) and the other 1904 (Figure 4), show the large area occupied by Brunning's nursery including George Brunning's house fronting Brighton Road. In Albion Street, a villa named *Ecdes Lodge* is shown, presumably the house built in the 1850s. In Maryville Street, two villas are shown, *Hawick* (which had been renamed *Monkstadt*) and *Oberston* (formerly *Maryville*).

The MMBW plans also show residential development in the middle part of the former reserve which had occurred during the 1880s and 1890s, including three houses fronting Glen Eira Road (*Agnesville* and two others) and two houses fronting Maryville Street (*Alma* and *Somerleyton*). *Somerleyton* was built for George Edward Brunning, the eldest of George Brunning's sons, and named after the Suffolk town where he was born. None of the buildings shown on the MMBW plans remain in the precinct today.

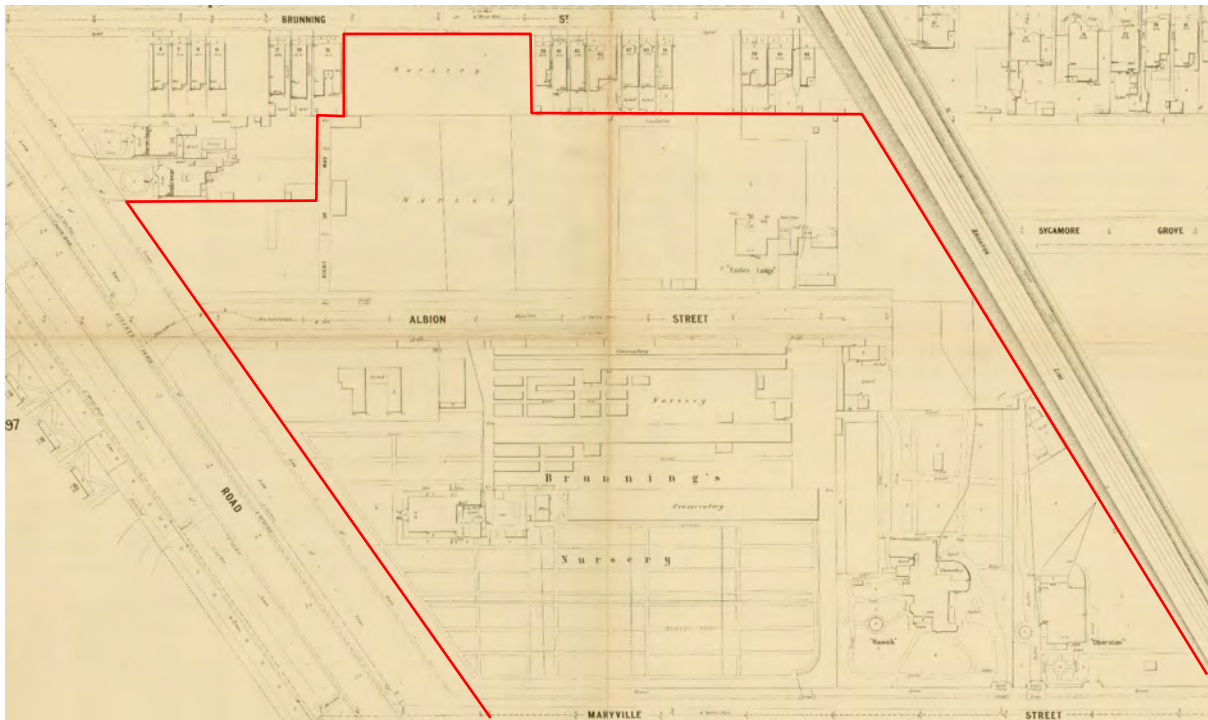


Figure 3 - MMBW Detail Plan No. 1450 (dated 1899). Showing the precinct north of Maryville Street. (Source: State Library of Victoria)

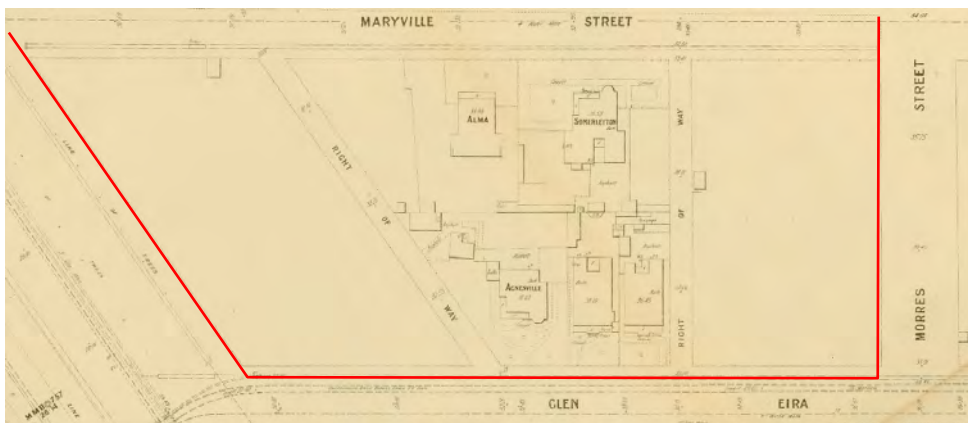


Figure 4 - MMBW Detail Plan No. 1451 (dated 1904). Showing the precinct south of Maryville Street. (Source: State Library of Victoria)

George Brunning, a trained gardener originally from Suffolk, England, migrated to Victoria in 1853 at the age of 23. In 1860 he established a nursery in Argyle Street, St Kilda. With the expansion of the business, he relocated to more extensive grounds in Brighton Road, first on the north side of Brunning Street and from 1882 within the precinct area. Later, two of Brunning's sons, George Edward and Herbert John, joined him in the business which became known as George Brunning and Sons and carried it on after his death in 1893. A1907 described the nursery as a 'Victorian institution', holding some 300,000 potted plants comprising over 700 different classes of flowers, shrubs fruits and trees with numerous varieties of each, and over a thousand kinds of roses (*Punch* 27 August 1907 p.58).

20th Century Development

During the first twenty years of the 20th century, limited development occurred in the precinct. On Brighton Road, the house at no. 42 was built c.1905 and the attached pair at 44 and 46 Brighton Road was built c.1907 (BP 571). The opening of the Ripponlea Railway Station in 1912 prompted

commercial and residential development in Ripponlea, and whilst several houses were built in Albion and Maryville streets during this time, most were later replaced. The c.1917 brick house at 6 Maryville Street and the c.1919 weatherboard house at 19 Albion Street appear to be the only surviving pre-1920 examples.

During the 1920s, a series of subdivisions led to the transformation of the precinct area.

The first of the subdivisions took place in 1920, concerning a 1¼ acre parcel of the Brunnings' holdings on the east side of Brighton Road, between Maryville Street and Glen Eira Road (Figure 5). Seven allotments were created and auctioned in November 1920 (*Argus* 13 November 1920 p.10). The earliest of the brick Interwar houses in the precinct was erected within this subdivision at 70 Brighton Road in 1921, although this was later substantially altered in 1935 (BP 4491 and 8917). 1 Glen Eira Road was purchased by Marie Alice Brunning, daughter of George Edward Brunning (CT v.4425 f.920) and a house built in 1924 (BP 5839). 4 Maryville Street was constructed in 1923 and designed by F J Davies (BP 5137). 60 Brighton Road was constructed in 1923 (BP 5171), 64 Brighton Road in 1929 (BP 7488), and 66 Brighton Road in 1931 (BP 7932), with the latter two built by Dickson & Yorston home builders.

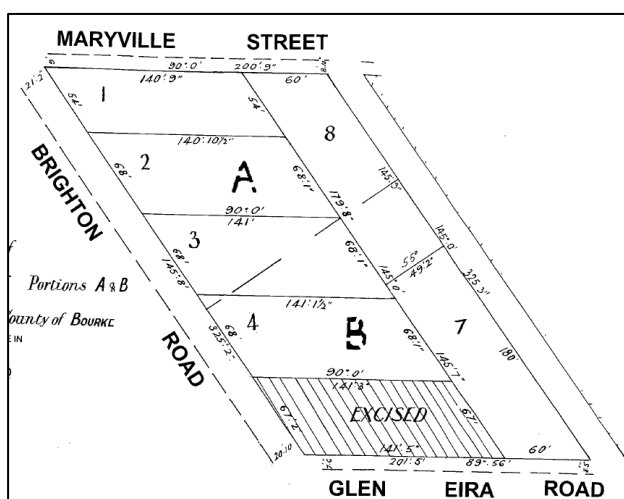


Figure 5 - Subdivision Plan LP8418. Dated 30 July 1921. (Source: Landata)

In 1925, Francis Grey Smith sold several allotments at the eastern end of Albion Street (CT v.4967 f.244), upon which houses at nos. 21, 23, 25 (north side) and nos. 22, 24, 26 (south side) were built c.1924-26 (SM). Some of these houses can be seen newly built in the c.1925 aerial photograph below (Figure 6).

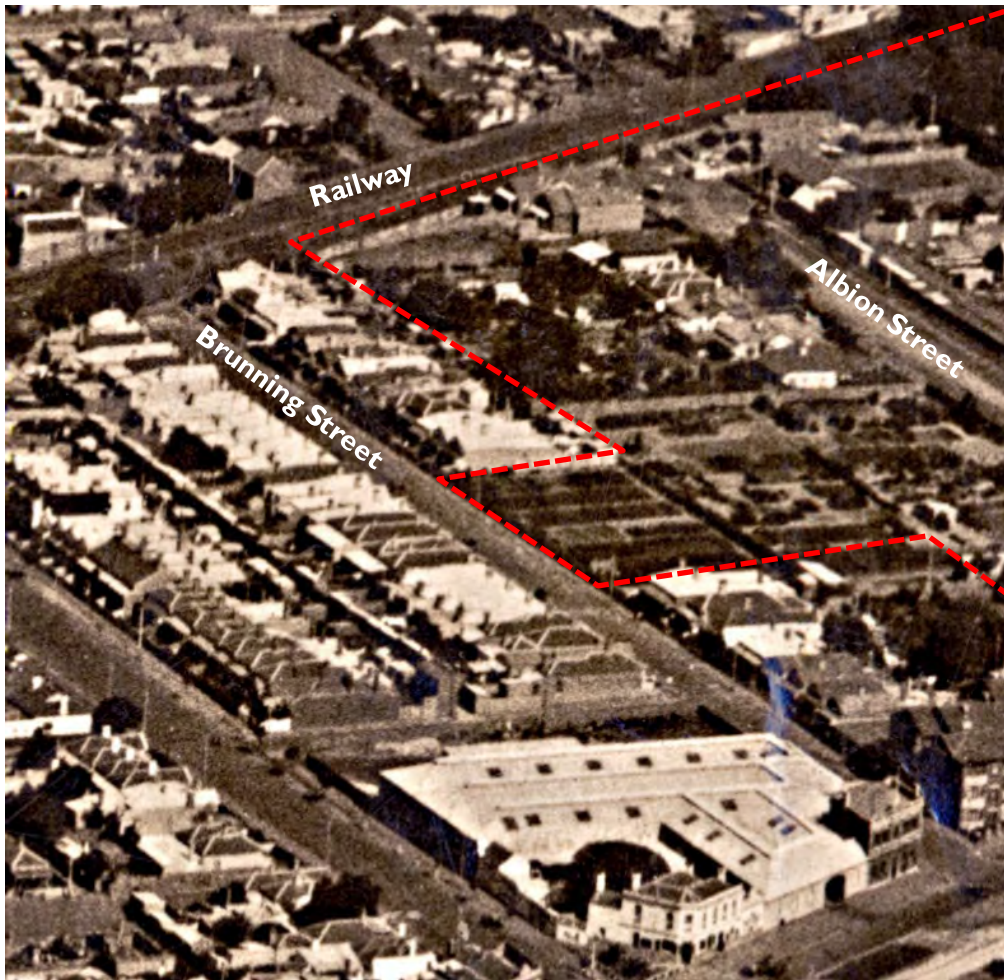


Figure 6 - Aerial Photograph c. 1925 (W R Garrett) showing the northern part of the precinct. It shows part of the nursery the year before it was closed, as well as some houses in Albion Street. Approximate precinct boundaries are indicated. (Source: State Library of Victoria, H98.129/21)

By the 1920s, as Melbourne's population expanded, the large undivided area of land occupied by Brunning's nursery had become increasingly valuable. During 1926, the nursery business was wound up and the remaining land sold for building allotments (*Australasian*, 19 March 1927, p.17). The purchasers were a syndicate known as the Brunnings Subdivisional Company P/L of 93 High Street St Kilda (CT v.5190 f.802), of which one member was Mr. C. Secull, and the sale fetched somewhere between £28,000 and £29,000 (*Argus* 1 July 1926 p.1). Mr. Secull was associated with the prominent building company J R & E Secull, which constructed many houses and flats in St Kilda and Elwood during the Interwar period and acted as a developer, purchasing land and building flats, often for family members. The land sale also coincided with the opening of the Brighton Road electric tramway extension to Glenhuntly Road (previously it had terminated at Brunning Street) in August 1926. In early 1927, subdivision plans were approved for 33 allotments between Albion and Maryville streets, 13 allotments north of Albion Street, and 7 allotments south of Maryville Street (Figure 7). The subdivision also created two new streets, Los Angeles Court and Somers Street. Development of sites in the Brunning's nursery subdivisions began immediately, with multiple building permits granted in 1927 and the first houses completed soon after.

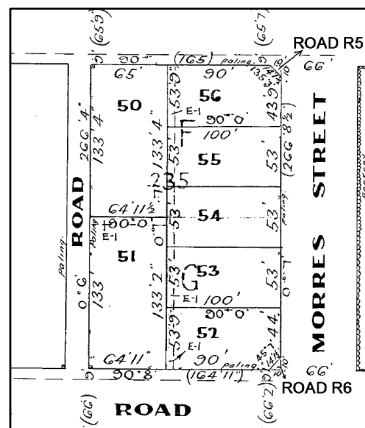
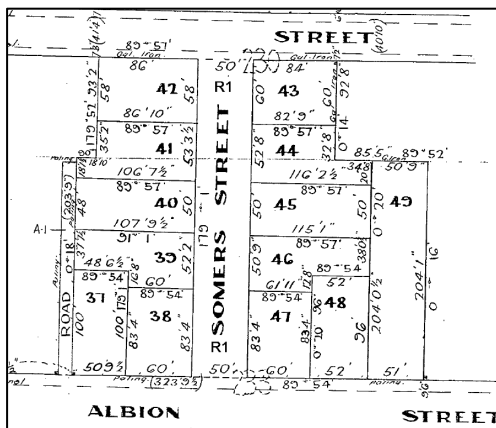
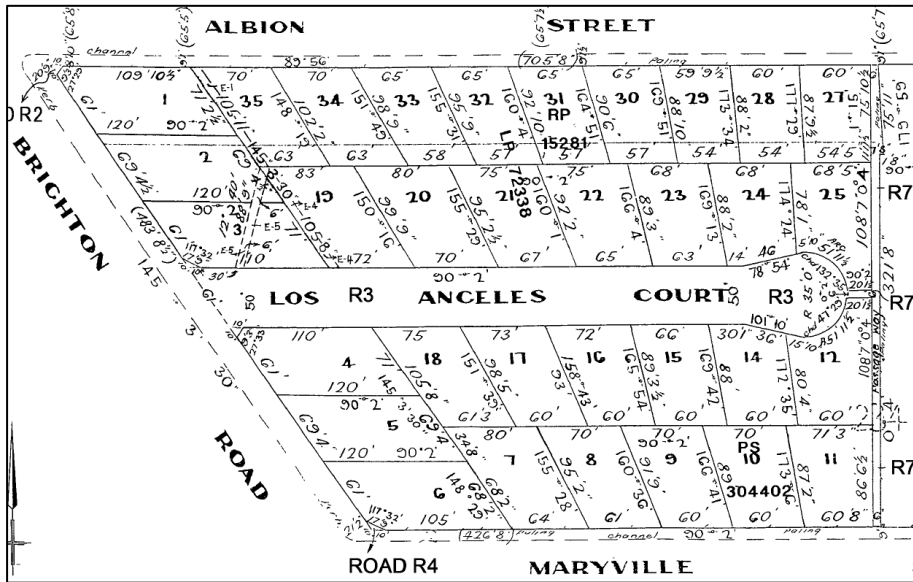


Figure 7 - Subdivision plan LPI 1886. Dated 8 February 1927. (Source: Landata)

Francis Grey Smith died in 1926 and probate was granted to his widow Sybella and son Ross Grey Smith. In 1929 Ross Grey Smith acquired further land at the east end of Maryville Street, being the southern part of the former *Maryville* estate. In 1929 subdivision by the Smiths saw the creation of Monkstadt Avenue and 15 allotments (Figure 8). The 19th century residences were demolished around this time.

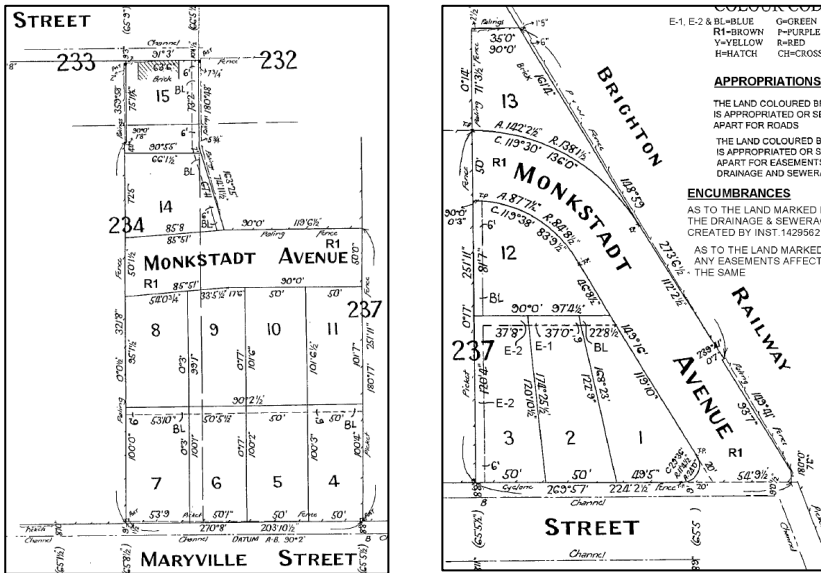


Figure 8 - Subdivision plans LPI 3047 and LPI 3048. Dated 3 September 1929. (Source: Landata)

By late 1931, as evidenced by an aerial photograph of that year (Figure 9), just over half of the allotments created through subdivision in the 1920s had been developed with houses.



Figure 9 - Aerial Photograph (dated Nov. 1931) showing the precinct. (Source: Landata, Proj No 1931, Run 15, Frame 2750)

While most of the allotments were purchased by individuals, there were some companies or speculative builders that purchased and developed multiple sites. Some of these include:

-
- P J Brunnings Home Builders Pty Ltd purchased all nine allotments on the south side of Albion Street which were reconfigured to make ten allotments (nos. 2-20 Albion Street). These were developed over several years from 1927. P J Brunnings designed and constructed most of the houses such as no.4 on lot 34 in 1927 (BP 6801), while some were built by others.
 - Los Angeles Court Pty Ltd purchased three allotments at the corner of Brighton Road and Los Angeles Court which were reconfigured to form four allotments (50, 52 Brighton Road and 1, 3 Los Angeles Court). Building permits for houses on all four were issued in 1927 (BP 6715, 6734, 6754, 6886), and in February 1928 an advertisement was posted for the auction of 'four beautiful modern brick bungalows' (*Argus* 4 February 1928, p.3).
 - Ernest Marsh, builder, of 84 Mitford Street, Elwood, purchased several allotments which he developed. These included 1, 2, 3 and 4 Morres Street in 1928, 2 and 6 Los Angeles Court between 1928 and 1931 (BP 7356, 7917), and 17, 21 and 23 Maryville Street between 1929 and 1931 (BP 7657, 7733, 7826). He also purchased 4 Los Angeles Court in 1928 but it was apparently developed by the subsequent owner (CT v.5545 f.854). In addition to developing his own sites, Marsh also built houses for others including 54 Brighton Road in 1929 (BP 7477), 19 Maryville Street in 1930 (BP 7713), and 15 Maryville Street in c.1932 (BP 7880).
 - L S Nicholls master builders constructed, and probably also designed, several houses in the precinct. These include *Janette* at 2 Albion Street in 1934 (BP 8581), 16 & 17 Monkstadt Ave (both in 1934), and 5 (1932) & 13/13a (1938) Los Angeles Court.

Houses known to have been designed by architects include:

- *Mid-Mar* 48-48a Brighton Road, Leslie J. W. Reed, 1937 (**PPHR 303**)
- *Limerick Lodge* at 58 Brighton Road, Arthur W Plaisted, 1927-28 (BP 6936). (**PPHR 306**)
- 4 Los Angeles Court, Schreiber & Jorgensen, 1930 (BP 7800) (**PPHR 341**)
- *Besanoo* 5 Los Angeles Court, H. Geoffrey Bottoms, 1932-33
- 7/7A Los Angeles Court, H W & F B Tompkins, 1936 (BP 9235)
- 11 Los Angeles Court, Arnaud E. Wright, 1929 (BP 7603)
- 4 Maryville Street, F J Davies, 1923 (BP 5137)
- 14 Maryville Street, Alder and Lacey, 1934 (**PPHR 348**)
- 20 Monkstadt Ave, Marcus Barlow, 1931 (**PPHR 356**)
- 22 Monkstadt Ave, R M & M H King, 1929 (BP 7404). Built for Ross Grey Smith by builder C Munro. On completion it was advertised for sale described as a 'new triple-fronted Spanish Mission brick bungalow' (*Herald* 27 August 1930 p.13).
- 23 Monkstadt Avenue, R M & M H King, 1932-33 (BP 8122). The newly built house (Figure 10) was featured in an illustrated article in which it was described as having the 'charm of Old England' (*Herald* 31 May 1933 p.20).



Figure 10 - 23 Monkstadt Avenue (Source: Herald, 31 May 1933, p.20)

Single houses were the predominant building type, followed by attached pairs. Two small two-storey flat developments containing only two or three dwellings were built at 20A Albion Street in c.1935, and 14 Monkstadt Avenue 1940 (BP 10595). Three larger flat buildings in the precinct all involved the redevelopment of sites containing 19th century villas, including:

- *Alcazar*, 3 Glen Eira Road, built c.1929 in place of the villa *Agnesville*. Developed by P J Brunning. **(PPHR 327)**
- *Mandalay Court*, 17A Albion Street, designed by James H Wardrop in 1934, replaced an 1850s villa. **(PPHR 396)**
- *Somerleyton*, 12 Maryville Street, built in late 1937 by J R & E Seccull (BP 9728, 9787), which replaced the villa *Somerleyton* following the deaths of George Edward Brunning in 1935 and wife Alice Mary in 1937.

The precinct appears to have been fully developed by about 1940. The 1945 aerial photograph (Figure 11) confirms that all the allotments in the precinct had been developed by the end of the Interwar period.

Post-war and into the late 20th century and early 21st century, some limited redevelopment/infill of sites took place. Following World War II, the house at 3A Albion Street was acquired by the RSL War Veterans Homes Trust and converted to a hostel for returned servicemen. Accommodation was expanded c.1956 with the adjacent cream brick block designed by Stephenson & Turner constructed on the former tennis court.



Figure 11 - Aerial photograph dated 1945. The precinct was fully developed by this time. (Source: Landata, Proj No 5, Run 16, Frame 57848)

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Rate Books (RB) 1859-1900

Sands and McDougall's Street Directories (SM)

3.0 Description

The Brunnings Nursery Estate & Environs Precinct is a large precinct consisting of some 100 residential properties in Albion Street, Brighton Road (part east side), Glen Eira Road (part north side), Los Angeles Court, Maryville Street, Monkstadt Avenue, Morres Street and Somers Street. The precinct spans two suburbs; the northern part of the precinct is within Balaclava and the southern part of the precinct is within Ripponlea.

Street planting is varied, consisting of a range of native and exotic, young and semi-mature specimens, generally evergreen with some deciduous plantings. Some streets contain consistent mature tree plantings, including Liquidambar (*Liquidambar styraciflua*) in Los Angeles Court and Monkstadt Avenue (these appear as saplings in the 1945 aerial) and London Planes (*Platanus x acerifolia*) in Brighton Road.

Basalt kerbing and channelling has been retained in Maryville Street, Brighton Road and Glen Eira Road. Some sites retain a concrete driveway, a few also with a central grass island (for example, 3 Morres Street).

Original garages survive at some sites and are usually located towards the rear (for example, 4 Los Angeles Court), although some are sited at the front (for example, 13 Maryville Street).

A pedestrian walkway runs between Albion Street and Maryville Street, bisecting the 1927 Brunning subdivision to the west from the 1929 Grey Smith subdivision to the east.

The blocks are generously sized, and the subdivision pattern is relatively consistent. The buildings are set back several metres with garden areas to the front, typically including planting consisting of various shrubs and areas of lawn. Most sites retain original low brick fences – face brick and/or rendered. Some fences include a narrow metal balustrade (for example, 17 Maryville Street, 1-4 Morres Street) and others retain low metal pedestrian or driveway gates (18 Monkstadt Avenue). *La Mascotte* at 1 Morres Street features a masonry arch/pergola over the corner pedestrian entry.

Los Angeles Court features a distinct planning arrangement and consistent streetscape and is notable for its high degree of intactness. Created in 1927, it is an early example of a cul-de-sac in the municipality which, although the houses do not address the street at the end, features curved fences and extended garden areas that add to the generous garden-setting character of the street. The mostly consistent low render fences of a similar design return around the corner lots at Brighton Road. There is also original concrete kerb & channelling and concrete footpaths cut to look like flagstones.

The building stock mainly dates to the Interwar period, though there are Federation period houses at 42, 44 and 46 Brighton Road. The houses are mostly single storey with some two storey (8, 9, 10, 11 Los Angeles Court, 14, 16 Monkstadt Avenue) or with an attic (50, 52, 54, 60, 62, 66, 70 Brighton Road, 5 Los Angeles Court, 3A Albion Street). All buildings are brick, except for the weatherboard house at 19 Albion Street. The houses are generally intact and retain original presentation and/or elements such as roof cladding, chimney/s, porches, and openings (windows and front door) and often have complementary front fences. Most houses are freestanding but there are several attached pairs (7/7a and 13/13a Los Angeles Court, 17, 10/10A and 22/22A Albion Street, 9/9A Maryville Street, 48/48a Brighton Road), and there are also five flat buildings (*Alcazar* 3 Glen Eira Road, *Somerleyton* 12 Maryville Street, *Mandalay Court* 17A Albion Street, 20A Albion Street and 14 Monkstadt Avenue).

The roof forms are usually gabled and/or hipped, and some with hipped gable (jerkinhead). The roofs are almost all clad in tiles, generally either glazed or unglazed terracotta tiles and some with concrete tiles. The house at 9 Albion Street is the only example with a corrugated metal sheeting to the roof (but it may have originally been tiled). Houses generally retain original chimneys and the eaves have soffits lined in timber boards or battened sheeting.

The massing is predominantly asymmetric with a porch being a standard feature. The walls are brick, either face brick and/or rendered (roughcast and/or smooth). Bricks used include red, clinker, and

tapestry (variegated cream, brown, etc.), the colours being related to the various styles. Roman bricks are also used either for details or more extensively (for example, 13/13A Los Angeles Court). The decks are often obscured but may be concrete, tiled or timber, or even terrazzo (for example, 17 Monkstadt Avenue).

Windows are predominantly timber-framed, with a few steel-framed examples to the late Interwar Moderne style buildings (for example, 15 Los Angeles Court). The main front windows are often grouped in pairs or three (tripartite) consisting of either double hung sashes, or a wider, central fixed pane flanked by double hung sashes. Lead light, stained glass, or geometric glazing bars are common.

There has been limited replacement of building stock since the Interwar period, including flats dating to circa 1950s, 1960s and 1970s at 8 and 10 Maryville Street, and 3, 11 and 13 Albion Street. More recently – during the late 20th century/early 21st century – there has been further infill including 21 and 21A Monkstadt Avenue and 15 Albion Street.

Bungalows are the predominant house type and/or style throughout the precinct, which are expressed in a range of styles popular during the Interwar period, including Arts and Crafts, Spanish Mission, Georgian Revival, Art Deco, Moderne, and Old English/Tudor Revival. For many places, the examples reflect the influence of these styles, where certain characteristics might be applied to a 'base' bungalow, rather than being clear examples, or have an eclectic expression combining the influences of multiple styles. The most distinctive and substantial examples are in Los Angeles Court, Monkstadt Avenue and Brighton Road, while in the other streets they are generally more modest.

Federation Queen Anne

The earliest surviving Federation period houses in the precinct are indicative of the prevailing Queen Anne Style and are red brick with some contrasting roughcast rendered sections. The attached pair at 44 and 46 Brighton Road (c.1907) have a picturesque roofscape and feature prominent corner bay windows with conical roofs. 42 Brighton Road (c.1905) has dormer windows and a half-timbered effect in the front gable end.



Figures 12 & 13 - 42 Brighton Road (left), 44 and 46 Brighton Road (right)

Arts & Crafts

The Arts & Crafts aesthetic was a key influence during the Federation period and the transition into the early part of the Interwar period. Characteristics of the Arts & Crafts style included asymmetry, dominant roofs (attic-storeys were common) as well as including detailed artistry and use of 'natural' materials such as roughcast and timber shingling. Tall chimneys were common (for example, 60 Brighton Road, Figure 15). Such designs were meant to be viewed in the round within garden settings. The Arts & Crafts aesthetic is well expressed at *Besanoo* 5 Los Angeles Court which has a broad roof clad in terracotta shingles, tall chimneys, and a shingled gable attic. Other interesting examples are the flats *Alcazar* at 3 Glen Eira Road (**PPHR 327**, also demonstrates influences of the

Spanish Mission and Mediterranean styles) and the house at 50 Brighton Road which features steeply pitched hipped roof forms and a large shingled attic dormer.



Figures 14 & 15 - 'Alcazar' 3 Glen Eira Road (left), 60 Brighton Road (right)

Bungalow

The informal design of the bungalows reflects the influence of the Arts & Crafts aesthetic, especially in their combination of 'natural materials'. The 1920s bungalows typically have broad gable or hipped gabled roofs, with the main ridge being transverse (parallel to the street front) or perpendicular to it and are typically clad in unglazed terracotta tiles with exposed rafter ends to their timber lined soffits. In the 1930s, hipped roofs became the dominant form (for example, 10 & 10A Albion Street). The wall finish is usually brick (red and clinker), some with tuck-pointing, in combination with render (often roughcast), though there are a few that are mostly rendered. A range of decorative brickwork is applied to the walls and arches including banding, diamonds, corbelling, quoining and 'highlighted' voussoirs.

The varying detailing to the gable ends is one of the elements which distinguish individual houses, and often features shingles, lattice or roughcast. The off-centre porches typically have piers with paired timber posts or squat columns. Windows are typically timber-framed with decorative glass to the upper sashes. Original front doors are usually timber with glazing to the upper part.

The earliest bungalows in the precinct include 6 Maryville Street (c.1917, Figure 17) and 19 Albion Street (c.1919, Figure 20).



Figures 16 & 17 - 'Cooraminta' 4 Albion Street (left) and 6 Maryville Street (right)



Figures 18 & 19 - 21 Albion Street (left) and 25 Albion Street (right)



Figures 20 & 21 - 19 Albion Street (left) and 10 & 10A Albion Street (right)

Interwar Spanish Mission

The Spanish Mission style was most popular during the mid-Interwar period, that is, the late 1920s and early 1930s. Characteristic of this style are barley twist columns, usually employed to the front porch, and/or a triple arcade (for example, 2 Morres Street). Some examples also have other detailing typically associated with the Spanish Mission style such as Roman pan tiles (e.g. 64 Brighton Road), a trowelled rendered finish (for example, 4 Los Angeles Court and 20 Monkstadt Avenue), gabled chimney tops, and a Serlian window format (for example, 4 Morres Street, Figure 23). This style is popular in the precinct and some key exemplars include 4 Los Angeles Court (**PPHR 341**, Figure 22), 14 Maryville Street (**PPHR 348**), *Montrose* 56 Brighton Road, *Midlothian* 64 Brighton Road (**PPHR 307**), and 20 Monkstadt Avenue (**PPHR 356**).



Figures 22 & 23 - 4 Los Angeles Court (left) and 4 Morres Street (right)

Interwar Georgian Revival

Hallmarks of this style are a symmetrical façade, which was in contrast to the prevailing use of asymmetric form, and a central columned porch. A key example displaying a restrained Georgian Revival influence is 17 Monkstadt Avenue which has a commodious columned porch and terrazzo deck.



Figures 24 & 25 - 17 Monkstadt Avenue (left) and 8 Los Angeles Court (right)

Interwar Art Deco

The Art Deco style was not commonly used for single residences, being more commonly applied to flats or commercial buildings. Janette at 2 Albion Street is an unusual example employing the Art Deco style featuring stepped detailing to porch, geometric glazing bars. Usage of Art Deco detailing can be seen elsewhere, such as at 19 Monkstadt Avenue which has a bas-relief Art Deco pattern to the porch.



Figure 26 - 'Janette' 2 Albion Street

Interwar Moderne

There are a few examples of the Moderne style dating to the mid to late 1930s. These houses have hipped roofs and are characterised by a horizontal emphasis and rounded forms. Common features include flat curved concrete canopies to the entry porches (for example 48/48A Brighton Road), corner windows (for example, 9/9A Maryville Street), and steel-framed windows (for example, 13/13A Los Angeles Court). 15 Los Angeles Court is rendered with a streamlined appearance and the roof is concealed by the parapet. 48/48A Brighton Road (**PPHR 303**, Figure 28) is a distinctive example featuring the bold use of crazy tapestry brickwork.



Figures 27 & 28 - 15 Los Angeles Court (left) and 'Mid-Mar' 48-48a Brighton Road (right)

Interwar Old English/Tudor Revival

The Old English/Tudor Revival style was popular during the mid to late 1930s. This style is characterised by steeply pitched gable or half gabled roofs, sometimes incorporating catslides. The walls of these houses are clinker brick or rendered with some contrasting brickwork detailing such as corbelled gable ends (for example, 20 Albion Street). Patterned brickwork, such as chequered or herringbone, can be subtly incorporated (for example, 17A Albion Street, 22 Glen Eira Road). The upper parts of walls/gable ends commonly feature a half-timbered effect (for example, 23 Monkstadt Avenue). Porch openings are typically round or Tudor arched (for example, 9 Los Angeles Court). Windows may be multi-paned or quarreled, and oriels may be incorporated where the building is two storey (for example, 17A Albion Street, Figure 32). *Limerick Lodge* 58 Brighton Road (**PPHR 306**) is a distinctive example with complex roof forms and porches with timber cruck-like brackets.



Figures 29 & 30 - 'Chipping Camden' 52 Brighton Road (left), 9 Los Angeles Court (right) The projecting bay at left is a later addition.



Figures 31 & 32 - 20 Albion Street (left) and 'Mandalay Court' 17A Albion Street (right)

4.0 Comparative Analysis

The Brunnings Estate and Environs Precinct is significant as an unusually large, stylistically diverse and highly intact enclave of Interwar period development. This precinct consists of Interwar residential development predominantly derived from the staged subdivision of the former Brunnings Nursery and adjacent mansion estates during the 1920s. The housing, which includes single houses, attached pairs and flats, dates almost entirely to the Interwar period (between c.1917 and c.1940) with some limited Federation period representation. The styles represented span the breadth of the Interwar period. There are some high-end examples which are generously scaled and have distinctive designs. Los Angeles Court is notable as an intact example of an Interwar housing estate that demonstrates a considered and consistent planning arrangement.

The precinct can be compared to a number of areas and streets within the municipality which contain Interwar residential development and are included within heritage overlays, mainly concentrated in the southern parts of the municipality. Interwar residential development is often interspersed amongst building stock from earlier (Victorian and Federation) or later (Post-war) periods. Where Interwar residential development is dominant, areas typically comprise a mix of building types (i.e. houses and flats) and, like part of the subject precinct, derive from mansion estate subdivision.

- Murchison Street & Wavenhoe Avenue Precinct (HO391). An intact area of mainly Interwar bungalows built during the 1920s, supplemented by some Federation period houses and Interwar period flats built during the 1930s. The area was formerly occupied by several nineteenth century mansions, two of which survive. This precinct is comparable in size with the subject precinct but has a greater number of Federation period houses and a greater proportion of early Interwar examples.
- Westbury Close, Balaclava (HO7). A highly intact enclave of Interwar period development comprised predominantly of Bungalow style houses as well as a block of flats and a former post office, that were all built between 1923 and 1929 on consistently sized allotments created from the subdivision of two nineteenth century mansion estates.
- Eildon Road, which forms part of the St Kilda Hill Precinct (HO5). Comprises buildings of the Interwar period with a high proportion of flats, built on subdivisions created from nineteenth century mansions of which one ('Eildon') survives today.
- Wimbledon and Hennessy avenues area within the St Kilda Botanical Gardens & Environs Precinct (HO7). Interwar period flats and houses (several altered) built within the grounds of two nineteenth century mansions ('Wimbledon' and 'Rothermere') that remain.
- Heaton Avenue and Burns Street within the Brighton Road (Elwood) Precinct (HO318). Heaton Avenue was fully developed in the 1920s with bungalow style houses - a relatively small group and a couple of houses have been considerably altered, and few original fences survive. The Interwar streetscape of Burns Street also includes a few earlier houses (Victorian and Federation) and later development including flats. Both streets have basalt kerbing and channelling, and mature plane trees.
- The Elwood: Glen Huntly Rd, Ormond Rd Precinct (HO8). A large precinct, predominantly Federation period, with Interwar residential development dispersed throughout. Streetscapes are typically heterogeneous in terms of period and contain a mix of houses and flats from both periods.
- Mooltan Avenue Precinct (HO390). A small cul-de-sac subdivision in the grounds of a 19th century mansion estate containing an intact group of seven houses all with a Spanish Mission influence built between 1928 and 1930.

The Brunnings Estate and Environs Precinct is distinguished from the other streets/precincts reviewed above by the large quantity and proportion of Interwar period houses demonstrating a comprehensive range of housing styles and by its highly intact and cohesive streetscapes. Many houses retain original front fences and garages. Some streets in the precinct are complemented by mature street trees and concrete or basalt kerbing and channelling.

5.0 Statement of Significance

What is significant?

The Brunnings Estate & Environs Precinct, which consists of some one hundred residential properties in Albion Street, Brighton Road (part east side), Glen Eira Road (part north side), Los Angeles Court, Maryville Street, Monkstadt Avenue, Morres Street and Somers Street is significant. The northern part of the precinct is within Balaclava and the southern part of the precinct is within Ripponlea.

This precinct consists predominantly of residential development derived from the staged subdivision of the former Brunnings Nursery and adjacent mansion estates during the 1920s. The housing, which includes single houses, attached pairs and flats, dates almost entirely to the Interwar period (between c.1917 and c.1940) with a small number of Federation houses.

The following features contribute to the significance of the Brunnings Nursery Estate and Environs Precinct:

- Dwellings dating from the Federation and Interwar periods (c.1905-1940),
- The predominant single storey scale with some interspersed attic and two storey examples,
- Roof forms (hipped, gabled) and roof cladding including terracotta tiles/shingles (glazed and unglazed) and concrete tiles, and chimneys (face brick or rendered),
- Detailing to gable ends including timber battening, roughcast finish and shingling,
- Face brick (red, clinker) and/or rendered finishes, and contrasting detailing,
- Porches,
- Timber framed windows (some with decorative glass or glazing bars), steel framed windows, and timber doors,
- Original or early low front masonry fences and front garden settings,
- Original garages,
- Basalt kerbing and channelling in Maryville Street, Brighton Road and Glen Eira Road. Concrete kerb and channelling and concrete footpaths in Los Angeles Court,
- The small reserve at the end of Monkstadt Avenue and the walkway between Albion and Maryville streets,
- Mature street trees in Los Angeles Court, Monkstadt Avenue and Brighton Road.

The Significant places are:

- Mandalay Court, 17a Albion St (PPHR 396)
- Mid-Mar, 48-48a Brighton Rd (PPHR 303)
- Limerick Lodge, 58 Brighton Rd (PPHR 306)
- Midlothian, 64 Brighton Rd (PPHR 307)
- Sixty-six, 66 Brighton Road (PPHR 437)
- Alcazar, 3 Glen Eira Road (PPHR 327)
- 4 Los Angeles Court (PPHR 341)
- 14 Maryville St (PPHR 348)
- 20 Monkstadt Avenue (PPHR 356)

The Non-contributory properties are:

- 8 and 10 Maryville Street
- 3, 11, 13 and 15 Albion Street
- 21 and 21A Monkstadt Avenue

All other properties within the precinct are Contributory places.

How is it significant?

The Brunnings Estate and Environs Precinct is of local historical, representative and aesthetic significance to the City of Phillip.

Why is it significant?

The Brunnings Estate and Environs Precinct is of historical significance as illustrative of the suburban growth and consolidation of Ripponlea and Balaclava during the Interwar period. It is representative of a common settlement pattern in this part of the municipality where large holdings were subdivided during the Interwar period for residential and commercial development. It is associated with Brunnings Nursery which occupied about nine acres of the precinct between 1881 and 1926. The surviving Federation period houses in Brighton Road are remnants of earlier phases of development in the precinct which have largely been erased. (Criterion A)

The Brunnings Estate and Environs Precinct is of aesthetic significance as an unusually large, stylistically diverse and highly intact enclave of Interwar period housing. The styles represented span the breadth of the Interwar period and include Arts and Crafts, Bungalow, Spanish Mission, Georgian Revival, Art Deco, Moderne and Old English/Tudor Revival. There are some high-end examples which are generously scaled and have distinctive designs. Collectively, the housing is notably cohesion in terms of its scale, composition, materials and detailing, with many properties retaining their original front fences. Los Angeles Court is notable as an intact example of an Interwar housing estate that demonstrates a considered and consistent planning arrangement including concrete street construction and low rendered front fences. The precinct is enhanced by the street settings which includes original basalt kerbing and channelling in Maryville Street, Brighton Road and Glen Eira Road, and mature street trees in Los Angeles Court, Monkstadt Avenue and Brighton Road. (Criteria D and E)

6.0 Recommendations

Excise the Brunnings Estate & Environs Precinct from HO7 to create a separate heritage precinct.

Remove 5, 7 Glen Eira Road and 38 Brighton Road from the heritage overlay.

The following places with PPHR citations become Contributory to the precinct:

- *Janette*, 2 Albion St (PPHR 394)
- *Cooraminta*, 4 Albion St (PPHR 395)
- 50 Brighton Rd (PPHR 435)
- *Chipping Camden*, 52 Brighton Rd (PPHR 305)
- *Montrose*, 56 Brighton Rd (PPHR 436)
- *Besanoo*, 5 Los Angeles Court (PPHR 342)
- 8 and 10 Los Angeles Court (PPHR 343)
- 15 Los Angeles Court (PPHR 345)
- 17 Monkstadt Avenue (PPHR 354)

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- 19 Monkstadt Avenue (PPHR 355)
 - 22 Monkstadt Avenue (PPHR 357)
 - 23 Monkstadt Avenue (PPHR 358)
 - *La Mascotte*, 1 Morres St (PPHR 740)
 - 2 Morres St (PPHR 741)
 - 3 Morres St (PPHR 742)
 - 4 Morres St (PPHR 743)

7.0 Assessment

RBA Architects & Conservation Consultants, *H07 Elwood St Kilda Baladava Ripponlea Precinct heritage review Stage 2, 2022*

Carlisle Street Commercial and Public Precinct

Places of individual significance within the precinct that have a separate citation in the Port Phillip Heritage Review with additional descriptive and historical information are indicated in **bold**.

1.0 Thematic Context

Victoria's framework of historical themes

- 5. Building Victoria's industries and workforce: 5.3 Marketing and retailing
- 6. Building towns, cities and the garden state: 6.3 Shaping the suburbs
- 7. Governing Victorians: 7.1 Developing institutions of self-government and democracy, 7.3 Maintaining law and order
- 8. Building Community Life: 8.1 Maintaining spiritual life, 8.2 Educating people

Port Phillip thematic environmental history

- 5. Buildings and cultural landscapes: 5.2 Shaping the suburbs
- 6. Commerce, trade and work: 6.2 Markets, shops and retail
- 7. Governing: 7.1 Governing Society (7.1.2 Formation of local government), 7.2 Maintaining law and order (7.2.1 Institutions of law and order)
- 8. Community Life: 8.1 Spiritual life, 8.2 Educating (8.2.1 Schools, 8.2.2 Kindergartens and community education)

2.0 History

The history has been separated into two sections relating firstly to the commercial area and subsequently to the public triangle.

2.1 Commercial Area

Land in this area – the Balaclava flat – was marshy and was traversed by creeks, which were diverted into a large city drain that initially extended across the public triangle (JCI, p40). The topography and the resultant poor drainage initially attracted a poorer class, such that the local inhabitants came to be known as the 'Flattites', as compared to the 'Hillites', that is those living on the higher ground (PPP).

Early Land Sales and Subdivision

The land west of Chapel Street on the north side of Carlisle Street was sold in 1850 (*Argus* 16 May 1850 p2). Lot 71B was acquired by F McDonnell and 71C by J Plerins.

East of Chapel Street, there was a regular grid of land parcels with four-acre allotments to the north side of Carlisle Street and five-acre allotments to the south side (PP). The land sales in the area were undertaken in phases during the 1850s. As was common, multiple lots were acquired by one person/company such as Charles Cock (nos 136 A + B) and James Cook (lots 216 A, 217 A + B).

Most of these lots are known to have been offered at two sales. One was held in November 1853 offering lots 136A, 147A, 153A, 216A + 217A (*Argus* 25 Nov 1853 p5) and another was held in September 1857 - lots 136B and 147B (*Argus* 29 Sept 1857 p5).

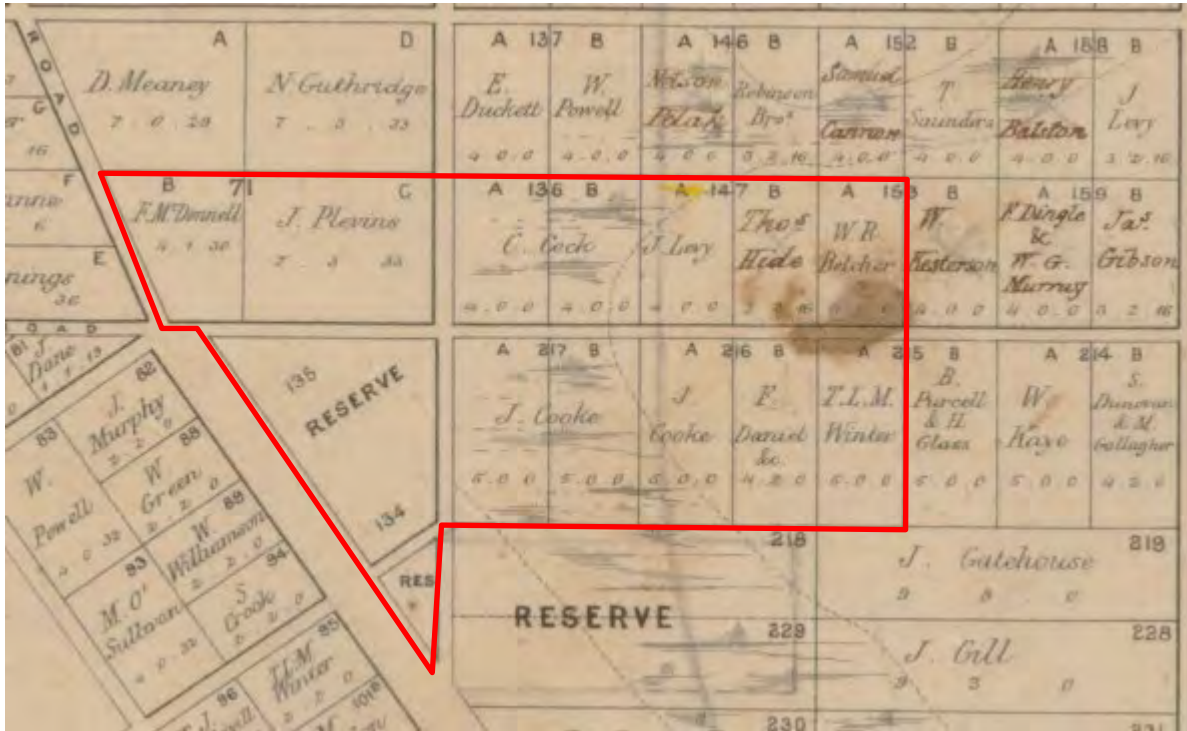


Figure 1 – 1857 Parish Plan - Prahran at Elwood, P81, showing approximate extent of the precinct

The 1855 Kearney plan (Figure 2) shows that only minimal subdivision and construction had occurred in the precinct area, with half of the few buildings then extant being located near Brighton Road, on the north side of Carlisle Street.

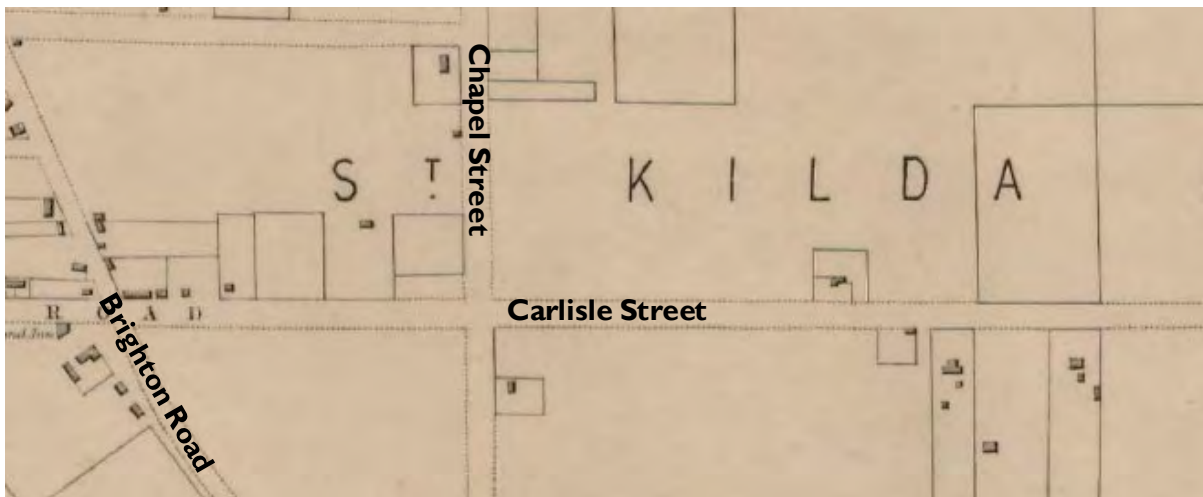


Figure 2 - Kearney Plan 1855 (Source: SLV)

Shortly after, at the end of 1857, the construction of the railway was authorised by the St Kilda and Brighton Railway Company and the first train ran two years later on 3 December 1859. The establishment of train services however did little initially to facilitate development for about another two decades (not until the line was duplicated). In the 1859 Sands & Kenny directory, the first edition with listings for St Kilda, only one resident was noted in Carlisle Street between Brighton Road and William Street.

The following circa 1862 image captures the lack of development near the station. There was a large paddock between Camden and Nelson streets and a timber cottage with a gable roof on the east corner of Nelson Street.



Figure 3 - Circa 1862, Carlisle Street looking west from railway bridge Balaclava station, Nelson Street in foreground (Source: St Kilda Historical Society)

In the 1865 directory (SM), several people were listed in this section of Carlisle Street. By 1870 the number had more than doubled with the Balaclava Hotel being noted as well a grocer (near Brighton Road) and a general dealer (near the station). The hotel license was established in 1869 (PPP).

The early shops were likely constructed in timber, as described in a tender for one designed by Sydney W. Smith in 1869 (AAI, no. 41077).

Early Commercial Development (1870s to 1890s)

The Vardy plans of 1873 (Figures 4 and 5) provide considerable detail of the buildings constructed by that time, none of which survives. The central part – between Chapel Street and the railway - had been subdivided into narrow allotments, broadly consistent with the existing circumstance. On the north side, only a few were developed (near the station) whereas more, about half, had been developed on the south side. Most of these buildings, generally residential, probably did not stand for long but the house on the west corner of Blenheim Street, survived until the extant block of four shops (nos 300-306) was erected during the late 1920s.

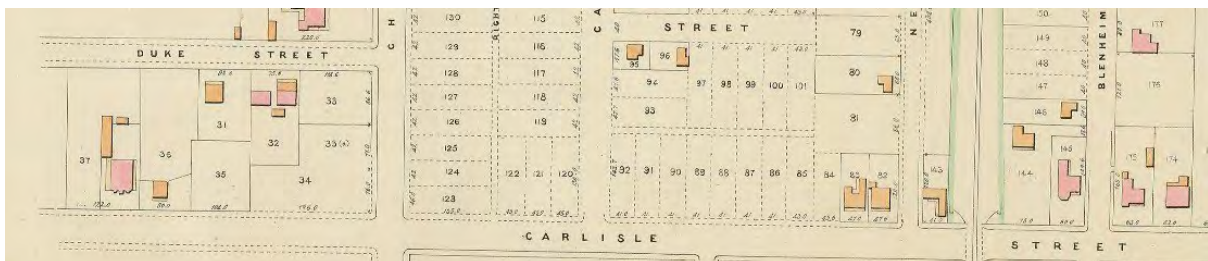


Figure 4 - 1873 Vardy Plan no. 2 south ward, north side of Carlisle Street (Source: St Kilda Historical Society) Note pink denotes brick (masonry) construction and yellow denotes timber-framed

In 1875 (SM), the hotel had changed its name to the Carlisle Hotel and whilst there were more residents, there similarly was only a limited number of shops. By 1880 (SM), the number of residences increased considerably on the south side between Chapel Street and the railway.

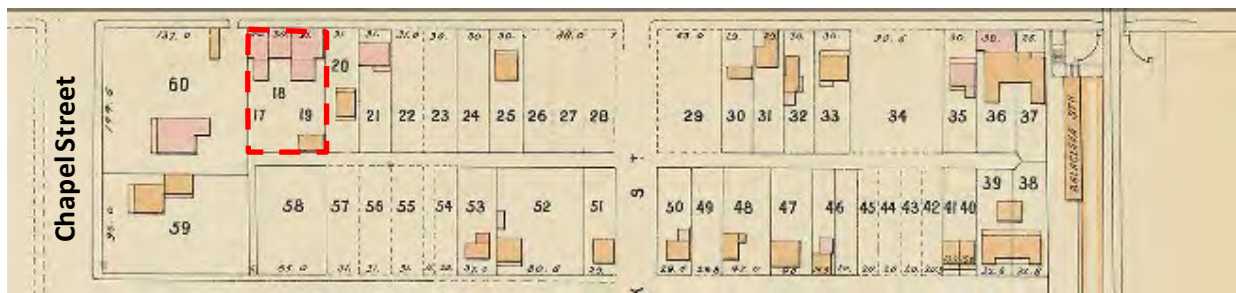


Figure 5 - 1873 Vardy Plan no. 6 south ward, south side of Carlisle Street (top) between Chapel Street and the railway. Hotel site indicated. (Source: SKHS)

In 1878 the State government acquired the St Kilda and Brighton Railway Company's assets, and four years later in 1882 the line was duplicated, with the improvement in services facilitating further development.

The major shift to commercial usage in Carlisle Street began between 1885 and 1890 (SM), likely encouraged by the opening of the town hall on the public reserve, initially in the section between Chapel Street (at the west end) extending eastwards past the railway line to Blenheim Street (north side) and William Street (south side). In 1890, there were 30 business premises to the north side and 35 to the south side, as well as three vacancies. By this time, the name of the hotel had reverted back to the **Balaclava Hotel** and the Carlisle Hall had been constructed just west of Woodstock Street. The extant **Balaclava Hotel** of 1887 was designed by John Frederick Gibbins and the contemporary publican's name - E Allen – is noted on the façade, though a license had been established in 1869 (PPP).

Several architects are known to have designed shops in Carlisle Street during the 1880s indicating that high end buildings were being commissioned. Whilst there is limited information by which to connect an architect with a particular building, much of the remaining stock that does survive from this time is of a high standard. The architect of one place has been confirmed - the elaborately detailed two-storeyed offices and auction rooms at no. 242, which was designed by Arthur Lewis in 1887 for the local estate agent G V Linton (AAI, no. 33680). Linton occupied the site briefly however subsequently it was employed by other estate agents/auctioneers - E Webb & Co in 1889 (RB 1888-9, entry no. 2852) and Carney & Kelly by 1895 (SM). In 1890, the grand building at no. 292 was also erected for an estate agent, W H Creed (PPHR citation no. 316). Other tender notices included two shops by C E Connop in 1884 (AAI, no. 4107), three shops by T J Crouch in 1887 and another by Crouch in 1888 (AAI, nos 41073, 41074).

The growth was also in part due to the development of the tramway system as in 1888, the St Kilda tramway opened as a cable line along St Kilda/Brighton Road between Flinders Street and Milton Street, Elwood. Route 78 along Chapel Street was also established in the same year. Both routes were electrified in 1926, when Route 78 was extended from Carlisle Street to Brighton Road (MT).

The MMBW plans (Figures 6, 7 & 8) show that at the end of the 19th century there were few vacant lots on Carlisle Street with most of the development in the central part (between Chapel and William streets) being commercial in a manner that survives, whereas it was mostly residential west of Chapel Street and east of about William/Blenheim Street (MMBW 1438), none of which survives.

At this time, the mix of materials was very different as about half the buildings were constructed of timber. Some of the brick buildings survive however all of the timber buildings have been replaced including a large tram shed, which was located on the north-east corner of Chapel Street. Opposite on the south side of Carlisle was a substantial vacant allotment.

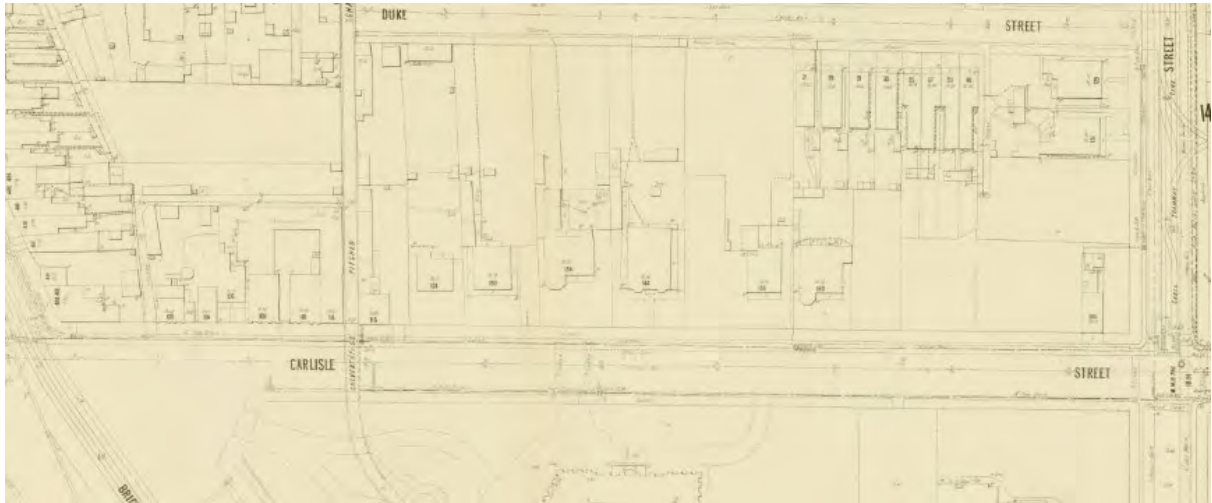


Figure 6 - MMBW no. 1383 (1897) showing the original residential nature of the section between Brighton Road [left] and Chapel Street [right]. No buildings depicted on the north side of Carlisle Street survive (Source: SLV)

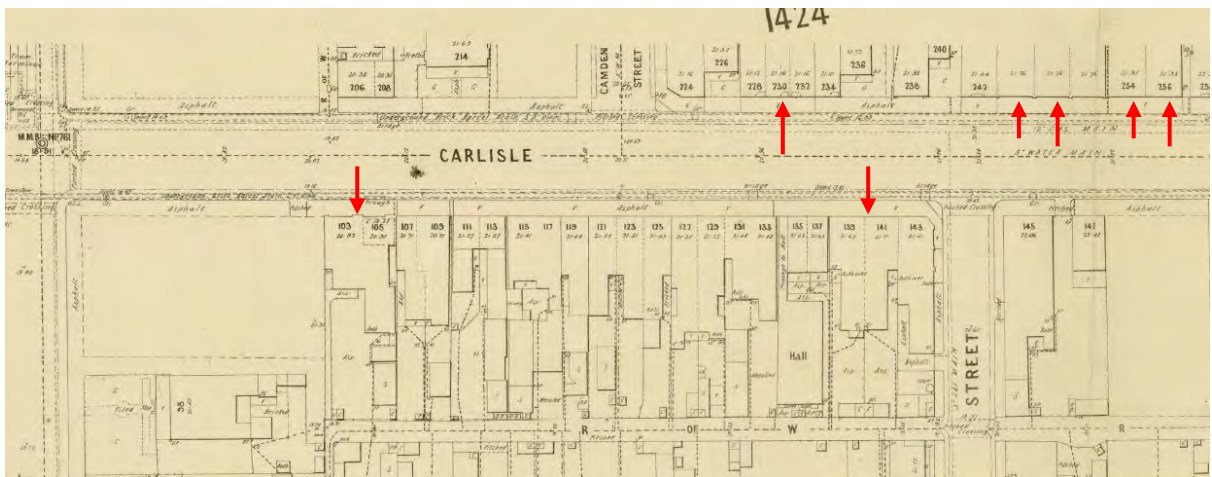


Figure 7 - MMBW no. 1439 (1898) showing Carlisle Street between Chapel Street (left) to about Woodstock Street (right). Surviving buildings are highlighted (Source: SLV)

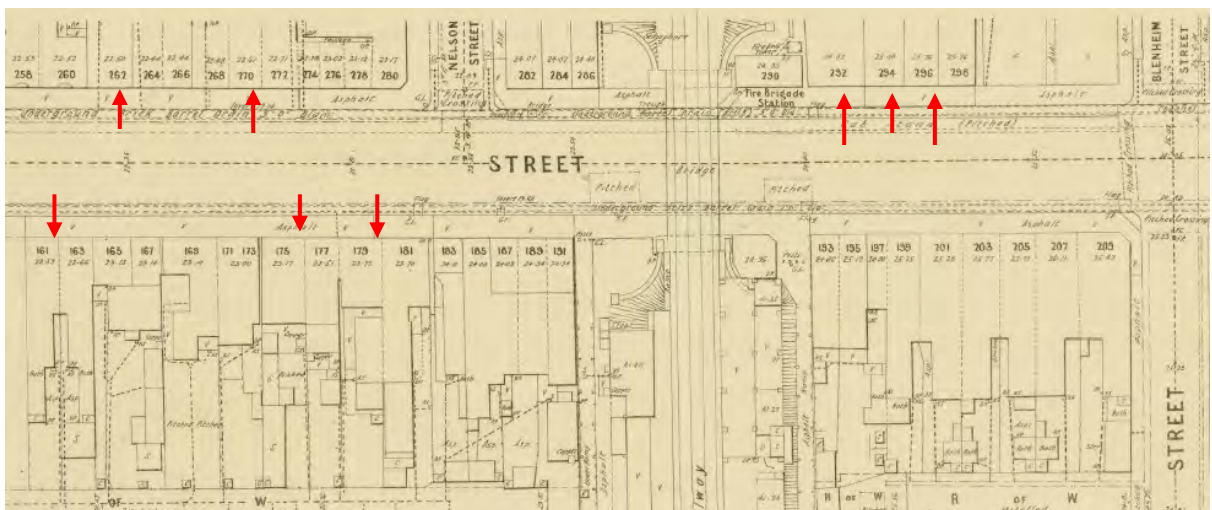


Figure 8 - MMBW no. 1439 (1898) showing Carlisle Street between about Woodstock Street (left) and William Street (right). Surviving buildings are highlighted (Source: SLV)



Figure 9 - Circa 1905-10, 'Main Street, Balaclava' (Source: PPHC + SLV) – Balaclava Hotel on right (Dunphy was the publican) and nos 153-157 evident at corner of Woodstock Street (indicated). Many of the single storey buildings in between were timber-framed.

The western section of the precinct – between Brighton Road and Chapel Street (on the north side) – evolved more gradually as a commercial zone. In 1900, there were 13 identified properties, six of which served as a commercial purpose, one was vacant, and six were residential.

Consolidation and Expansion during the Early 20th Century (1900-1940)

The early 20th century saw the consolidation and expansion of the commercial character of Carlisle Street. This activity was facilitated by the opening of the electric tramway in April 1913 by the PMTT, from Hawthorn Road to St Kilda Esplanade via Carlisle Street, as in the decade following construction of several larger shop rows, up to seven premises, was undertaken.

Many of the extant buildings in the middle section were constructed on previously vacant land or replaced earlier timber buildings, such as the Carlisle Hall (no. 149). The extant rendered building was erected by 1905 (SM). Tenders included a group of five brick shops in 1911 (AAI, no. 49896). In 1913, two shops designed by W. Percy Elsdon were erected by R. Sloane at nos 258-260, (BP 1893). They were two and single storey respectively, though the original single storey component at no.260 has been replaced.

Several buildings were erected in 1914, including the pair of shops at nos 290-290A east of railway. In the same year, the western part of the large building at the north-east corner of Chapel Street, nos 192-200, was designed by Harry Gibbs & Finlay for the builders Swanson Bros. (BP 2314). The eastern section of three shops was added in 1927 (BP 6809) in a similar mode though no architect was identified. Also in 1914, the first branch of the SSBV by Grainger & Little (BP 2440) on the east side of Camden Street was constructed (replaced in 1965 by extant building). The three single-storey shops at nos 274-280 (west side of Nelson Street) were built in 1917 by Clements Langford (BP 3168).

The Interwar period saw expansion of the commercial zone especially to the east of the railway but also west of Chapel Street. The increased development in Carlisle Street coincided with the beginning of the decline of the nearby High Street shopping centre, which hitherto had been the main shopping district in St Kilda.

There was a phase of rapid development just after the end of WWI, including:

- in 1918, the single storey row at nos 165-169 were built by F G Farr (BP 3478)
- in 1919, the row of six, two storey shops at nos 109-121 were built by L Whitehill (BP 3905). (Figure 10).
- in 1919, the pair of single storey shops at nos 147-149 were designed by J F Gibbins & Son (BP 3889).
- in 1920, group of five shops at nos 229-237, designed by Thomas Watts & Son with large billiard hall to the upper level, was constructed by L. Whitehall. (BP 4117).
- in 1921, the group of four single storey shops at nos 139-143 were constructed by Duncan M Smith (BP 4516).
- in 1921, the shop at no. 179 was constructed by James Brown (BP 4482), which is similar to that at no. 184.
- in 1921, 'Harrops Corner' comprising the group at the north-west corner with Chapel Street (nos 186-190 and 153-159 Chapel St) was constructed for B Harrop. Designed by architect Hugh Philp, the development incorporated an existing two storey shop and residence at 186 Carlisle Street.
- in 1921, Carelton & Carelton designed the (now demolished) Commercial Bank of Australia branch at no. 224 (BP 4456).
- in 1921, a pair of two storey shops on the east corner of Woodstock Street (nos 159-163) were designed by Joseph Plottel (BP 4489), however they have been considerably modified.



Figure 10 - Balaclava Hotel, 10 April 1922 - A Becky, Pots, Punks and Punters, p9. The eastern two of the group of recently constructed six shops at nos 109-117 are evident

The 1920s were the main time of change in the section west of Chapel Street (north side) – in 1920 there were seven businesses which had tripled by 1930. The middle part however remained residential – where the library was later constructed. A notable premises in this section is the former Damyon Brothers carriage works at no 116-118 (Figure 11). The company were established at the site by 1890 (SM) but the extant building probably dates to the early 20th century.



Figure 11 - Damyon Brothers Motor Body Works and Carriage Builders | 16-18 Carlisle Street Circa 1920, (Source: University of Melbourne Archives, UMA/1/4472)

The circa 1925 aerial photograph (Figure 12) depicts the initial commercial expansion of the precinct east of the railway (evident on the south side).



Figure 12 - Circa 1925 aerial – the portico of the Town Hall had been added (Source: SLV, 1920-30s ' ST Kilda TH -W R Garrett, H98.129-21)

During the mid to late 1920s, further development occurred with known examples being:

- In 1924, the former Balaclava Post Office at 114a Westbury Street under the direction of the Works Director of the Commonwealth Department of Works and Railways, J J Mackenall, to a standard design.
- Circa 1925 (SM), two storey shops and flats at nos 132-134. Probably designed by H Lawson for V E Anderson (BP 6074). Known as Bilston Flats by 1929 (Age). Owner in 1934 was R L Philpot (BP 8543).
- In 1925, the two brick shops at 162 Carlisle Street were constructed at the front of an earlier residence.

- In 1927 the architect Lewis Levy designed the garage built at no. 126 for W. Wright (PPHR citation 455).
- In 1928, the pair of brick shops and dwelling at nos 181-183 were constructed by E Jennings & Sons (BP 7347).
- In 1928, the four brick shops at nos 300-306 on the west corner of Blenheim Street were built by A W Richardson (BP 7076), who was a builder/developer known to be associated with several other shops in Carlisle Street during the 1920s. Building permits were issued to Richardson in 1924 (3 shops & dwellings), 1925 (three separate permits each for 'brick shop & dwelling'), and 1926 (two permits; one for four brick shops & dwelling and the other two brick shops and dwelling).
- In 1929, the group of three, single storey shops at nos 211-215 were constructed by H Ryall (BP 7532).

By 1931, the density of commercial development in the precinct is apparent on the following aerial photograph (Figure 13) including the recent expansion on the north side, east of the railway line - nos 300-306 at the west corner of Blenheim Street.



Figure 13 - 1931 Nov (Source: Landata, Proj No 1931, Maldon Prison, Run 15, Frame 2750)

The former Metropolitan Gas Co. building at no. 114 was redeveloped during the 1930s, though the company had been at the site from about 1920 (SM). The work was possibly to the design of the noted architects Tompkins Bros, who responsible for several other contemporary buildings for this company, for example at Caulfield South (1930).

The ongoing building activity in the area was outlined in a 1936 article about the nine shops at nos 322-330, east of Westbury Street, being constructed (Figure 14). This substantial building, which bookends the east end of the precinct on the north side, was designed by the noted architect Leslie M Perrot.

An increase is taking place in the population of many of the nearer residential suburbs due to the building of flats, maisonettes, and villas on the sites of old large homes which are being demolished. This is having its effect in the business centres, and is causing an increase in the demand for shops to rent.

Carlisle street Baladava is a shopping centre which is feeling the effect of this movement and new shops are being erected.

NINE NEW SHOPS AT BALACLAVA

Comfortable Living Quarters for Occupants



Figure 14 - Sketch of the Leslie Perrot designed building at nos 322-330 (Source: Argus, 02.07.1936, p14)

Around this time, new branch offices were constructed for two banks which had been established in the precinct for some time. The new Commonwealth Bank building on the east side of Nelson Street (no. 284) in 1939 was part of a contemporary building program for the bank that included the branch at 204 Barkly Street, St Kilda. (Argus 16 Feb 1940 p7). The building at the west corner of Camden Street (no. 220) was altered in 1940 for the National Bank (BP 10435).

The only fully residential building remaining in the precinct was constructed at the end of the Interwar period – the Ilfracombe flats (SM) at no. 160. They were built in 1940 by the owner-builder H G Grigg (BP 10485).

Postwar Change (1945 onwards)

By the end of the interwar period, the centre was almost fully developed and further change occurred as a result of redevelopment (e.g. the bank at no. 224) and replacement of residential properties with shops (e.g. at no. 320). From the Post-WWII period, there are a few generic shops however of note is the substantial office building at 147 Chapel Street designed by the Office of Harry Norris for Semak Electrics and erected c.1954 incorporating an existing building used as a shop and factory (SM; BP U.1943).

Subsequently during the late 20th century a few notable buildings were also erected including the block at nos 320 designed by Bridge, Hayden & Associates from 1963 to 1966 (HA), replacing two houses. The current **Commonwealth Bank** at no. 224 by Eggleston, McDonald & Secomb dates to 1965. Initially it was a SSBV branch and replaced a 1913 bank building (PPHR citation no. 2298).

During the 1970s, the extant six premises building at the south-east corner of Chapel Street (nos 107) replaced an earlier group of single-storey shops by Philip B. Hudson (BP 3905).

2.2 Public triangle and nearby public buildings

The triangle was formerly a camp place for the Boon Wurrung, conveniently located to take advantage of the creek, which emanated from Caulfield, that ran across the triangle.

19th Century Development

The creek was converted to the main drain during the early 1860s but has subsequently been barrel-drained (ME). Its path across the public triangle is evident on the 1864 Cox Plan (Figure 15).



Figure 15 - Cox Plan 1864, showing location of main drain (Source: SLV)

From 1870, land in the triangle bound by Carlisle Street (north), Chapel Street (east) and Brighton Road (south and west) began to be utilised for public purposes, commencing at the southern end with the construction of the first timber Holy Trinity Anglican church designed by F M White (PPHR). It was later used a hall (and demolished during the 1920s when the extant brick hall was erected).

The land for **State School No. 1479** was gazetted in January 1874 (VGG). Initially single storey, it was designed by Henry Bastow of the Public Works Department, with the upper level being added in 1887 (Figure 16). The original paired gables to the middle were a result of the doubling of the capacity from 320 to 640 (VS).



Figure 16 - St Kilda State School no. 1472, circa 1870s (Source: L Burchell, *Victorian Schools*, p108)

Over the next decade, the two extant churches on the public triangle were erected commencing with the **Wesleyan Church** on Chapel Street during 1877-78 (AAI, no. 10979). Designed by the noted architects Crouch & Wilson, it was also constructed in stages as the west end (transept, chancel and vestries) was added in 1885. By that time (in 1882), the **Holy Trinity Anglican Church** had been erected at the south-western corner of the triangle to the design of eminent architects Reeds & Barnes, though without the tower and spire. About this time (in 1883), the land

at the north-west corner was permanently reserved for a town hall, court house and offices (VGG2).

The land on which the town hall stands had been temporarily reserved for market purposes but was being used in other ways before it was constructed in 1890 as noted in Cooper:

Householders, after the custom of their kind, in the vicinity of vacant land, with a no-man's land appearance, found it convenient as a dump for domestic, and garden rubbish. At one time, it was clearly swampy creek land, sweepingly described by some of the scoffing St. Kilda residents, as of "no use now, whatsoever, and it never will be." Later, the low lying land was utilised as an authorised municipal rubbish tip, the ultimate purpose of which was to reclaim the land. When the work of reclamation had advanced sufficiently the Council made use of it as a municipal storage yard. The creek, to become eventually one of the main drains of St. Kilda, threaded the land, and the difficulties that the creek, or drain, presented, were such that the early residents did not foresee that it was possible that the land, some day, might be reclaimed (JBC2, p51).

The **St Kilda Town Hall** was opened in 1890 in a scaled-back format, that is without the ornamentation designed by its architect William Pitt (Figure 18). It replaced an earlier 1859 building at corner of Grey and Barkly streets. Within six years of the earlier buildings' completion and the growth of the municipality, more expansive facilities were being called for from among the councillors and more affluent residents living on the hill. Subsequently in 1883, the extant site, was reserved permanently for a town hall though other options were also considered, which lead to much debate and for the matter to be settled by two polls of ratepayers held in 1887 (JBC2, pp40-53).

This was part of a program to relocate civic buildings from the site at the corner of Barkly & Grey streets to this part of St Kilda during the late 19th and early 20th centuries, with the police station following some 40 years later.

The MMBW plan (Figure 17) shows that at the end of the 19th century the public triangle with the four key sites established – town hall, state school, Anglican and Wesleyan churches.

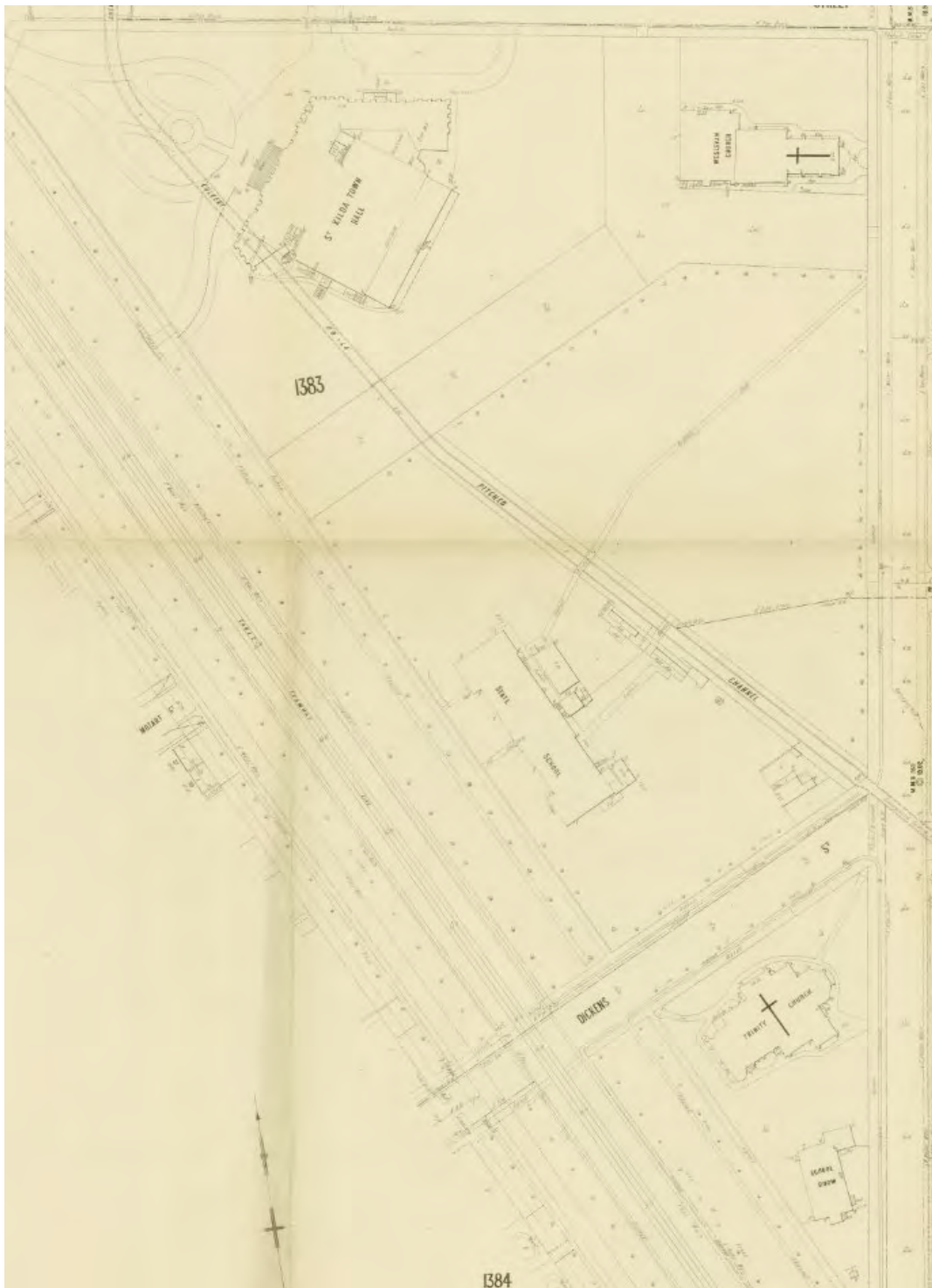


Figure 17 - MMBW no. 1383 (1897) showing the public triangle (Source: SLV)

20th Century Development

By 1914, the need for additional infant accommodation at the State School 'had become acute' but under financial pressures, the scale and detailing of the standard design was reduced with the building in Dickens Street being the outcome (HFL).

The sub-station on Chapel Street, immediately south of the Uniting Church, was likely built c.1915-1920 and associated with increasing electrical demands in the area from the early 20th century development.

A creeper was grown over the façade of the town hall presumably in order to conceal its unfinished state (refer image). The extant portico was added in 1925 by Sale & Keage but the exterior was not rendered at that time (refer earlier 1925 aerial).



Figure 18 - St Kilda Town Hall, early 20th century but before the portico was added in 1925 and the façade was rendered (Source: SLV H84.346/75)

The aforementioned circa 1925 aerial depicts the recently completed Trinity Hall of 1924, south of the Anglican church on Brighton Road. It was designed by the architect Sydney Smith, who lived nearby at 6 Dickens Street (PPHR, nos 299+300).

A new police station was established just outside the triangle on the extant site in Chapel Street in 1928 and occupied by 1929 (*Prahran Telegraph* 7 Sept 1928 p4) (Figure 19). In 1930, a courthouse was built alongside (subsequently demolished). The first local police station and courthouse were originally established c.1854 near St Kilda Junction, and later moved to the site at the corner of Barkly and Grey streets. The old complex at the corner of Barkly & Grey streets was then demolished and replaced by flats.



Figure 19 - Circa 1930 image of former Police Station and Court House on Chapel Street (Source: PPHC, sk0426)

The last key building in the triangle to be constructed was the Methodist school hall at the southwest corner with Chapel Street. It was designed in 1939 by the architect James H Wardrop, who was responsible for other notable buildings the municipality.



Figure 20 - Methodist Church Hall (Source: Herald, 3 May 1939, p20)

By the end of WWII, the main remaining surviving section of residential buildings in the precinct was that where the library now stands (to both Carlisle and Duke streets) (Figure 21).



Figure 21 - 1945 aerial photograph, west end, houses where library now stands are highlighted, and Methodist hall (Source: Landata, Proj No 5, Melbourne and Metropolitan Area Project, Run 17E, Frame 58012)

The **St Kilda Library** opposite the town hall is the key public building in the otherwise commercial zone. Surprisingly St Kilda did not have a library for 60 years, after the original subscription library, established during the 1860s ceased operation in 1912. Whilst there were overtures to in the interim, it was not until 1967 that Council resolved to rectify the situation and appointed noted concrete specialist Enrico Taglietti in April 1970. Construction commenced in February 1972 and the library was opened in May 1973 (PPHR, no. 456). It was later extended by ARM (Ashton, Raggart & McDougall) in 1994 along with offices at the rear of the town hall, after the latter had been lost to fire in 1991.

The **St Kilda Police Station** at 92-98 Chapel Street, designed in 1988-89 by Rob Miles of the PVD (PPHR no. 461), was erected on the site of the 19th century tram sheds (1897 MMBW no 1424) and replaced the 1930 police station complex, which was subsequently demolished and replaced by the present car park (PPCC, sk0426).

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3.0 Description

The description has been separated into two sections relating firstly to the commercial area and subsequently to the public triangle.

General

Straddling two suburbs – St Kilda and Balaclava (with the divide being Chapel Street) - the elongated precinct extends along Carlisle Street from Brighton Road at the west end to east of Westbury Street (north side) and Westbury Close (south side) at the east end. It also extends southwards along Brighton Road to include the public triangle that accommodates the town hall, state school, and Anglican and Wesleyan (Uniting) church complexes.

It includes buildings which contribute to the significance of the precinct from the Victorian (19th century), Federation (early 20th century), Interwar (1920s + 1930s), Post-WWII (1940s+1950s) and Late 20th century periods.

The kerbing and channelling are concrete throughout and the paving varies between being asphalt, basalt pavers and concrete, all of which are 20th/21st century in origin.

Commercial Area



Figure 22 - Carlisle Street (north side, west of Blenheim Street) showing buildings from Victorian period (background, nos 292-298) and Interwar period (foreground, nos 300-306)

Victorian Period

The 19th century buildings are concentrated in the central part of the commercial area - between Chapel Street (west) and Blenheim/William streets (east).

Two key Victorian period examples in the commercial zone are the **Balaclava Hotel** at no. 123 and the **shops** at no. 292. Both have particularly ornate façades. The hotel features a central pedimented bay and a parapet with bottled balustrade, urns or the like, and acroteria to the pediment. No. 292 has three aedicules with alternating pediment forms (arched and triangular) to the first-floor windows and is distinguished by a slate clad, Mansard roof with cast iron railing. To the rear is a billiard hall with arched metal trusses.

A few of the commercial buildings are dated for instance nos 262 (1886) and nos 173-175 (1889). Most of those that survive are two storeys with a rendered façade embellished with an array of mouldings in a classicising mode typical of the late 19th century (nominally indicative of the Italianate style). The roofs are predominantly concealed behind a parapet though a few chimneys are visible with moulded caps. The parapets usually include a central pediment, some with a date/name plate, some with scrolls and terminate in a pier surmounted by urns or the like, though some have been removed. A few have a bottled balustrade. Windows are universally double-hung sashes, and defined by rendered moulding and several set in an aedicule with curved or triangular pediments.

Separate premises were usually defined by pilasters, some fluted (e.g. nos 228-232), and often with a Corinthian order capital or similar. Cornices are typically articulated with dentillations or brackets and other elements (festoons, rosettes, etc.). Other embellishments evident in the precinct include panels of vermiculation (no. 246), quoining (nos 268-272, Tomasetti's buildings), and pilasters with scale-like decoration (nos 153-157). A particularly ebullient example is at no. 246 which has a Serlian window motif and cast iron balconettes to the narrow lateral/side windows (Figure 23).



Figures 23 & 24 - Nos 246 and 248 (left) and Nos 153-157 (corner Woodstock St) (right)

A few less ornate examples survive being pairs at nos 187-189, 191-193, and 254-256, and the single premises at no. 294. Whilst most extant buildings from the Victorian period are two storey, there is a remnant single storey pair at nos 217-219 (on the south side, east of the station), whose parapets have been altered.

A few likely end/turn of the century examples have face brickwork – brown at no 248 or red at no. 296) – contrasting with rendered decorative elements.

The **rail-over road bridge** at the east end of the precinct has finely tooled basalt abutments and riveted metal girder bridge.

Federation Period

There are several Federation period buildings in the precinct being either single or two storey. While buildings from this period may have the same general form or appearance as those of the preceding late Victorian era, their parapets are usually plainer and if ornamented, invariably include orbs. The profile of the parapet, especially to single-storey buildings, is often curvilinear (including scalloped sections). Some of these examples are indicative of the Free style at an unpretentious or modest level. The Free style was an eclectic urban design approach that incorporated, to varying degrees, elements from several contemporary architectural currents - namely an often impure, or sometimes exaggerated, adaptation of the classical tradition, but often incorporating elements of other styles such the Art Nouveau, Romanesque, Queen Anne revival, and the Arts and Crafts.

Walls are usually a combination of red brick and cement sections (frieze and parapet) but are often overpainted. The influence of the Arts and Crafts aesthetic is also evident, as characterised by the use of roughcast render. Window types are typically double-hung sashes in the precinct, though casements were popular at this time. Queen Anne sills were a common decorative element (evident on nos 234-236).



Figures 25 & 26 – Nos 234-236, with Queen Anne sills (left) and No. 258, with faceted piers (right)

Two storey examples within the precinct include nos 192-202, which have multi-paned upper sashes, paired, and some limited classicising detailing by way of the render rusticated piers (Figure 29). Other two storey examples – nos 234-226 (paired) and no. 258 - both have faceted piers, indicative of the Free style.



Figures 27 & 28 - No. 147 and no. 149 (Carlisle Hall) (left) and No. 156 (right)

There are multiple single storey examples from this period in the precinct. On the north side, among this group are nos 116 - 118 (prominent cornice and console brackets), no. 156 (elaborate with orbs), no. 184, no. 236, no. 242, no. 288, and nos 290-290A (1914). On the south side, examples include no. 147 (a wide pediment over two premises), no. 149 (Carlisle Hall, in a more overtly Classical mode with broken bed pediment), nos 165-169, no. 171, no. 185, and nos 211-215. Nos 179 and 184 have the same parapet design, consisting of central, squared pediment-like element with attenuated column shafts to the side piers. The shops either side of the railway on the south side (no. 207) have hipped roofs and may date to this period.



Figure 29 - Nos 192-202

Interwar Period

The Interwar period is well-represented in the commercial area especially at the western and eastern ends. Most of the examples are two storey, are largely intact including their parapets, and incorporated (owner's) residences above, although one building, at no. 132, was developed with flats above. In addition, there is one block of flats at no. 160, the only remnant of what had been a residential section.

The influence of the Arts and Crafts movement continued during the 1920s with red brick and render wall combinations common, often with an expressed tile clad roof. Windows are usually double hung sashes often with multi-paned upper sash. An unusual example at 132 Carlisle Street can be classified as an urban bungalow with its projecting bay/enclosed balcony with shingles to the gable end. It also features lead lighting to the windows.



Figures 30 & 31 - No 132 (left) and Nos 239-247 (right)

Other examples with an expressed roof are nos 239-247 and nos 271-273 Carlisle Street, the latter groups having recessed balconies (though several have been glazed/infilled); as well as at 151 Chapel Street. Other buildings with recessed balconies (mostly infilled) and which externally have contrasting roughcast and smooth render include nos 253-261, nos 279-281, and nos 300-306.

Other multiple shop rows of the period include nos 109-121 (six premises, three overpainted) which have boxed-framed windows; nos 229-237 + 2-4 William Street has a distinctive indented motif to the rendered band; nos 249-251 red brick with tripartite windows; and nos 271-273 with diamond quarrels (leadlight) and timber struts. Other two storey examples are nos 133-135, 181-183, 263-269 (partly altered), and 277.



Figures 32 & 33 - Nos 109-121 (left) and Nos 229-237 (right)

There are a few single storey Interwar shops at 120, 137-141, 162, 177, 274-280 Carlisle Street and 100 Chapel Street. The parapets to these examples have a rectilinear profile and are relatively plain, though some are stepped and/or have squared piers, reflecting a Free Classical approach. Their material palette is brick or render, or a combination thereof. The former Balaclava Post Office at 114A Westbury Street reflects a restrained approach to classicism typical of the period with its façade divided into regular bays and by its porch detailing (with entablature).

A few intact shopfronts of this period survive with manufacturers noted if the badge remains at nos 120 (Brooks Robinson), 132 (Trevorrow), 156 (Brooks Robinson), 162, 242, 246, 290 (Duff) and 300 on the north side, as well as nos 173, (Duff), 181 (Gill), 239 and 253 on the south side (Figures 34 and 35). These shopfronts usually retain a tiled recessed entry with pressed metal to the ceiling, original timber-framed door with large glass pane, stallboard with tiling (some replaced), and metal moulded framing with highlights (some with leadlight and decorative glass).



Figures 34 & 35 - Shopfronts at no. 132 (left) and No. 173 – Duff (right)

The garage at no. 126 is indicative of a restrained version of the Spanish Mission style with triple arcading to the blind niches to the upper part and the doorways, the central one of which retains original panelled timber doors.

There are several substantial Moderne style buildings in the precinct from the later part of the Interwar period, which typically are rendered and have a pronounced horizontal emphasis provided by incised lines, glazing bars to the windows, etc. Of this group, no. 114 is in the Art Deco/Jazz variant with fluted pilasters, chevrons to the panels below the windows, and a curvilinear and below the stepped parapet. No. 229, the former National bank, is a restrained example with a strong horizontal emphasis with multiple incised speed lines and fluted pilasters to the splayed corner entrance with a cartouche above. No. 284, the former Commonwealth Bank, has a tower-like curved corner with full height columns/fins defining the entrance and panels below the windows with a weatherboard-like profile (Figure 36).

The Ilfracombe flats at 160 Carlisle Street are clinker brick with soldier coursing to the lintels and panels of tapestry brick to the curved corners (Figure 37).



Figures 36 & 37 - Former Commonwealth Bank no. 284 (left) and Ilfracombe Flats, 160 Carlisle Street (right)

The large brick building at nos **322-330A** has a horizontal emphasis and is part Moderne, primarily the lateral bays, which contrasts with the treatment of the central gable end in a manner indicative of Tudor Revival style. This stylistic combination was a popular approach in the facades of flats in the area, especially evident in the work of J H Wardrop.

Post-World War I

The key building from the Post-WWII period in the precinct is the three-storey Former Semak Electrics building at 147-149 Chapel Street. This Modernist influenced building has a symmetrical façade of red brick with central spandrels of green tiles and original aluminium windows to the upper level.

Late 20th century

There are a few key buildings from the late 20th century in the precinct.

The **St Kilda Library** (no. 150) is a rugged example of the Brutalist style and has battered concrete walls and features a large, hovering flat roof with a timber lined soffit and wide Western Red Cedar fascia. The open book section of the eastern addition is mainly clad in basalt with two flanking, partly glazed bays.

The **Commonwealth Bank** at no. 224 (east corner of Camden Street) is indicative of the Stripped Classical style as it was executed at that time with a colonnade of fine steel poles (piloti) and a broad flat roof. It is distinguished by the fixed screen to most of the bays.

The two-storey building at no. 320 has walls of concrete brick in stacked bond, eight intact shopfronts (four each to Carlisle and Westbury streets), a projecting roof and canopy with raked fascias, and undercroft car parking to the rear. The articulation of the first-floor windows is distinctive with projecting banding and the design reflects the ongoing interest in the work of Frank Lloyd Wright. A contextual approach was adopted in the articulation of the windows of the tan brick exterior of no. 107 (corner of Chapel Street).

Two buildings dating to the 1980s reflect a Post-Modern aesthetic in their echoing of historic styles in a restrained manner but in a contemporary manner. The prime example is the **St Kilda Police Station** at 92-98 Chapel Street with its arcaded loggia and incorporation of traditional materials (basalt cladding and sandstone-coloured concrete blocks). The market building (nos 252-254), which

has a brown brick parapet punctuated by a large semi-circular opening in which the triangular canopy sits, is also of interest.

Public Triangle

The public buildings are located on large sites and are well setback from their respective boundaries in a garden/landscaped setting.

State School No. 1479 faces Brighton Road is a polychromatic brick building – mainly brown with cream and red accents to the banding and voussoirs of the arched openings – with a slate clad roof. The tower was relocated to the centre when the second storey section was added, below which is an elaborate balcony.

The **Uniting, former Wesleyan, Church** on Chapel Street is a polychromatic brick, Gothic style building. The palette is similar to the school with brown brick, cream brick (plinth, banding, voussoirs), and a few red brick accents (voussoirs to the façade openings). Distinctive features include the tower with bellcast spire roof and the rendered label mouldings terminating in bosses.



Figures 38 and 39 - State School no. 1479 (left) and Holy Trinity Anglican Church (right)

Holy Trinity Anglican Church on Brighton Road is finished in Barrabool sandstone on a basalt plinth with Waurn Ponds limestone dressings to the openings. Stylistically, this fine building is indicative of a French Gothic mode as defined by apsidal baptistery with a conical roof. It has steeply pitched slate-clad roof and the rendered section (north-west corner) indicates where a tower had been planned.

The **St Kilda Town Hall**, an edifice in the Academic Classical style, has a rendered finish. The symmetrical design incorporates giant (double height) colonnades consisting of Tuscan order columns and pilasters to the lateral sections and Corinthian order, fluted columns to the central portico which is surmounted by a prominent pediment, behind which is squat tower. To the rear are late 20th century offices. To the front of the town hall is parkland with several well-established and notable exotic trees, including the pine to the north side (evident in an early 20th image). The circular driveway was established in the 19th century, however the hard paving (concrete) dates to the 20th century.

The two extant church halls in the public triangle date to the Interwar period. The **Holy Trinity Hall** has a tiled roof with metal flues, red brick exterior, rendered band and with some Tudor Gothic style detailing such as the pointed archivolt to the doorway, label mouldings, quatrefoils and crenulations. The Sunday School/Hall at the Wesleyan church is of clinker brick with contrasting brick panelling in salmon-tone, detailing characteristic of J H Wardrop.



Figures 40 & 41 - Holy Trinity Hall (left) and Uniting/Wesleyan Hall (right)

Two buildings in the public triangle date to the Federation period; the substation and the infant school. The substation on Chapel Street (south of the Uniting Church) has a form typical of the period with roughcast rendered walls and a gambrel roof clad in diamond tiling. The louvred openings to the lantern have been altered. The red brick infant school in Dickens Street has a slate clad roof and its gable ends feature battened panels of roughcast render. Above the large multi-paned windows are rendered lintels surmounted by scrolls.

4.0 Comparative Analysis

The Carlisle Street Commercial and Public Precinct is distinguished from other commercial zones/precincts in the municipality by having an even mix of buildings from the three main periods of development – Victorian, Federation and Interwar – as well as having some key examples from the Post-WWII and Late 20th century periods. There are considerable number of Federation and Interwar period examples as many of the original 19th century buildings were timber construction as the area, with its poor drainage, initially attracted a lower socio-economic group. These original buildings were replaced during the early 20th century with masonry examples. In addition, the commercial zone expanded into former residential areas at the eastern and western ends at this time. The group of public, community and religious buildings (town hall, two churches and their respective halls, and a school) is also distinctive within the City of Port Phillip and is a true public reserve.

Clarendon and Park streets, South Melbourne (part of HO440, Emerald Hill Residential Precinct) is the closest comparison with the subject precinct. It has similarly large commercial zone located along a tram route with a nearby railway line (now light rail). It retains a higher proportion of Victorian period buildings, with fewer examples from the Federation and Interwar periods. The public zone is however smaller and located in Bank Street and includes the South Melbourne Town Hall, former Post Office, and Police Station about an open square with much less landscaping. There are also a few (former) churches/religious institutions, which are separately located in some adjacent streets such as Dorcas Street.

Bay Street, Port Melbourne (part of HO 1, Port Melbourne) is another large commercial zone with many Victorian period buildings, some examples from the Federation and Interwar periods, as well as some recent redevelopment, including multi-storey (at the south end). It has fewer public buildings and these are located at either end - the Port Melbourne Town Hall (HO41) to the north and a church to the south.

The Village Belle Commercial Precinct (Acland and Barkly streets, St Kilda, part of HO7) has a parallel history to the subject precinct but has a different profile of building stock. Like Carlisle Street it evolved from an essentially residential area as an alternative to High Street (Brighton Road) and became a popular commercial centre as High Street declined. The buildings however mainly date to the early 20th century, with some from the Federation period and much from the Interwar period,

and with limited Victorian period fabric and less contribution from the second half of the 20th century. It also lacks public buildings.

5.0 Statement of Significance

What is significant?

The Carlisle Street Commercial and Public Precinct includes:

- Carlisle Street - 114-202, 220-304, 320-330A and 103-281
- Chapel Street - 92-98 and 147-157
- 114a Westbury Street
- All the buildings within the triangle bound by Carlisle Street (north), Chapel Street (east), and Brighton Road (south-west).

The western/St Kilda end of Carlisle Street contains predominantly commercial buildings from the Federation and Interwar periods, which replaced earlier Victorian period buildings (mostly residences). The central/Balaclava section was developed with commercial buildings during the Victorian period, although many of these buildings were replaced during later Federation and Interwar phases of commercial development. The Interwar period commercial development at the eastern/Balaclava end replaced Victorian period residences.

The following features contribute to the significance of the precinct:

- Commercial and public/civic development, mainly from the Victorian, Federation and Interwar periods, and also with key examples from the Post-WWII and Late 20th century periods.
- Single and two-storey masonry buildings,
- Parapets and visible/expressed roofs,
- Wall finishes including render (smooth and/or roughcast) and/or brickwork (often overpainted),
- Decorative rendered/pressed cement elements to cornice, frieze, windows, etc.,
- Timber windows – mostly double hung sashes,
- Shopfronts dating to the Federation and Interwar periods, with recessed entries (often retaining a pressed metal ceiling), metal framing, original decorative glass to toplights, tiling to entry floor and/or stallboards, and timber-framed doors.

The Significant places within the precinct are:

- Rail-over road bridge and abutments over Carlisle Street
- 2A Brighton Road and 175-177 Chapel Street (Holy Trinity Anglican Church and Hall)
- 2B Brighton Road (St Kilda Primary School)
- 99A Carlisle Street (St Kilda Town Hall)
- 101 Carlisle St and 161-169 Chapel St (former Wesleyan Church and Hall)
- 123-127 Carlisle Street (Balaclava Hotel)
- 132-134 Carlisle Street (shops and residences)
- 150 Carlisle Street (St Kilda Library)
- 224 Carlisle Street (Commonwealth Bank/former State Savings Bank)
- 242 Carlisle Street (shop and residence)
- 284 Carlisle Street (former Commonwealth Bank)

-
- 292-294 Carlisle Street (Shop and billiards hall)
 - 92-98 Chapel Street (Police Station)
 - 114A Westbury Close (former Balaclava Post Office)

The Non-Contributory properties are:

- 118A, 118B, 145, 162B, 168, 206 – 218, 221, 223, 225 - 227, 260, 264 – 266 and 308 - 314 Carlisle Street
- 48 Blenheim Street

All other properties not listed above are Contributory places within the precinct.

How is it significant?

The Carlisle Street Commercial and Public Precinct is of local historical, representative and aesthetic significance to the City of Phillip.

Why is it significant?

Historically, the Carlisle Street Commercial and Public Precinct is illustrative of the growth and evolution of St Kilda and Balaclava during the 19th and 20th centuries. Initially, the area, with its poor drainage, attracted a lower socio-economic group, and this was reflected in the high proportion of timber buildings, both residential and commercial, constructed between the 1850s and the 1870s, of which none survive. From the 1870s, the establishment of public buildings in the triangle bounded by Brighton Road, Chapel Street and Carlisle Street elevated the status of the area as a local centre.

The public triangle primarily developed over the course of the late 19th century to become the premier public zone in St Kilda firstly with State School no. 1472, then the Holy Trinity Anglican and Wesleyan (now Uniting) churches, and the finally the new home for a larger town hall more befitting the growing municipality, the latter relocated from the corner of Grey and Barkly streets after a protracted process.

The first phase of the shift to commercial along Carlisle Street began between 1885 and 1890, initially in the section between Chapel Street (at the west end) extending eastwards past the railway line to Blenheim Street (north side) and William Street (south side), in part due to the development of nearby tram routes which opened in 1888. Development continued unabated – a combination of greenfields sites and replacement of earlier buildings (houses or shops) - during the Federation and Interwar periods with the commercial zone expanding westwards to Brighton Road and eastwards past Westbury Close/Street so that it become the leading and largest commercial centre in Port Phillip complementing, and later eclipsing, that along High Street. It has continued to thrive due to the flat development in the vicinity supporting ongoing development or renewal of the building stock during the Post WW2 period and late 20th century as represented by several notable public and commercial buildings. (Criterion A)

Aesthetically, the Carlisle Street Commercial and Public Precinct is of significance as a substantial commercial and public centre consisting of building stock from the three main periods of development – Victorian, Federation and Interwar – much of it intact and including good to distinguished examples, as well as having a few individually significant examples from the Post-WWII and Late 20th century periods. Several fine Victorian period public buildings located at the west end form a distinctive group, notably the prominently situated town hall in the Academic Classical style, two Gothic style churches (with their associated halls) and the state school, complemented by some mature landscaping.

The commercial buildings of the Victorian period are generally in a classicising mode, with some particularly ornate and distinctive façades to the Balaclava Hotel at 123 Carlisle Street and the shops at 153-157, 242 and 292 Carlisle Street, which all feature an array of decorative mouldings/elements about the windows and to their parapets.

The influence of either the Arts and Crafts or Free (Classical) style aesthetic is evident generally in the commercial buildings of the late Federation and early Interwar periods, with the Moderne style being popular during the mid to late 1930s. Many of the two storey examples from this phase are distinguished by recessed balconies (often enclosed).

Of particular note within the precinct are the:

- The freestanding Arts and Crafts building at 132 Carlisle Street adopts an unusual expression in a commercial zone with its projecting gabled bay to the first floor (an enclosed porch for the flat/s).
- The Moderne style former Commonwealth Bank at 284 Carlisle Street with its corner tower-like entry with fin-like columns and pronounced bay treatment along the long, side elevation.
- The Tudor-Moderne style shop group at 322-330 Carlisle Street, a hybrid style popular in the area but less common in a commercial context in bi-chromatic brick (regular red and dark tapestry) about a central gable end.

While buildings dating from the Post-war period and late 20th century are fewer, they represent a broad range of styles; these include:

- the Modernist influenced office building at 147-149 Chapel Street in red brick with central spandrels of green tiles,
- the Brutalist St Kilda Library at 150 Carlisle Street with battered concrete walls beneath a wide hovering flat roof,
- the Stripped Classical Commonwealth Bank (former State Savings Bank) at 224 Carlisle Street with a delicate colonnade of piloti,
- the Organic/Wrightian building at 320 Carlisle Street with textured concrete and wide timber fascia, and
- the Post-Modern police station at 92-98 Chapel Street with an arcaded loggia.

The significance of the precinct is enhanced by the survival of several intact original or early shopfronts, and infrastructure such as the rail-over road bridge featuring basalt abutments and a riveted metal girder bridge. (Criteria D and E)

6.0 Recommendations

Excise from HO7 to create separate precinct heritage overlay.

Retain existing site-specific Heritage Overlays for St Kilda Town Hall complex (HO63), St Kilda Primary School (HO64) and Holy Trinity Church complex (HO65).

Removals recommended (that is, currently part of HO7) include: 141 and 145 Chapel Street, 6-8 William Street (single storey section), and the areas to the north and south of the railway bridge (HO147).

Extensions recommended (that is, not currently part of HO7) include: 320-330 and 263-281 Carlisle Street.

HO transfers recommended: Police Station 92 Chapel Street from individual HO290 to the new precinct HO.

It is recommended that the following places with PPHR citations become Contributory to the precinct:

- Former garage at 126 Carlisle Street (PPHR citation no. 455)

-
- Shops at 290-290A Carlisle Street (PPHR citation no. 457)

7.0 Assessment

RBA Architects & Conservation Consultants, *H07 Elwood St Kilda Baladava Ripponlea Precinct heritage review Stage 2, 2022*

Inkerman Street Commercial Precinct

Places of individual significance within the precinct that have a separate citation in the Port Phillip Heritage Review with additional descriptive and historical information are indicated in **bold**.

1.0 Thematic Context

Victoria's framework of historical themes

5. Building Victoria's industries and workforce: 5.3 Marketing and retailing
6. Building towns, cities and the garden state: 6.3 Shaping the suburbs

Port Phillip thematic environmental history

5. Buildings and cultural landscapes: 5.2 Shaping the suburbs
6. Commerce, trade and work: 6.2 Markets, shops and retail

2.0 History

The Inkerman Street Commercial Precinct formed parts of Crown portions 151B, 157A and 158A at St Kilda in the Parish of Prahran. On the north side of Inkerman Street, Crown portions 151B and 157A, each comprised of five acres, were respectively purchased by T Hide in 1857 and J Gill in 1853, while on the south side of Inkerman Street, Crown portion 158A, comprised of 4 acres, was purchased by H Balston in 1857 (PP).

Soon after the Crown land sales, in December 1857, tenders were called for the 'cutting, filling and forming' of Inkerman Street between High (Brighton Road) and Hotham streets (Age 5 Dec 1857 p3).

In January 1858, the 'Inkerman Estate' subdivision (Figure 1), derived from Crown portions 151B and 157A, was auctioned, comprising 132 allotments fronting Inkerman (north side), Malakoff, Leslie, Prentice and Sebastopol streets (Argus 23 and 27 Jan 1858 p8). The auction took place on the grounds where attendees were entertained by a performing band. Advertisements for the sale emphasised the desirability of the location being proximate to both the proposed new Balaclava railway station (opened in 1859) and the residence of the Attorney-General (in Alma Road).

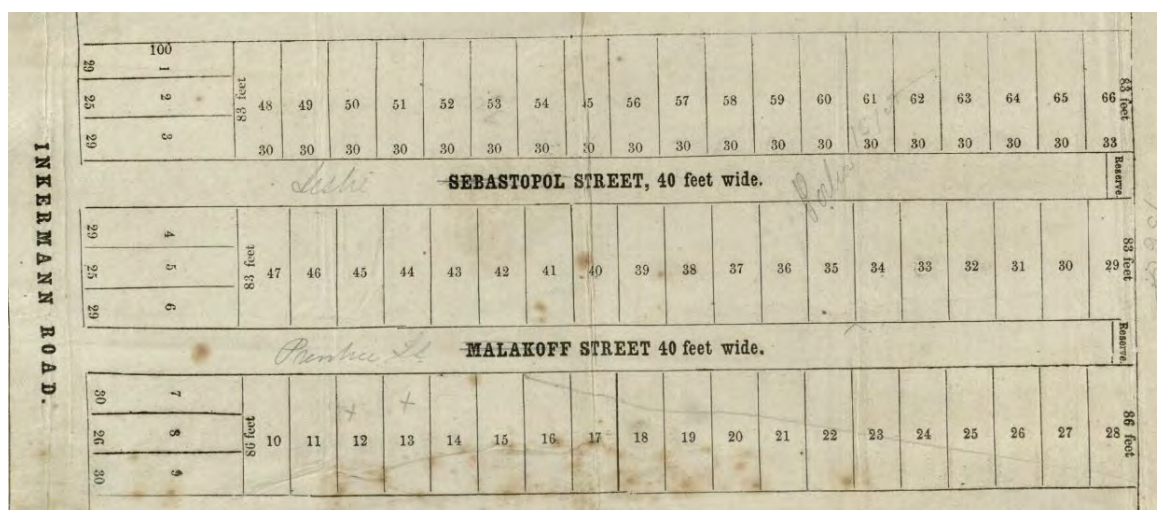


Figure 1 - 'Plan of the Inkerman Estate, St Kilda' (1858). Showing Sebastopol and Malakoff streets (151B) with Leslie and Prentice streets (157A) written in pencil beside, presumably indicating that the subdivisional arrangement was the same for both 151B and 157A (Source: State Library of Victoria)

In early 1859, Henry Balston subdivided Crown portion 158A, creating allotments in the northern half of Balston Street and fronting the south side of Inkerman Street; in March, these allotments were advertised for sale for 20 shillings a foot (*Argus* 1 Mar 1859 p8).

Nineteenth century development

Between 1859 and the early 1870s, the western part of the precinct was developed with a cluster of brick and weatherboard buildings, mostly commercial, either side of Malakoff Street. Also part of this commercial cluster, although outside precinct boundaries, was the timber Albion Hotel built c.1871 (now demolished) on the east corner of Sebastopol Street and the Inkerman Hotel built 1859 on the west corner of Balston Street (rebuilt 1960).

Later, between 1877 and circa 1890, the eastern part of the precinct on the north side of Inkerman Street was developed with commercial buildings and a house.

The mid-nineteenth century development within the precinct is illustrated on the 1873 Vardy plans (Figures 2 & 3) and the 1898 MMBW plans below.

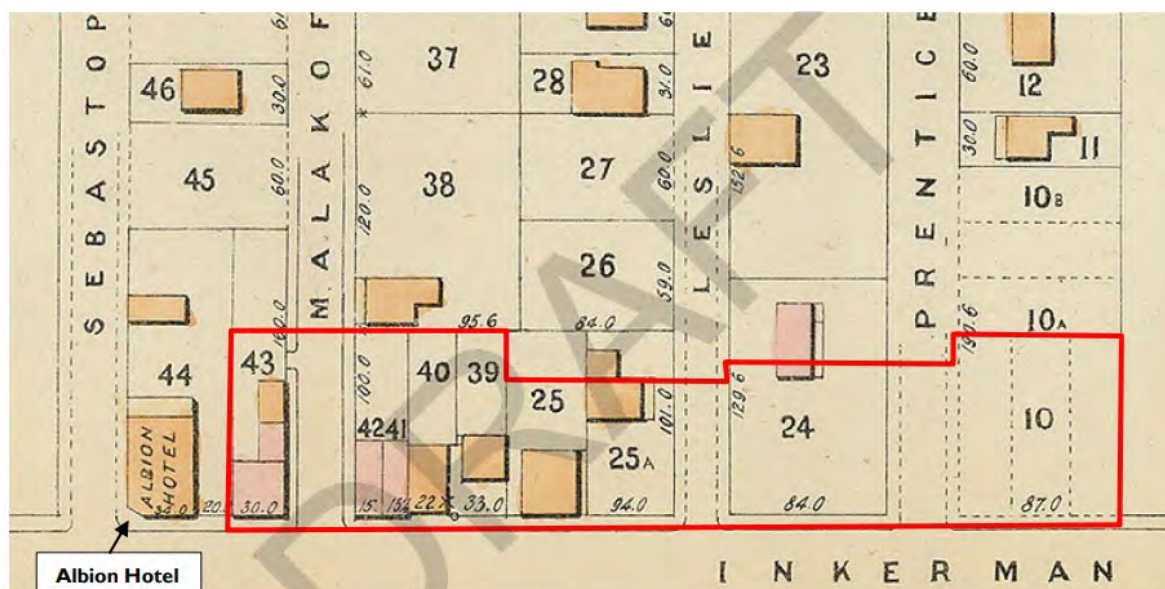


Figure 2 - Plan of the Borough of St Kilda, North Ward No. 7 (J.E.S. Vardy, 1873). Showing the north side of Inkerman Street, with the extent of the precinct indicated. Masonry buildings are shaded pink and timber buildings are shaded orange.

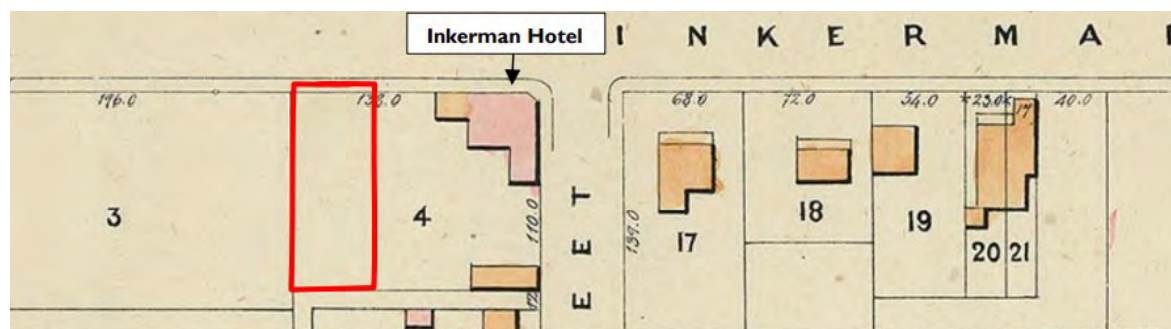


Figure 3 - Plan of the Borough of St Kilda, South Ward No. 3 (J.E.S. Vardy, 1873). Showing the south side of Inkerman Street, with the extent of the precinct indicated.

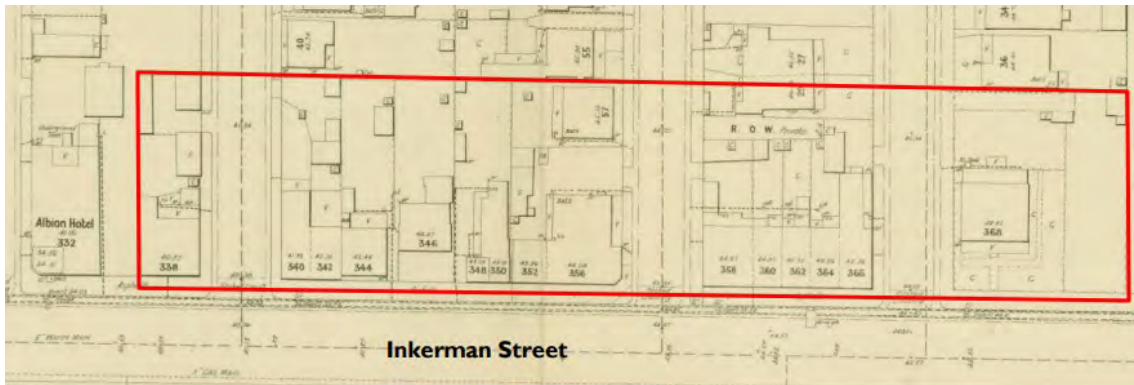


Figure 4 - MMBW detail plan no. 1421 (1898). Showing the north side of Inkerman Street, with the extent of the precinct indicated.

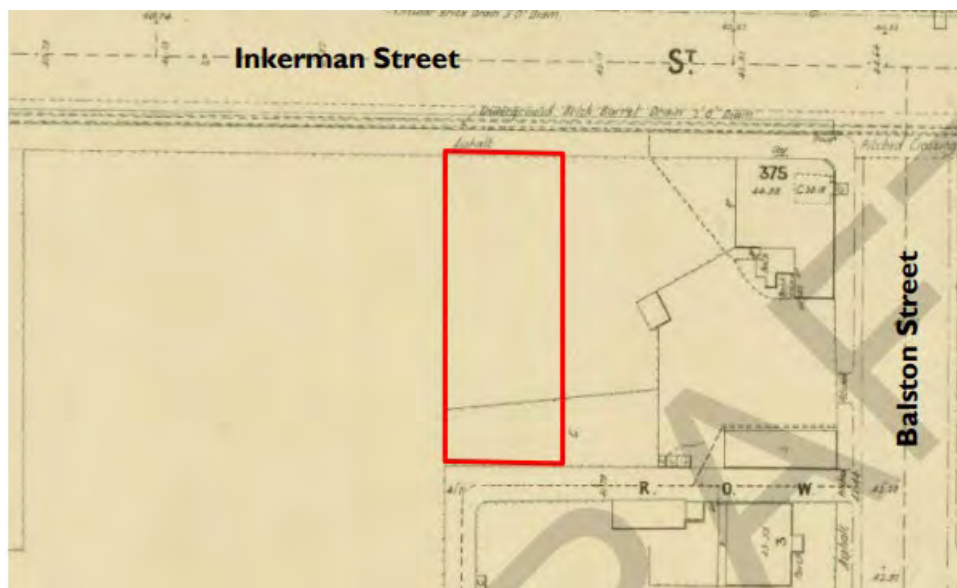


Figure 5 - MMBW detail plan no. 1426 (1898). Showing the south side of Inkerman Street, with the extent of the precinct indicated.

Several Victorian period buildings dating between 1859 and 1880 survive in the precinct. Historical information on these is outlined below:

244 Inkerman Street

In 1868, a brick shop with residence was built for Miles Farrington, butcher, who was the owner and occupant (RB Jan 1869 no. 1593). In 1887, thieves broke into the shop and made off with 100 pounds of meat (*Herald* 7 Oct 1887 p3). Following Miles' death in 1891, the building continued to be occupied by butchers until into the late 1930s.

In 1941, alterations were undertaken to adapt the building for factory use. During the 1950s and 1960s/70s, various substantial additions and alterations were undertaken, including a two-storey extension to the rear and a new two-storey building on the adjacent site at 240-242 Inkerman Street replacing an early 20th century house (BP 57/92, 2015, 1074, 57/760, 1959). In the 1940s and early 1950s, occupants included leather goods manufacturers and jewellery chain manufacturers, and from the mid-1950s it was used as a knitting factory.

248-250 Inkerman Street

In 1859, a brick building containing two premises (each comprised of a shop and dwelling) was erected on the east corner of Malakoff Street for James Reynolds. Early occupants of the shops included a grocer with post office (no. 248) and a bootmaker (no. 250).

Not long after their construction, in December 1859, both premises were advertised for auction and marketed to 'bakers, grocers, and others' (*Age* 28 Dec 1859 p7). They were described as 'capital brick-built houses and shops' each having a frontage of 15 feet to Inkerman Street and a depth of 90 feet with a right of way at the rear, and the eastern premises (i.e. no. 250) having a brick water tank and outhouse.

The sale was apparently not successful, as in mid-1860, James Reynolds was still the owner. At this time Reynolds lived at the back of one of the premises (no. 248) and was accused of twice attempting to burn down the building by depositing lighted rags inside while the tenants were at home (*Argus* 9 Jun 1860 p5; 16 Jun 1860 p4). Although he was ultimately discharged due to insufficient evidence, it was suggested that Reynolds, who had a large mortgage on the property, may have been motivated by the insurance money of £300.

By 1861, ownership had been transferred to Peter Langdon, along with properties adjacent to the north in Malakoff Street. Peter Langdon died in 1878, and the following year the whole building was advertised for sale, which was described at the time as 'a very substantial brick shop (upon a bluestone base) and dwelling' (*Argus* 15 May 1879 p2).

By 1950, the building was being used for manufacturing purposes, with a knitwear factory at no. 248 and a confectionery factory and later a button factory at no. 250.

268-276 Inkerman Street

In 1880, a row of five brick shops with dwellings was built for Dr. Ray, a surgeon, on land which had previously formed part of the grounds of a brick house to the north (*Telegraph St Kilda Prahran and South Yarra Guardian* 7 Aug 1880 p5). During construction of the buildings, Dr. Ray drew Council's attention to the 'necessity of kerbing the portion between Leslie and Prentice streets, and of asphaltting the same'. Four of the dwellings had four rooms and one had five rooms. Early tenants of the shops included a grocer, butcher, stationer, dressmaker and baker.

Although Dr. Ray had died by 1884, the executors of his estate retained the properties and continued to lease them until into the 20th century.

278 Inkerman Street

In 1877, a four roomed brick and weatherboard house was constructed on the east corner of Prentice Street for Robert Lateus and his wife Ann (RB Dec 1877 no. 744). It appears that Robert may have been 'Robert Latus' a cotton spinner from Lancashire, England, who in 1824 had been convicted of shooting and wounding a strike-breaker during an industrial strike and transported to Tasmania for life, despite doubts as to his guilt (*Cotton Factory Times [England]* 11 May 1888). He was pardoned in 1840 and settled in Melbourne where he apparently prospered. Following Robert's death in 1884 aged 76, Ann remained at the house for several more years (*Age* 16 Jun 1884 p1).

Interwar development

For a forty-year interval between 1880 and 1920, there was little, if any, development within the precinct. It was not until the Interwar period that a second phase of substantial development activity occurred, as new commercial buildings were introduced, either as replacements for earlier timber buildings or on land excised from the grounds of larger allotments. The 1945 aerial photograph below shows the development of the precinct at the end of the Interwar period.



Figure 6 - Aerial photograph dated 1945, showing the development of the precinct by the end of the Interwar period.

Historical information relating to the surviving Interwar period buildings dating between 1921 and 1930 is provided below.

258 Inkerman Street

This site was originally developed during the 1860s with a timber shop. In 1927 and 1929, building permits were issued to owner A Kay for 'brick and wood' additions costing an estimated £200, and then 'brick additions' for an estimated cost of £800 (BP nos 6988, 7645). Given the substantial amount of the 1929 works, it is more likely that a wholly or largely new building was constructed at this time.

Just 10 years later, in 1937, a further building permit was issued to a subsequent owner, R Lockwood, for a brick addition and alterations. Again, the estimated cost was substantial (£700), suggesting extensive works, if not rebuilding. The builder was P G Goldby of Elsterwick (BP no. 9823). During the 1940s and 1950s, the shop was occupied by a newsagency.

262-66 Inkerman Street

This site was first developed during the 1860s with a timber house fronting Leslie Street which was set back from Inkerman Street. Sometime between the 1870s and the 1890s, the house was replaced with a timber shop built to the corner.

In 1936 and 1938 two building permits were issued to owner W H Smeeton, a grocer who had occupied the site since the 1920s, for brick additions/alterations (BP nos 9161, 9874). Given the substantial estimated cost however (both £400), and the current appearance of the buildings, it is more likely that a wholly or largely new building was constructed. The builder cited in both permits was H McConnell of St Kilda East. Smeeton continued operating his grocery at the site until into the 1960s.

280 Inkerman Street

This site was previously part of the grounds of the adjacent house at no. 278. In 1921, a permit was issued to the owner Dunn Bros. motor engineers, for a brick garage (BP no. 4683). The 1935 Sands and McDougall's directory records it was occupied by female motor engineer, Doris Little (*Table Talk* 3 Dec 1936 p42).

The building has been continuously used as a motor engineering garage.

353-355 Inkerman Street

This site on the south side of Inkerman Street previously formed part of the grounds of the Inkerman Hotel, which was constructed in 1859.

In 1930, a pair of brick shops with dwellings above were erected for Herbert William Goldby of Bentleigh (BP 7771, 7766). The newly completed building can be seen on a 1931 aerial photograph. Early businesses included a dry produce store and later a hairdresser at no. 353, and a chemist at no. 355.

References

Certificates of Title: Vol. 4058 Fol. 552 (no. 244) and Vol. 1293 Fol. 425 (no. 248-250)

Council Building File (BF) for 244 Inkerman Street

Melbourne & Metropolitan Board of Works (MMBW) Detail Plans nos. 1421 (1898) and 1426 (1898)

Newspaper Articles, various

Parish Plan (PP), at Elwood, Parish of Prahran, P81 (13)

Port Phillip Thematic Environmental History (TEH), February 2021

Rate Books for St Kilda (RB) 1859-1900

St Kilda Council building permit records (BP)

Sands and McDougall's Directories (SM) 1859-1965

3.0 Description





The Inkerman Street Commercial Precinct comprises a small group of buildings from the Victorian and Interwar periods, mostly commercial, situated on both sides of Inkerman Street in St Kilda East.

The original basalt kerbing and channelling survives in the side streets, as well as a basalt paved crossover at the rear of nos 248-250. The footpaths are asphalt and the kerbing to Inkerman Street is concrete. There are several street plantings of various species, including young saplings and older, moderately sized trees.

Victorian





The Victorian era buildings in the precinct include the two storey shops, with upper-level residences, at 244, 248-250 and 268-276 Inkerman Street and the house at 278 Inkerman Street.

The commercial buildings from this period are similar in form, materials, finishes and detailing - all are of masonry construction and are smooth rendered with upper levels detailed with cement-rendered ornamentation. Windows are double-hung sashes. Some original chimneys survive. No original Victorian shopfronts survive.

Details	Image
<p>244 Inkerman Street Built in 1868</p> <p>Shop residence, converted to factory use mid-20th century. First floor intact, although presumably the parapet detailing has been removed (with later roof alterations). Unusual beaded edges to window openings and pilasters, timber framed sashes, and projecting sills. Paired timber brackets to cornice. Tooled lines evident to rendered finish (overpainted). Elaborate mouldings to either end of ground floor cornice.</p> <p>Key additions and alterations undertaken in the 1940s-1960s include façade alterations at ground floor, replacement of the original hipped roof with an exposed gable roof (including gable end at front), and the two-storey rear extension.</p>	
<p>248-250 Inkerman Street Built in 1859</p> <p>Pair of shop residences. First floor intact, although likely original parapet detailing has been removed. Three arched window openings with moulded architraves and timber framed sashes. Rendered finish may not be original. Ground floor retains basalt columns (overpainted) – upper parts of shafts rusticated with picked faces and draft margins, lower parts of shafts rendered. Side walls in English bond brickwork (overpainted) and some original openings. Shopfronts are not original or early.</p>	
<p>268-276 Inkerman Street Built in 1880</p> <p>Group of five shop residences. No. 268 is the widest.</p> <p>First floor intact, although presumably parapet detailing removed. Paired console brackets with floriated panels, arched window openings with female classical head keystones. Rendered chimneys with moulded caps. Shopfronts are not original or early.</p>	
<p>278 Inkerman Street Built in 1877</p> <p>Bichrome brick house (Hawthorn brown with cream to quoining and cornice), hipped roof (likely originally clad in slate), symmetrical composition with central entrance and windows (timber framed sash) either side, timber brackets to cornice, verandah to full width of façade (timber posts and frieze not original), bichrome brick chimneys with rendered caps. Fence not original.</p>	

Interwar

The Interwar era buildings in the precinct include the single storey shops at 258 and 262-266 Inkerman Street, the motor garage at 280 Inkerman Street and the shop residences at 353-355 Inkerman Street.

Details	Image
<p>258 Inkerman Street Built in 1937 (may contain some earlier components, but the façade dates to 1930s). Single storey shop with stepped parapet – face red brick with rendered coping and decorative vertical fin-like elements reflecting an Art Deco influence. Shopfront and tiling not original.</p>	
<p>262-266 Inkerman Street Built 1936-38 (may contain some earlier components, but the façades date to 1930s). Single storey shops with rendered parapet featuring panels with Art Deco influenced chevron motifs, chamfered corner, canopy with original ridged soffit lining. Original or early shopfronts mostly survive. No. 266 has some original tiling (overpainted) and shopfront framing has manufacturers badge for 'N&N Shopfitters' (a Prahran based company active from the early 1930s).</p>	
<p>280 Inkerman Street Built in 1921-22 Broad semi-circular parapet, symmetrical composition, central arched vehicular entrance with timber doors, multi-paned timber-framed windows, textured glass to highlights. Remnant painted signage on side (date unknown). Façade has been overpainted.</p>	
<p>353-355 Inkerman Street Built in 1930 Shops with dwellings above. Clinker brick, stepped parapet, end piers, paired timber-framed windows with multi-paned upper sashes, rendered banding (lintels and sills). Shopfronts not original.</p>	

4.0 Comparative analysis

The Inkerman Street Commercial Precinct is significant as a small local commercial centre that comprises building stock from the Victorian and Interwar periods. Comparable commercial centres in the municipality include:

- Montague Commercial Precinct, South Melbourne (currently part of HO442 precinct, proposed separate HO through amendment C186port). Comprised of Victorian, Federation and Interwar period buildings dating between 1867 and 1935. Mostly two storey shop residences and single storey shops. There is also a house.
- 71-111 Brighton Road, Elwood - Victorian, Federation, Interwar (within HO7 precinct). Comprised of Victorian, Federation and Interwar period buildings dating between c.1880s and c.1930s. Mix of two storey shop residences and single storey shops.

The precinct is distinguished by its retention of two early shop residences dating to 1859 and 1868. Known examples of pre-1870 shop residences are rare in St Kilda and the broader municipality - in St Kilda there are the following:

- 264 St Kilda Road (1864) (Individual HO506)
- 170-172 St Kilda Road (1867) (Individual HO248)

Elsewhere in the municipality, other known examples of early shop residences include 98-100 Bay Street (PPHR citation 248, c.1860, within HO1 precinct), 397 Bay Street (c.1863, PPHR citation 241, HO1), 235-237 Bay Street (1869, PPHR citation 235, HO1), and 378 Coventry Street (c.1856, PPHR citation 1053, HO96).

The precinct is further distinguished by the retention of a house (no. 278) within a commercial area, where typically earlier residential development was replaced. Built in 1877, the house is notable as one of the earliest surviving residences in St Kilda East. Except for some remnant mansions, most houses date from c.1885 boom period and examples prior to 1880 are rare.

5.0 Statement of significance

What is significant?

The Inkerman Street Commercial Precinct includes 244-280 Inkerman Street (north side) and 353-355 Inkerman Street (south side). The precinct was developed during the Victorian and Interwar periods.

The following features contribute to the significance of the precinct:

- Victorian period development (1859-1880) including
 - two-storey shop residences (nos. 244, 248-50 and 268-276) with rendered finishes and decorative window settings
 - single storey house (no. 278) of bichrome brick with a hipped roof and front verandah
- Interwar period development (1921-1938) including
 - single storey shops (nos. 258 and 262-266) with decorative parapets and partly retaining original/early shopfronts
 - two-storey shop residences (nos. 353-355) of clinker brick with a stepped parapet
 - garage (no. 280) with a broad semi-circular parapet
- Basalt kerbing, channelling, and some crossovers in side streets

The Significant places within the precinct are:

- 248-250, 268-276 and 278 Inkerman Street

The Contributory places are:

- 244, 258, 262-66, 268-276 and 280 Inkerman Street
- 353-355 Inkerman Street

The Non-contributory properties are:

- 254 and 256 Inkerman Street

How is it significant?

The Inkerman Street Commercial Precinct is of local historical, rarity, representative and aesthetic significance to the City of Phillip.

Why is it significant?

The Inkerman Street Commercial Precinct is of historical significance for its association with the early phase of development in St Kilda East/Balaclava, following the Crown land sales of the 1850s. The earliest development in the precinct coincided with the 1859 opening of the Balaclava railway station which stimulated development in the area. The buildings at 244 and 248-250 Inkerman Street are rare surviving pre-1870 shop residences in the municipality recalling the earliest phase in the commercial development of this part of Inkerman Street. The 1877 house at no. 278 is a remnant of the residential development that characterised the east end of the precinct during the 19th century and amongst the earliest surviving houses in East St Kilda. The Interwar period shops and garage, which were introduced either as replacements for earlier Victorian period timber buildings or on land excised from the grounds of larger allotments, demonstrate the precinct's commercial expansion into the twentieth century. The precinct is notable for its strong continuity as a small local commercial area for over 160 years since 1859. (Criteria A and B)

The Inkerman Street Commercial Precinct is significant as a representative example of a small, but diverse, local commercial centre developed during the Victorian and Interwar periods which is largely intact to its late 1930s state. The Victorian period shop residences (nos. 244, 248-250 and 268-276) feature distinctive window treatments. The oldest surviving building in the precinct, no. 248-250, is distinguished by a rare example of basalt columns at ground floor. The house at no. 278 is an uncommon example of a surviving house within a commercial area, where earlier residential development was typically replaced. The garage (no. 280) is remarkably intact and a relatively early example of an industrial building retaining timber framed windows. The single storey Interwar period shops (nos. 258-266) have an Art Deco influence and are relatively elaborate façades for the period. Some Interwar period shopfronts survive. (Criteria D and E)

6.0 Recommendations

Include the Inkerman Street Commercial Precinct in the Schedule to the Heritage Overlay.

Transfer 268-276 Inkerman Street from individual HO 162 to new Inkerman Street Commercial Precinct HO.

7.0 Assessment

RBA Architects & Conservation Consultants, *HO7 Elwood St Kilda Balaclava Ripponlea Precinct heritage review Stage 2, 2022*

Ripponlea Commercial Precinct

Places of individual significance within the precinct that have a separate citation in the Port Phillip Heritage Review with additional descriptive and historical information are indicated in **bold**.

1.0 Thematic Context

Victoria's framework of historical themes

5. Building Victoria's industries and workforce: 5.3 Marketing and retailing
6. Building towns, cities and the garden state: 6.3 Shaping the suburbs

Port Phillip thematic environmental history

5. Buildings and cultural landscapes: 5.2 Shaping the suburbs
6. Commerce, trade and work: 6.2 Markets, shops and retail

2.0 History

The Ripponlea Commercial Precinct formed parts of Crown portions 238 (on the north side of Glen Eira Road) and 255 (on the south side of Glen Eira Road) which were sold in the early 1850s (PP).

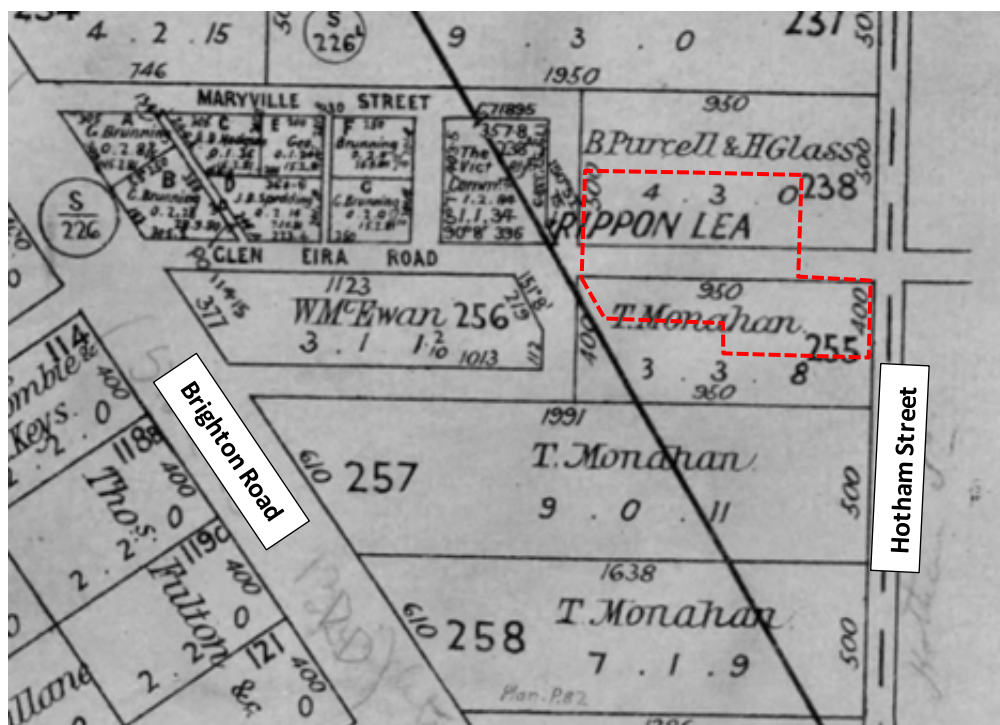


Figure 1 - Extract from Parish Plan (at Elwood Parish of Prahran P81 (13)) showing Crown portions. The approximate boundaries of the subject precinct in relation to Crown portions 238 and 255 are indicated. (Source: Landata)

Allotment 255 was purchased by Thomas Monahan, along with the adjoining allotments to the south, 257 and 258, which together totalled about 20 acres (PP). In 1854-55, Monahan, an Irish immigrant who made his fortune in Melbourne as a property owner, and his wife Mary had their substantial residence *Erindale* constructed facing Brighton Road (outside the precinct) (*Argus* 18 Oct 1854 p1).

By 1856, Monahan had also acquired allotment 238, another almost 5 acres, which had originally been purchased jointly by wealthy speculator Hugh Glass and auctioneer Brabazon Purcell.

In 1859, the railway to Brighton was opened, bisecting Monahan's land. Evidently a station at 'Glen Eira Road' was originally proposed, with reference to it featuring in advertisements for nearby land sales of that year (Age 7 Sep 1859 p7), however it did not eventuate at that time.

The 1864 Cox plan (Figure 2) shows the Brighton railway line and *Erindale*. The area of the subject precinct was undeveloped except for one small building on the north side of Glen Eira Road (the later Vardy Plan of 1873 suggests this was a timber outbuilding).

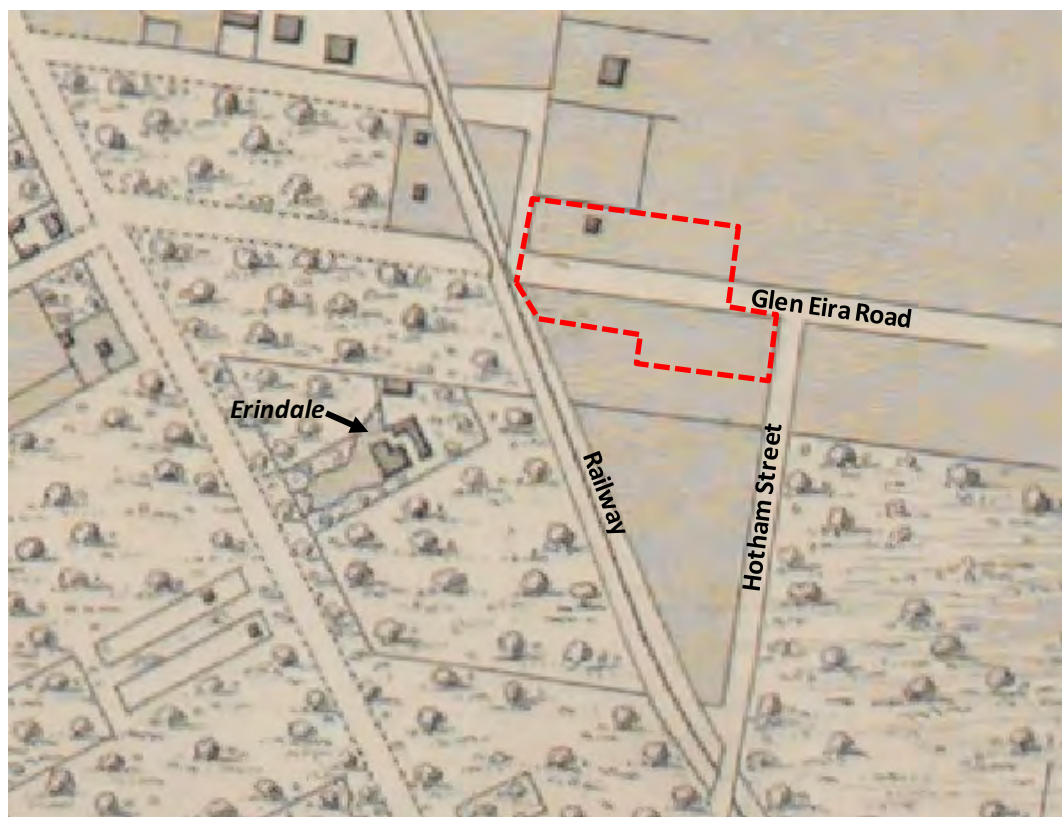


Figure 2 - Extract from 1864 plan of Melbourne, surveyed by H L Cox. The approximate boundaries of the subject precinct are indicated. (Source: State Library of Victoria)

In the latter part of the 19th century, seemingly spurred by the enduring hope of a station, some residential development occurred in Ripponlea (outside the precinct) predominantly on the west side of the railway line to north and south of the Erindale estate (Herald 31 Oct 1912 p3).

In 1890, following Monahan's death, his daughter Betsy Keogh had the substantial residence *Quat Quatta* built in the grounds of the Erindale estate on the east side of the railway line and fronting Glen Eira Road (outside the precinct) (PPHR citation no. 368).

The 1901 MMBW plan (Figure 3) shows the area of the Ripponlea Commercial Precinct yet undeveloped, except for some outbuildings and gardens associated with *Quat Quatta*.

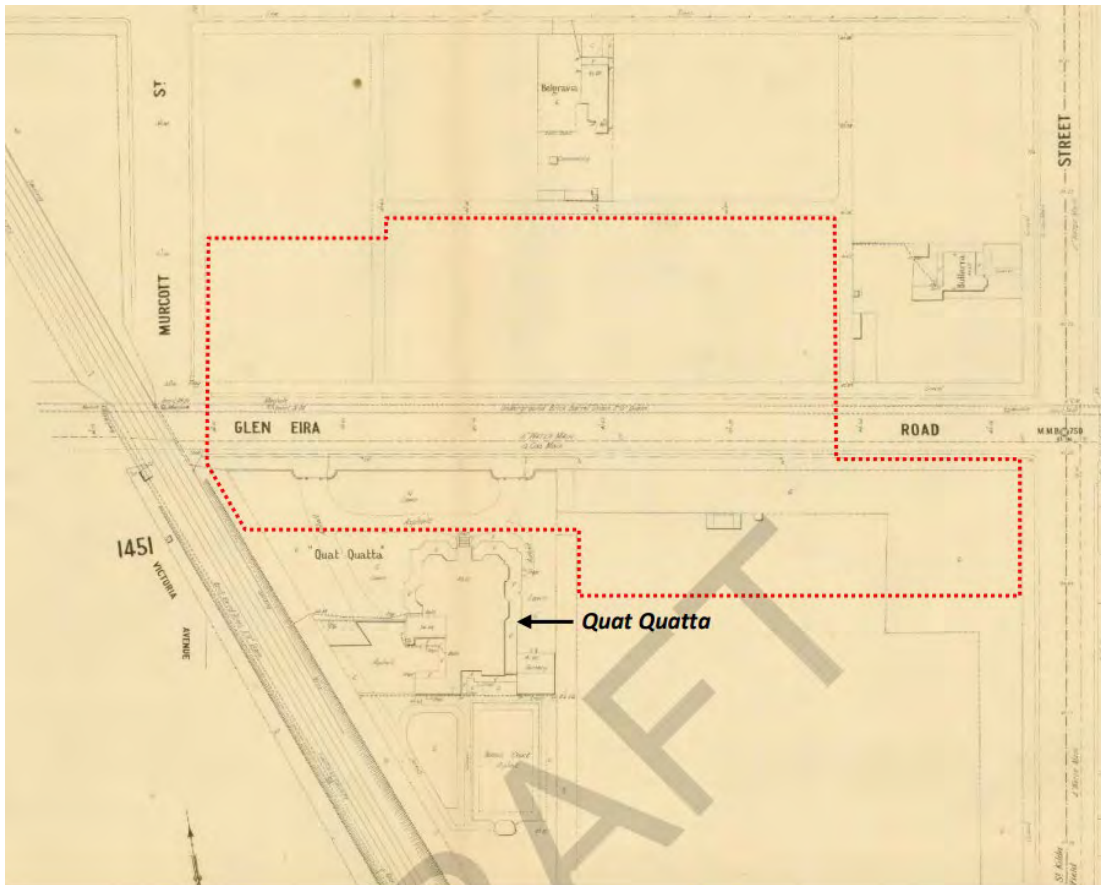


Figure 3 - MMBW detail plan no. 1452, dated 1901. Approximate boundaries of the subject precinct are indicated. (Source: State Library of Victoria)

In 1911, the decision was finally made to provide the long-awaited station at Ripponlea. The news of the station coincided with the October 1911 subdivisional sale of the Erindale and Quat Quatta estates (Figure 4) and naturally generated much interest, with the majority of the over 60 allotments offered sold including five (allotments 43 to 47) which comprise part of the Ripponlea Commercial Precinct on the south side of Glen Eira Road between Quat Quatta Avenue and Hotham Street (*Herald* 31 Oct 1912 p3). However, apart from no.66 which was constructed in 1913/14, this section of Glen Eira Road remained otherwise undeveloped until after World War One (SM).



Figure 4 - Subdivision notice for the Erindale and Quat Quatta estates. Allotments 43 to 47 which form part of the south side of the precinct are indicated in red. (Source: State Library of Victoria)

In May 1912 the new railway station opened for passengers (although the station buildings were not completed until the following year). The impact of the new station was immediate, with the consequent surge of commercial and residential development rapidly solidifying the suburb.

Development has come down on East St Kilda since the opening of the railway station at Rippon Lea, with something like the suddenness of a thunder clap. Values rose in a few weeks by several hundred per cent., and the realisation of the subdued hopes of 26 years loosened a great volume of building energy. Where open paddocks abounded a year ago a compact suburb stands, with several streets lined by modern villas and terraces of shops. (Herald 31 Oct 1912 p3)

Beginning in 1912, the commercial development in Ripponlea was centred on Glen Eira Road. The first building to be erected was the group of shops near the station at the corner of Glen Eira Avenue (15-27 Glen Eira Rd and 4 Glen Eira Ave) designed by Billing, Peck & Kemter (Figure 5). The north side of Glen Eira Road was generally developed earlier than the south side and contains mostly late Federation era buildings, with the only Interwar period shops being nos 57-67. Many of the buildings can be attributed to local builder/developer, J R Daley, who purchased much of the land on the north side, including nos 31-37 (1917), nos 39-43 (1916, demolished), nos 45-55 (1914) and nos 57-67 (1922). Remarkably, no. 53 has operated continuously as a fruit and vegetable shop since 1914/15 when it was established by first owner Louis Virgona (ME). Another shop that had a long-standing use is the former Brinsmead's Pharmacy at no. 73 (designed by Sydney Smith & Ogg) which operated continuously as a chemist for almost 90 years until into the 2000s.



Figure 5 - Photograph of the group of shops at 15-27 Glen Eira Road and 4 Glen Eira Avenue (built 1912) taken within a few years of its erection. (Source: Hawthorn, Kew, Camberwell Citizen, 19 February 1915, p5)

On the south side, development largely occurred during the early Interwar period, with the only Federation period buildings on the south side being no. 60 (1918), a distinctive corner building designed by architect Arthur Plaisted, and no. 66 (1913/14). In October 1920, further subdivision in front of *Quat Quatta* created 12 shop sites fronting Glen Eira Road (between the railway line and Quat Quatta Avenue) which were all developed within the next two years (*Argus* 20 Oct 1920 p2). By 1923, the centre was almost fully developed.



Figure 6 - Glen Eira Road Ripponlea in the late 1920s, looking west. Note the single storey shop/s at 74 Glen Eira Road (left foreground) prior to its 1930 remodelling for the Bank of Australasia. (Source: PROV, VPRS 12800/P0003, ADV 0466)

Amongst the last buildings to erected were three adjacent and distinctively designed bank buildings, being the State Savings Bank designed by Sydney Smith & Ogg and built in 1922 (no. 78), the English Scottish and Australian Bank designed by Twentyman & Askew and built in 1927/28 (no. 76), and the Bank of Australasia designed by A & K Henderson and built in 1930 (no. 74). All three banks had previously occupied other premises in Ripponlea (SM).

The 1931 aerial photograph shows the precinct had been fully developed by this time. In 1935, it was reported that shop sites in Glen Eira Road were valued at £30 a foot (*Herald* 22 May 1935 p12).



Figure 7 - Aerial Photograph (dated Nov. 1931) showing the precinct fully developed. (Source: Landata, Proj No 1931, Run 15, Frame 2750)

References

Eidelson, Meyer, *Ripponlea: The Village*, 2010 (ME)

Newspaper Articles (various)

Parish Plan (PP), at Elwood, Parish of Prahran, P81 (13)

Port Phillip Thematic Environmental History (TEH), February 2021

Sands and McDougall's Street Directories (SM)

St Kilda Council Building Permits Register (BP)

3.0 Description

The Ripponlea Commercial Precinct extends along Glen Eira Road from the railway line at the west end to Hotham Street at the east end, fully including the south side and part of the north side. It also includes a short section on the east side of Glen Eira Avenue.

Buildings which contribute to the significance of the precinct date from the late Federation and early Interwar periods, that is, between 1912 and 1930. The only non-contributory building in the precinct is the c.1960s replacement building at nos. 39-43 (this site was first developed with shops in c.1916) which nonetheless adopts the format of the surrounding earlier commercial buildings.

The buildings are mostly two-storey (commercial to the ground floor and residential to the upper floor) with some single storey examples from the 1920s. Many buildings consist of multiple premises (up to ten) though there are also individual buildings.

All the buildings are brick and the roofs are mostly clad in sheet metal (presumably corrugated) though some are clad in tiles. The roofs are generally concealed by a parapet though a couple of the tiled examples are expressed (nos. 71-73 and 84) or partly expressed (no. 60).

Stylistically, the influence of the Arts and Crafts from the 1910s and 1920s is the most prevalent, with examples of classical styles represented by the three former banks.

There are laneways on the north side which are basalt paved. The footpaths are asphalt and the kerbing is concrete. There are a few street trees and some small garden beds.



There are a few largely intact shopfronts (Figures 8 and 9) dating to the late Federation and Interwar periods, noted in the table below. They usually retain a recessed entry, stallboard (some with tiling, but may be over painted or rendered) and framing with highlights. In some instances, they bear the badge of the manufacturer. Some shopfronts partly survive (e.g. the configuration, some framing) while other shopfronts are early but not original. Also, some canopies survive.



Figures 8 & 9 - Intact original shopfronts at 23 Glen Eira Road (left) and 70 Glen Eira Road (right)

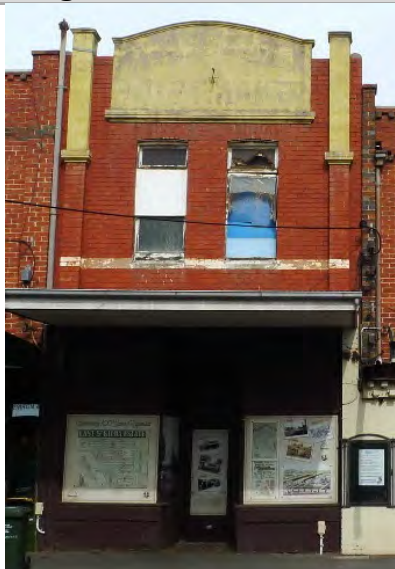
Late Federation Period (1912-1918)

The influence of the Arts and Crafts aesthetic is evident in the red brick and render (smooth and roughcast) material palette, which in some cases been overpainted or rendered over. Projecting piers tend to define the edge of the building/shop at least to the parapet. Windows are typically double-hung sashes, often with toplight windows, resulting in a longer opening.

Address	Image	Details
North Side		
8 Glen Eira Ave		<p>Built 1912 (BP 1672, 24 July 1912) Single storey rendered parapet with projecting piers and large dentillations. Built in front of a surviving Federation period house. Shopfronts replaced. Builder: Dunlop & Hunt</p>
15-27 Glen Eira Rd and 4 Glen Eira Ave		<p>Built 1912 (BP 1600, 28 May 1912) Two storey corner building comprised of ten shops. Red brick with render (although most now overpainted or rendered), corner turret, chamfered corner, tripartite windows at first floor with small upper sashes. Some original shopfronts survive or partly survive at 4 Glen Eira Ave and 15 and 23 Glen Eira Rd. There is a 1950s chrome finish shopfront at no. 21. Architects: Billing, Peck & Kemter Builder: Dunlop & Hunt Original owner: Lane and Morgan</p>
29 Glen Eira Rd		<p>Built c.1917 Two storey, red brick with rendered details including scalloped panel to parapet. Shopfront replaced.</p>


Address	Image	Details
<p>31-37 Glen Eira Rd</p>		<p>Built c.1917 (Likely BP 3254, 6 June 1917) Two storey building comprised of four premises. Red brick with rendered lintel/frieze, machicolation motif to parapet, paired windows with highlights, unusual chimneys and terracotta chimney pots integrated into parapets. Shopfronts replaced, but no. 35 retains a 1950s shopfront. Builder/owner: J R Daley</p>
<p>45-55 Glen Eira Rd</p>		<p>Built 1914 (BP 2383, 9 July 1914) Two storey building consisting of six premises. Red brick with render, distinctive, part scalloped profile to parapet incorporating chimneys and terracotta chimney pots. Shopfront of no. 55 partly intact, others replaced. Builder/owner: J R Daley</p>
<p>69 Glen Eira Rd</p>		<p>Built c.1916 Two storey, smooth rendered finish, moulded diamond shaped detail, curved parapet, tripartite windows. Intact shopfront.</p>





Address	Image	Details
<p>71-73 Glen Eira Rd</p>		<p>Built 1918 (BP 3640, 21 June 1918) Two storey building comprised of two shops. Asymmetrical composition with gable end to eastern half only. Roughcast render walls with projecting red brick window surrounds. Exposed transverse gable roof clad in terracotta tiles with central roughcast chimney and exposed rafter ends. Stepped parapets to side gable ends. Particularly fine intact shopfronts (also internal fittings and display furniture) manufactured by Thomas Duff & Brothers. Original canopy with pressed metal lining.</p> <p>Architects: Sydney Smith & Ogg</p> <p>Builder: Queever</p> <p>Original owner: Frederick Damyon</p> <p>PPHR citation 332</p>
South Side		
<p>60 Glen Eira Rd</p>		<p>Built 1918 (BP 3670, 29 July 1918)) Two storey corner shop. Red brick, wide rendered frieze with bracketed cornice, port hole openings with multi-paned glazing, recessed porch. Arched entry porch to Quat Quatta Ave has been bricked-in, amongst other alterations. Shopfront replaced. Architect: Arthur Plaisted</p>




Address	Image	Details
66 Glen Eira Rd		<p>Built c.1913/14 (BP 2025) Two storey, red brick and render to sill band and upper part of façade (parapet panel and projecting piers). Mostly intact shopfront (overpainted). Builder: J Hughes</p>




Early Interwar Period (c.1921-1930)





The influence of the Arts and Crafts style endured into the 1920s with red brick and render combinations common. There was however a shift with the inclusion of some clinker brick detailing. Other buildings are fully rendered with some simplified classicising detailing and two elaborate examples (former banks). Windows are usually double hung sashes often with a multi-paned upper sash. There are both single and double storey buildings.

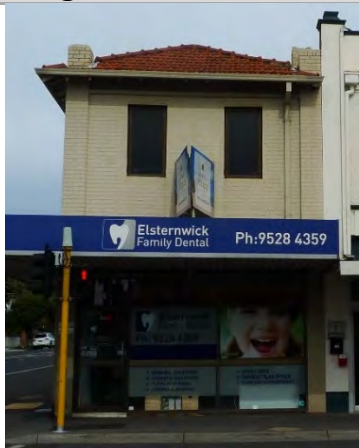
Address	Image	Details
North side		
57-67 Glen Eira Rd		<p>Built 1921/1922 (BP 4620, 3 October 1921) Two storey building consisting of six premises. Red brick with rendered frieze, paired windows with highlights, unusual chimneys and terracotta chimney pots integrated into parapets. Some early (but not original) shopfronts survive at 57-63 dating to 1946 manufactured by Silverwood & Beck (BP U185-U188) - although these shopfronts are later, they follow an Interwar format, albeit with a brighter palette. Owner/builder: J R Daley</p>
South side		

Address	Image	Details
<p>32 Glen Eira Rd</p>		<p>Built c.1921 (BP 4469, 22 March 1921) Single storey, rendered, arched window opening. Shopfront altered.</p>
<p>36 Glen Eira Road</p>		<p>Built 1922 (BP 4975, 7 September 1922) Single storey, rendered stepped parapet. Shopfront replaced. Builder: N J Brook</p>
<p>38 Glen Eira Road</p>		<p>Built c.1921 Single storey, simple face brick parapet (overpainted). Shopfront replaced.</p>
<p>40 Glen Eira Rd</p>		<p>Built c.1921 Single storey, simple rendered parapet. Shopfront replaced.</p>

Address	Image	Details
<p>42-54 Glen Eira Rd</p>		<p>Built 1922 (Possibly either BP 4815 or 4860)</p> <p>Group of seven single storey shops with simple rendered parapets and projecting piers. Organised into two groups – three and four premises - about the low curvature of the parapet profile. Parapet profile same as nos 56-58.</p> <p>Shopfronts replaced.</p> <p>Builder/owner: Possibly George Symons (given similarities with nos 56-58)</p>
<p>56-58 Glen Eira Rd</p>		<p>Built 1922 (Likely either BP 4815 or 4860)</p> <p>Two storey corner building with chamfered corner. Face brick and rendered frieze. Paired windows with multi-paned upper sashes. Parapet profile same as nos 42-54. Shopfronts replaced.</p> <p>Builder/owner: George Symons</p>
<p>62 Glen Eira Rd</p>		<p>Built c.1920</p> <p>Two storey shop. Roughcast render with brick detailing to the piers, crenulations, and framing of the semicircular window.</p> <p>Shopfront replaced.</p>

Address	Image	Details
<p>64 Glen Eira Rd</p>		<p>Built 1923 (Likely BP 5190)</p> <p>Two storey shop. Red brick with clinker brick detailing including dentillation, piers and lower lintels (highlight windows above canopy).</p> <p>Shopfront partly intact.</p> <p>Builder: Likely A C Johnston</p>
<p>68-72 Glen Eira Rd</p>		<p>Built 1923/1924 (Likely BP 5418, 9 August 1923)</p> <p>Two storey building comprised of three shops. Red brick with clinker brick detailing (banding lintels, sills) and dentillation. Single windows to each shop.</p> <p>Intact shopfronts manufactured by 'Trevorrow' (R Trevorrow & Co, shop fitters, were active from c.1924 to 1933). Round profile framing, timber doors, terracotta and umber tiling to entry, olive green tiles to stallboards, ribbed glass to hampers, mirrored glass to piers. Canopy has battened sheeting to soffit.</p> <p>Builder: Likely A C Johnston</p>
<p>74 Glen Eira Rd</p>		<p>1930 (remodelled) (BP 7831)</p> <p>Single storey, former Bank of Australasia. Building was originally a pair of mid-1920s shops which were extensively remodelled in 1930. Red brick, including herringbone panels, and rendered band with festoon motif. Multipaned windows.</p> <p>Architect: A & K Henderson</p> <p>Builder: W Machin</p>

Address	Image	Details
<p>76 Glen Eira Rd</p>		<p>1927-28 (BP 7030)</p> <p>Single storey, former ES&A Bank.</p> <p>Free Classical style, rendered, Tuscan order pilasters.</p> <p>Architect: Twentyman & Askew</p> <p>Builder: G Reid</p>
<p>78 Glen Eira Rd</p>		<p>1922 (BP 4818)</p> <p>Two storey, former State Bank. Free Classical style, Ionic order pilasters, rendered, extensively rusticated, prominent keystones, multipaned windows.</p> <p>Architect: Sydney Smith & Ogg</p> <p>Builder: C F Pittard or E H Plaisted (records vary)</p>
<p>80 Glen Eira Rd</p>		<p>Built 1920/1921 (BP 4163)</p> <p>Single storey garage. Stepped rendered parapet.</p> <p>Builder: C Boxall</p>
<p>82 Glen Eira Rd</p>		<p>Built 1921 (BP 4553 and/or 4584)</p> <p>Two storey shop. Roughcast and smooth render. Stepped parapet, projecting piers. Multipaned upper sashes.</p> <p>Builder: J Raymond Robinson</p> <p>Shopfront replaced.</p>

Address	Image	Details
84 Glen Eira Rd		<p>Built c.1921</p> <p>Two storey corner shop. Face brick (overpainted), expressed hipped roof clad in terracotta tiles, with eaves and exposed rafter ends.</p> <p>Shopfront replaced.</p>

4.0 Comparative Analysis

The Ripponlea Commercial Precinct is one of three main commercial precincts in the municipality which primarily date to the Federation and Interwar periods. Compared with the other two precincts, the subject precinct is the more intact, containing only one non-contributory building. Many of the buildings are face red brick with some contrasting render (smooth or roughcast) and clinker brick elements, reflecting a prevailing influence of the Arts and Crafts aesthetic. Several building groups were developed by the same builder and feature parapets with unusual integrated chimneys. Notably, there are a group of three elaborate adjoining former bank buildings. There are also several distinctive architect-designed buildings.

- Village Belle Commercial Precinct. The largest precinct of the three. Has several buildings dating to the 1930s, with a preponderance of those designed in the Moderne style, whereas the buildings in the other two precincts mainly date to the 1910s and 1920s.
- Glenhuntly and Ormond roads, Elwood (part of HO8, Elwood-Glenhuntly Rd, Ormond Rd). The commercial zone consists of two, separated sections – western and eastern. In the western section, many buildings have a combined palette of red brick and render except for the Free Classical style former bank, which is fully rendered. The unusual street configuration provides a landmark corner building with two oriel bays. In the eastern section (between Docker and Foam streets), several buildings are also indicative of the Free Classical style.

Most other commercial precincts have a core of Victorian period buildings in addition to those dating to the 20th century:

- The Carlisle Street Commercial and Public Precinct is distinguished from other commercial zones/precincts in the municipality by having an even mix of buildings from the three main periods of development – Victorian, Federation and Interwar – as well as having key examples from the Post-WWII and Late 20th century periods. There are considerable number of Federation and Interwar period examples as many of the 19th century buildings were timber construction as the area, with its poor drainage, initially attracted a lower socio-economic group. These buildings were replaced during the early 20th century. In addition, the commercial zone expanded into former residential areas at the eastern and western ends at this time.
- Fitzroy Street (part of HO5, St Kilda Hill) – mostly larger buildings, often part of larger residential buildings (multi-storey east of Grey Street). Due to the lack of narrow/standard suburban shopping centre allotments, it has a markedly different character. There are a few Victorian period buildings in the vicinity of the Grey Street intersection (including the part of the George Hotel) otherwise most of the graded buildings date to the Interwar period.

-
- Clarendon and Park streets, South Melbourne (part of HO440, Emerald Hill Residential Precinct) is another large commercial zone along a tram route and near a railway line (now light rail). It consists largely of Victorian, a few Federation and Interwar period examples.
 - Bay Street, Port Melbourne (part of HO1, Port Melbourne) is a large commercial zone with many Victorian, some examples from the Federation and Interwar periods, as well as some recent redevelopment, including multi-storey (south end).
 - Armstrong Street Commercial Precinct, Middle Park (HO445) is a small precinct with Victorian and Federation period buildings dating from circa 1888 to 1910.

5.0 Statement of Significance

What is significant?

The Ripponlea Commercial Precinct comprising 15-73 and 32-84 Glen Eira Road, and 4-8 Glen Eira Avenue (east side only) is significant.

The following features contribute to the significance of the precinct:

- Late Federation period development (1912-1918), including two storey shop residences.
- Early Interwar period development (c.1921-1930), including single storey shops and two storey shop residences.
- Brick walls (red or clinker), typically with some rendered elements (banding, etc.) or fully rendered.
- Timber-framed widows, both double-hung sash and casement.
- Mostly with parapets and a few with expressed roof forms (tile clad).
- Original or early shopfronts (some branded) and canopies.
- Basalt paved laneways.

The Significant places within the precinct are:

- 71-73 Glen Eira Road
- 74, 76 & 78 Glen Eira Road

The Contributory places are:

- 15-37, 45-69 and 32-72, 80-84 Glen Eira Road,
- 4 and 8 Glen Eira Avenue

The Non-contributory properties are:

- 39-43 Glen Eira Road

How is it significant?

The Ripponlea Commercial Precinct is of local historical and aesthetic significance to the City of Phillip.

Why is it significant?

Historically, the precinct illustrates the considerable and rapid growth of Ripponlea during the early twentieth century, directly following the opening of the railway station at Ripponlea in 1912. The precinct was developed over a relatively short period of time, eighteen years, between 1912 and 1930. It is in part representative of a typical pattern of land division in the St Kilda area, where large

Victorian holdings, in this case the Quat Quatta estate, were subdivided during the Federation and Interwar periods. (Criterion A)

Aesthetically, it is of significance as a local commercial centre developed during the late Federation and Interwar periods which is largely intact to its c.1930 state. Many of the buildings are face red brick with some contrasting render (smooth or roughcast) and clinker brick elements, reflecting a prevailing influence of the Arts and Crafts aesthetic, while others are fully rendered with some displaying classicising detailing. Some shops are enhanced by the survival of intact original or early shopfronts with recessed entries, tiling, framing and highlights. Several building groups (31-37, 45-55 and 57-67 Glen Eira Road) were developed by the same builder and feature parapets with unusual integrated chimneys. There are also several distinctive architect-designed buildings, including a group of ten shops with a landmark corner tower at 15-27 Glen Eira Road and 4 Glen Eira Avenue by Billing, Peck & Kemter, 60 Glen Eira Road by Arthur Plaisted, and 71-73 Glen Eira Road by Sydney Smith & Ogg. Notably, there are a group of three elaborate adjoining former bank building at 74, 76 and 78 Glen Eira Road displaying a diversity of architectural styles of the 1920s. (Criterion E)

6.0 Recommendations

Excise from HO7 to create separate precinct heritage overlay.

Remove 75-93 Glen Eira Road from the heritage overlay and the precinct

Transfer Adass Israel Synagogue 12-24 Glen Eira Avenue from HO7 to a new separate individual heritage overlay.

The following places with PPHR citations become Contributory to the precinct:

- 15-27 Glen Eira Road and 4 Glen Eira Avenue (PPHR citation 330)
- 31-37 Glen Eira Road (PPHR citation 1499)
- 45-55 Glen Eira Road (PPHR citation 331)
- 57-67 Glen Eira Road (PPHR citation 1501)
- 60 Glen Eira Road (PPHR citation 1502)

7.0 Assessment

RBA Architects & Conservation Consultants, *HO7 Elwood St Kilda Baladava Ripponlea Precinct heritage review Stage 2, 2022*

Ripponlea Residential Precinct

Places of individual significance within the precinct that have a separate citation in the Port Phillip Heritage Review with additional descriptive and historical information are indicated in **bold**.

1.0 Thematic Context

Victoria's framework of historical themes

6. Building towns, cities and the garden state: 6.3 Shaping the suburbs, 6.7 Making homes for Victorians

Port Phillip thematic environmental history

5. Buildings and cultural landscapes: 5.2 Shaping the suburbs (5.2.2 Private development), 5.3 Diverse Housing (5.3.3 Suburban bungalows)

2.0 History

Early Land Sales

The Ripponlea Residential Precinct formed parts of Crown portions 232, 237, 238, 255, 256, 257 and 258 in the parish of Prahran (PP).

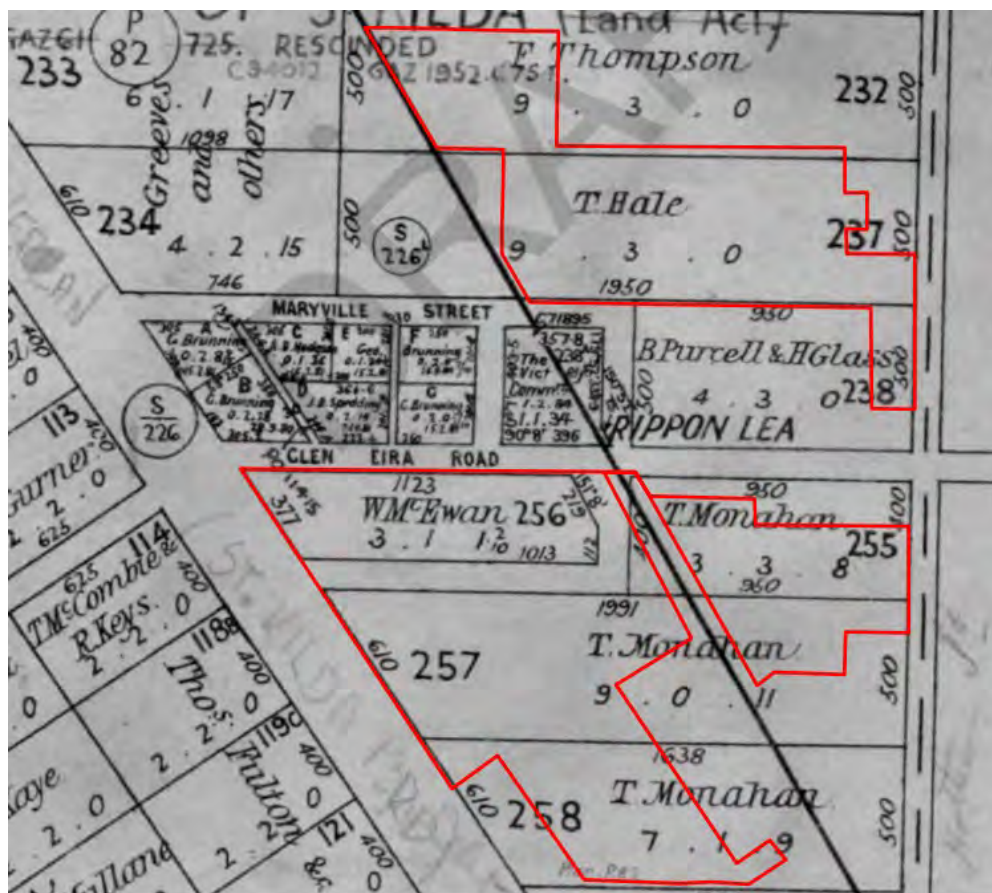


Figure 1 – Extract from Parish Plan (at Elwood Parish of Prahran P81 (13)) showing Crown portions. The approximate boundaries of the subject precinct are indicated. (Source: Landata)

Portions 255, 257 and 258, south of Glen Eira Road, were purchased by Thomas Monahan which together totalled about 20 acres. Monahan purchased portion 257 in November 1853, and probably the other two also around the same time. Monahan was an Irish immigrant who made his fortune in

Melbourne as a property owner. By 1856, Monahan had also acquired portion 238, on the north side of Glen Eira Road, another almost 5 acres, which had originally been purchased jointly by wealthy speculator Hugh Glass and auctioneer Brabazon Purcell.

Portions 232 and 237, north of Glen Eira Road, each comprised of almost 10 acres, were purchased respectively by F Thompson in November 1853 and Thomas Hale, of Robertson & Hale architects and estate agents prior to 1857.

Portion 256, at just over three acres, originally formed part of a larger public reserve that included land on both sides of Glen Eira Road. In 1864, it was subdivided into eleven allotments, all of which were purchased by W McEwan in 1866.

In 1859, the railway to Brighton was opened, bisecting the southern part of the precinct. Evidently a station at Glen Eira Road was originally proposed, with reference to it featuring in advertisements for nearby land sales of that year (Age 7 Sep 1859 p7), however it did not eventuate at that time.

The first houses in the precinct were constructed in the 1850s and 1860s, but only limited development occurred until the late nineteenth century. The 1864 Cox plan (Figure 2) shows the Brighton railway line, as well as Brighton Road, Glen Eira Road, and Hotham Street. None of the smaller roads within the precinct had yet been formed. The plan also shows two residences in the precinct, one to the south of Glen Eira Road and one to the north, neither of which survive. To the south was Thomas and Mary Monahan's *Erindale*, a substantial residence which they had constructed in 1854-55 designed by architect Joseph R Burns (*Argus* 18 October 1854 p.1). To the north was a brick residence which had been built by 1862 when it was owned by Joseph Collie and described in the rate books as having 10 rooms and a NAV of £90 (RB 1862 no.1810).

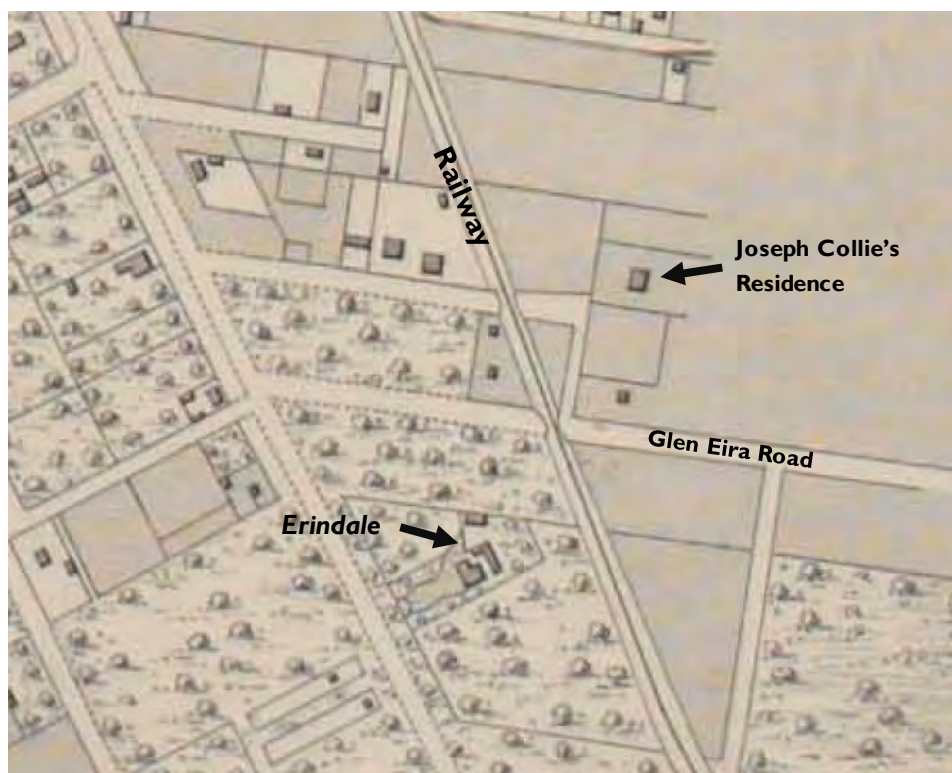


Figure 2 - Cox Plan, 1864. Showing development in precinct. (Source: State Library of Victoria)

The 1873 Vardy plan (not included) shows there had been no further development since the Cox Plan, although it is noted that the now demolished residence *Barholme* (which is shown on the later MMBW plan between Elm and Sycamore groves and partly within the precinct) may actually have

been built by this time but appears to be incorrectly located on the Vardy Plan (i.e. north of Sycamore Grove).

Development and subdivision north of Glen Eira Road (East St Kilda Estate)

In October 1888, about 100 sites were auctioned in the 'East St Kilda Estate' subdivisional sale of Crown portions 238, 237 and 232 between Glen Eira Road and Grosvenor Street (Figure 3. These were advertised as 'remarkably well-situated mansion and villa allotments' 'only five minutes' walk from Balaclava Station' (Age 13 October 1888 p.5).

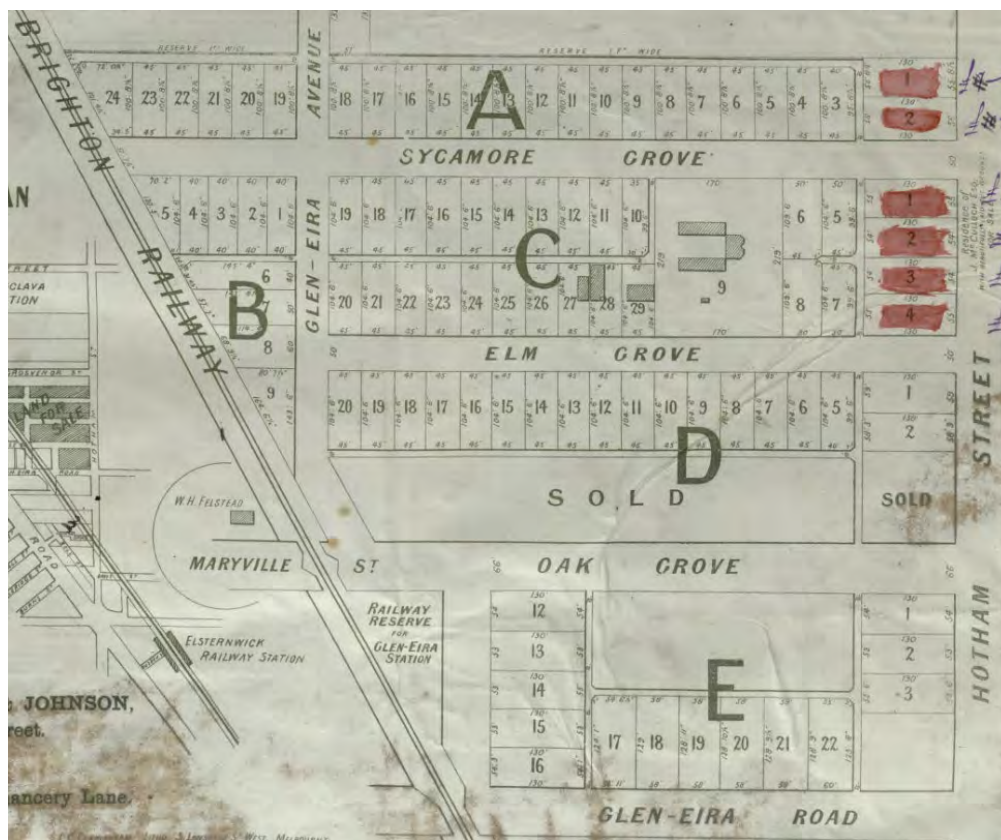


Figure 3 - 'East St Kilda Estate' (1888, published by L C Cunningham, from the Haughton Collection) (Source: State Library of Victoria)

The MMBW plans (Figures 4 and 5), dated variously between 1899 and 1904, show that limited development had ensued in the East St Kilda Estate subdivision since the sale some twelve years earlier. On the north side of Oak Grove, a substantial 12-roomed brick residence *Oakdene* was built in 1888 for auctioneer Robert Curtain at nos. 2-16 (RB 1888 no. 3707), later replaced, and another eight-roomed brick residence at no. 28 (RB 1897 no. 3775), later extended. On the south side of Oak Grove, a two storey six roomed brick residence *Belgravia* was built c.1890 (RB 1891 no. 3895) which survives at no. 11. On the south side of Elm Grove, six houses are shown, of which four survive (37, 39, 41, 47 Elm Grove), and on the north side of Sycamore Grove three houses are shown within the precinct which all survive (42, 44 and 46 Sycamore Grove).

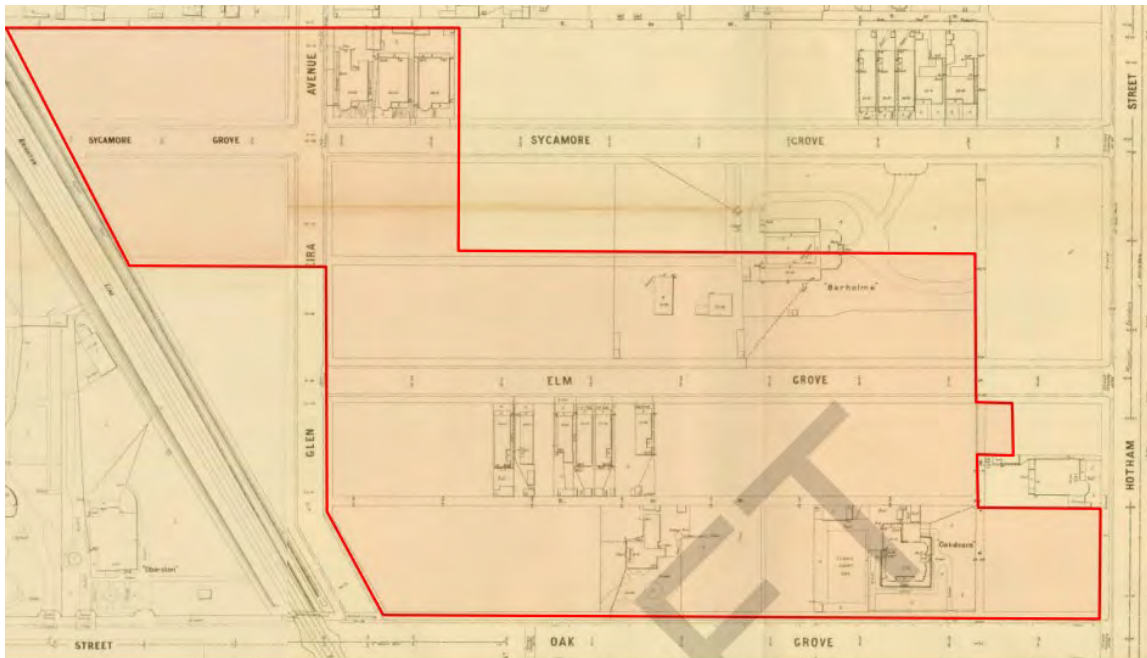


Figure 4 - MMBW Detail Plan No. 1450 at left (dated 1899) and No. 1449 at right (dated 1901). (Source: State Library of Victoria)

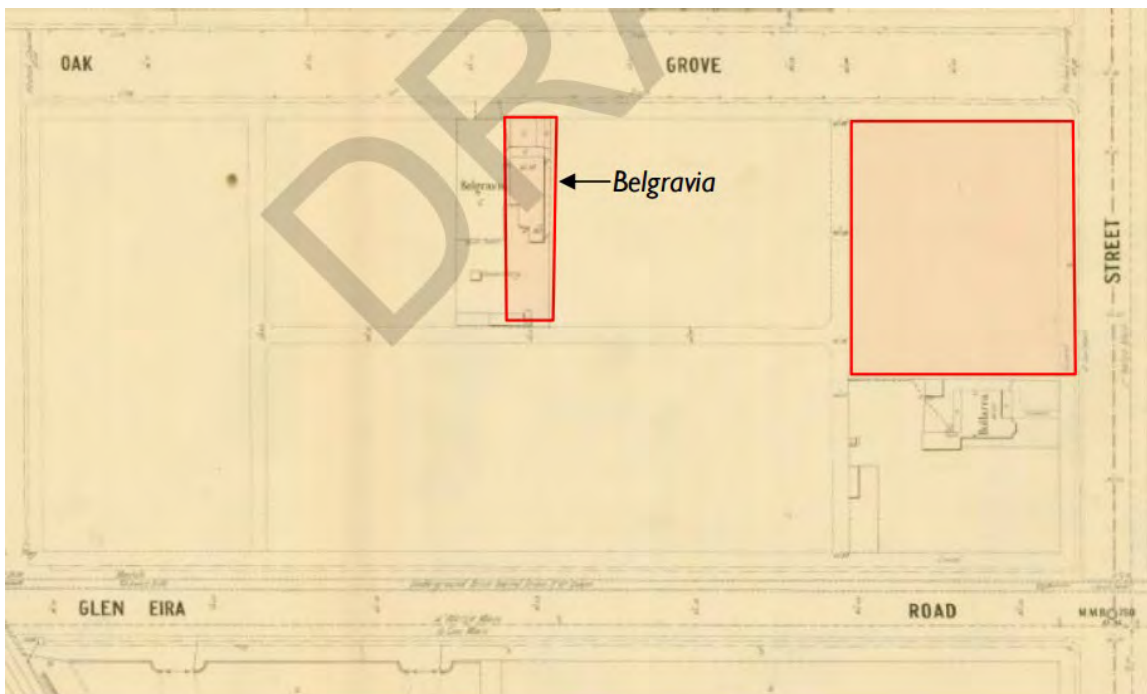


Figure 5 - MMBW Detail Plan No. 1452 (dated 1901), showing Belgravia on the south side of Oak Grove. (Source: State Library of Victoria)

Development and subdivision south of Glen Eira Road (Erindale & Quat Quatta estates)

In February 1876, eleven allotments (to be sold in one lot) between Glen Eira Road and Victoria Avenue, on the former public reserve, were auctioned (*Argus* 31 January 1876 p2). The following subdivisional plan (Figure 6), although undated, apparently relates to this auction. In the late 1880s (i.e. by 1890) some of these allotments were developed with five generous sized residences fronting Glen Eira Road. Of these, three survive *Tringham* (no. 2), *Taripta* (no. 10), and *Gleneira* (no. 12).

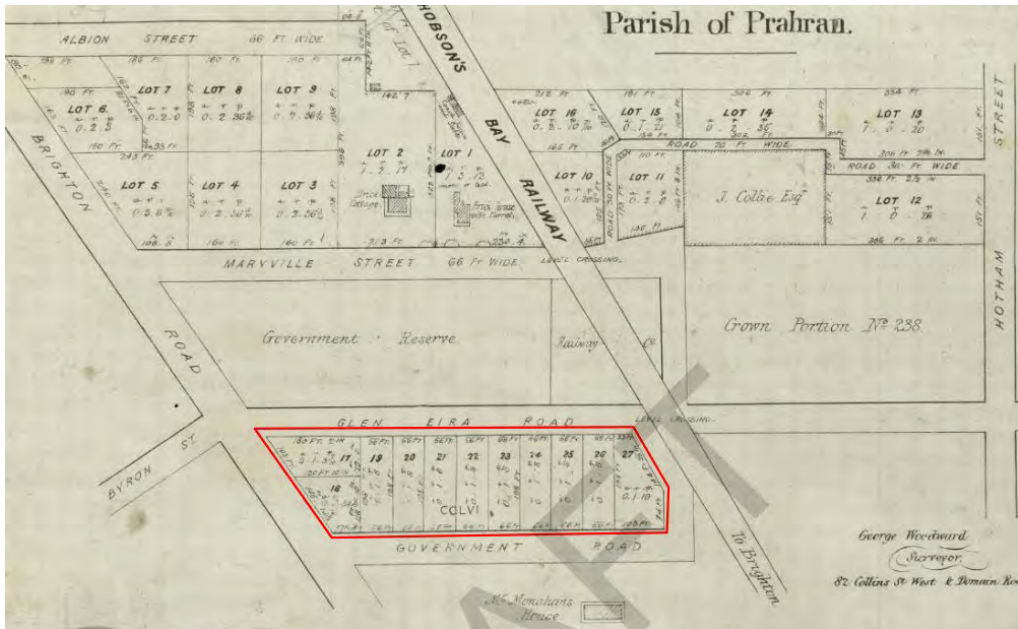


Figure 6 - 'Plan of valuable freehold properties, family residence and cottage adjoining, together with splendid villa sites'. Undated, but appears to relate to an auction held in February 1876. (Source: State Library of Victoria)

In 1890, following Thomas Monahan's death, his daughter Betsy Keogh had the substantial residence *Quat Quatta* designed by architect W H Cooper built in the grounds of the *Erindale* estate on the east side of the railway line fronting Glen Eira Road (Figure 8).



Figure 7 - MMBW Detail Plan No. 1451 (dated 1904) showing the houses on the south side of Glen Eira Road west of the railway line. (Source: State Library of Victoria)

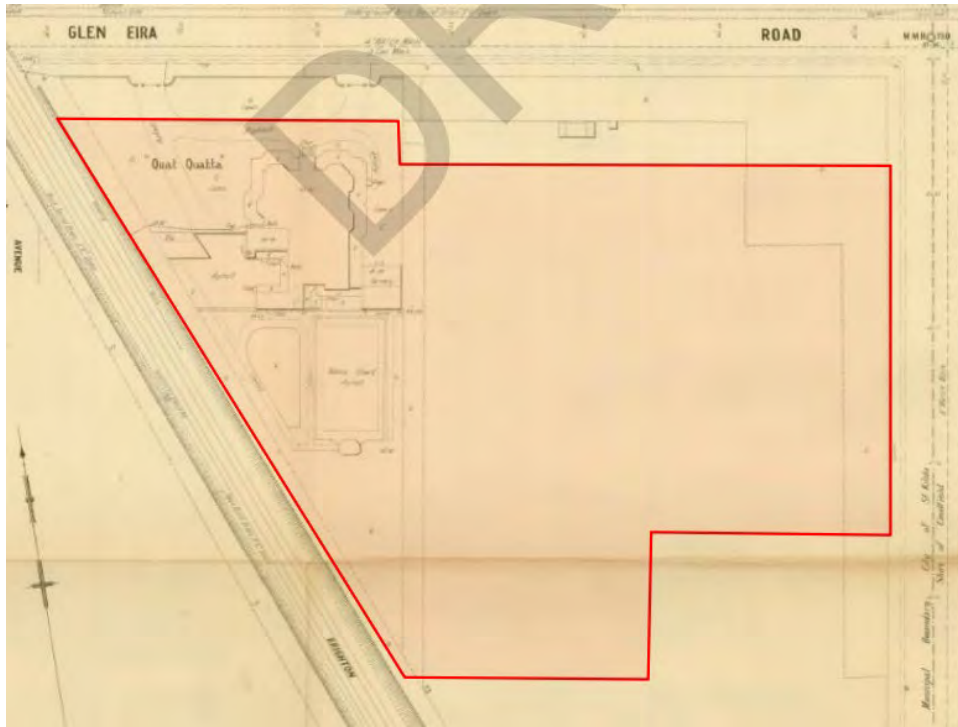


Figure 8 - MMBW Detail Plan No. 1452 (dated 1901), showing Quat Quatta. (Source: State Library of Victoria)

Twentieth Century development

Some limited development occurred in the north part of the precinct in the first decade of the 20th century, however it was not until the 1911 decision to finally provide the long-awaited station at Ripponlea, and its opening in 1912, that there was a strong surge of development in both the northern and southern parts of the precinct.

The west section of Sycamore Grove was mostly developed with weatherboard villas during the first decade of the 20th century. For example, a building permit was issued in 1908 for the attached weatherboard villas at nos. 48 and 50 (BP 620).

In Elm Grove, a flurry of building permits was issued, initially in 1912 mostly for weatherboard villas, and in subsequent years mostly for brick villas (freestanding and attached). Development in Oak Grove followed a similar pattern. In 1906 the Victorian era house at no.28 was altered and extended and between 1908 and 1914 permits were issued for more than 10 brick or timber houses (BP).

By the mid-1920s, the northern part of the precinct had been largely developed, as shown in the c.1925 photograph (Figure 9) which covers parts of Sycamore, Elm and Oak groves.



Figure 9 - Aerial Photograph c. 1925 (W R Garrett) from the west showing the northern part of the precinct. Approximate precinct boundaries are indicated. (Source: State Library of Victoria, H98.129/21)

To the south of Glen Eira Road, the news that the Ripponlea railway station was to be built coincided with the October 1911 subdivisional sale of the Erindale and Quat Quatta estates (Figure 10). This naturally generated much interest and the majority of the over 60 allotments offered were sold (Herald 31 October 1912 p.3).

One of the most significant proofs of confidence in the Ripponlea proposition was the notable auction sale of the Quat Quatta Estate in October of last year. The public at that time had early advice of the fact that a railway station was a 'certainty' and attended in great numbers. On the day of the sale all but five of the 62 lots offered were sold at prices ranging from £1117/6 to £5/15 a foot. The vendor's total realisation on the day was £11,000. (Herald 31 October 1912 p.3)

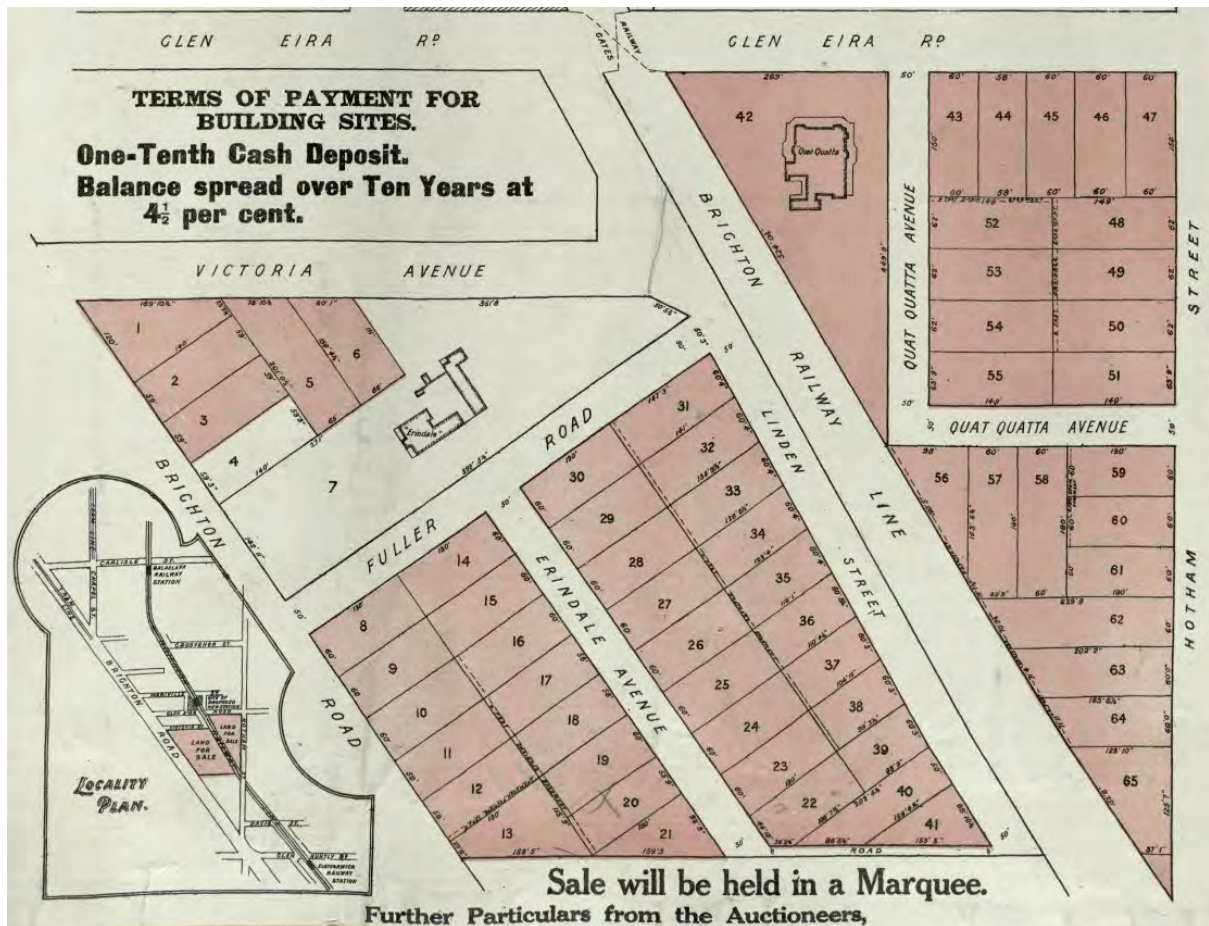


Figure 10 - Subdivision notice for the Erindale and Quat Quatta estates. (Source: State Library of Victoria)

The lots in the Erindale and Quat Quatta estates were developed from 1912:

Since the auction many blocks have been re-sold at advanced rates, and the whole property is rapidly being built over. (*Herald* 31 Oct 1912 p3)

Some of the earliest houses in the Erindale and Quat Quatta estates subdivision, built in 1912, include 191 Hotham Street (BP 1527), the attached pair at 193/195 (BP 1489) Hotham Street, and 16 Erindale Avenue which was built by C Trencher (BP 1514). The allotments were steadily developed into the early 1920s.

In October 1920, further subdivision of the remaining *Quat Quatta* holdings occurred, creating 12 shop sites fronting Glen Eira Road (outside the precinct) and four residential sites on the west side of Quat Quatta Avenue at nos 9, 11, 15A and 15 (*Argus* 20 October 1920 p.2). The following year, in 1921, further subdivision of the remaining *Erindale* holdings created eight allotments, including one larger containing the Erindale mansion, fronting Brighton Road, Fuller Road and Victoria Avenue, which is illustrated in the subdivision plan at Figure 11 (*Argus* 17 September 1921 p.3). The *Erindale* mansion was subsequently demolished and in 1923 its allotment was further subdivided into 6 lots, although a building permit had already been issued to builders Miller and Armfield in late 1921 for six villas fronting Fuller Road (nos. 1, 3, 5, 7 and 9) and Victoria Avenue (no. 10) (LP 9261, BP 4684).

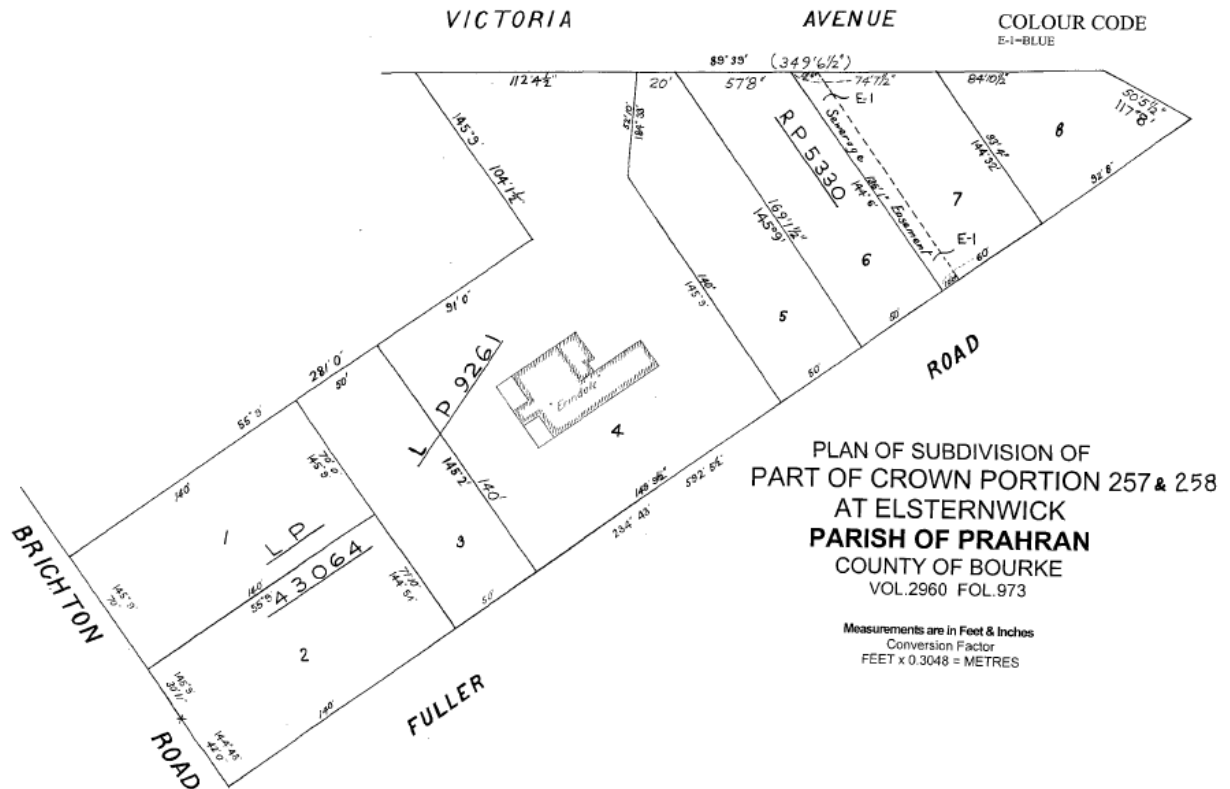


Figure 11 - Subdivision Plan LP 8559, further subdivision of Erindale holdings. Note Erindale mansion in centre. Dated 14/11/1921. (Source: Landata)

The electrification of the railway by 1919 (the first in Melbourne), resulting in quicker and more frequent services, and the opening of the Brighton Road electric tramway extension to Glenhuntly Road (previously it had terminated at Brunning Street) in August 1926, was a further encouragement for development in this area, including flat development. The earliest flats in the precinct were constructed at 1 Oak Grove in 1927 (BP 6761).

By late 1931, as evidenced by an aerial photograph of that year (Figure 12), almost all the sites within the precinct had been developed. More flats in the precinct were constructed during the 1930s, in some cases replacing earlier development, particularly to the main thoroughfares, including *Amelita* and *Brightlea* at 74 and 98 Brighton Road, 171 Hotham Street, and 18, 20 and 22 Glen Eira Road. Others were built in more discrete locations such as *Grovesend* at 60 Sycamore Grove and 1 Victoria Avenue. In 1935 *Oakdene* was demolished and replaced with three semi-detached houses, built for the St Moritz Investment Co. at nos. 6-16 Oak Grove.



Figure 12 - Aerial Photograph (dated Nov. 1931) showing the precinct. (Source: Landata, Proj No 1931, Run 15, Frame 2750)

References

Lodged Plans (LP) Nos LP 9261 and LP 8559

Longmire, Anne (1989), 'St Kilda – the show goes on', Hawthorn (AL)

Newspapers, various

Parish Plan (PP), at Elwood, Parish of Prahran, P81 (13)

Port Phillip Thematic Environmental History (TEH), February 2021

Sands and McDougall's Street Directories (SM)

St Kilda Rate Books (RB) 1859-1900

St Kilda Council building permit records (BP). Accessed via the Australian Architectural Index.

3.0 Description

The precinct is comprised of two parts – north and south- of Glen Eira Road, Ripponlea, and the southern part is further bisected by the Sandringham Railway Line. To the north, it is bound by Sycamore and Elm groves, to the east by Hotham Street, to the south by Erindale Avenue, and to the west by the railway and Glen Eira Avenue (northern part) and Brighton Road (southern part). The terrain very gradually slopes upwards from the south-west end to the north-east of the precinct.

Major thoroughfares either define the boundary or bisect the precinct with the other streets deriving from the three relevant subdivisions. Generally, the carriageway surface is asphalt, and the channelling and kerbing is basalt. Footpaths are either asphalt (northern part) or concrete (southern part) and crossovers are mostly concrete.

The street planting varies across the precinct and consists of both native and exotic species, in general relating to the north and south parts respectively. The planting is generally well-established except for Elm Grove. To the south, there is a mixture of mature London planes (*Platanus × acerifolia*) - for example, Erindale Avenue and Brighton Road – and Desert ash (*Fraxinus oxycarpa*), which are evident in the 1931 aerial photograph and for which there was a preference during mid-20th century in the municipality (AL, pp. 127, 161). The latter are evident in Oak Grove, parts of Fuller and Victoria streets, and Glen Eira Road. To the north, the planting, which is later, includes eucalypts on Hotham Street and paperbarks in Sycamore Grove.

Victorian Period

The few houses from the Victorian period in the precinct are concentrated in two groups in the northern part of the precinct in Sycamore Grove (nos. 42, 44 and 46) and Elm Grove (nos. 37, 39, 41 and 47), as well as one example in Oak Grove (no. 11). To the southern part of the precinct, there is the Quat Quatta mansion and three villas or mansions on Glen Eira Road (nos. 2, 10 and 12).

The houses are generally indicative of the Italianate style, regardless of their scale and wall material (rendered masonry or timber), as they feature some classicising decorative elements, often in combination with cast iron detailing to a verandah. The decorative elements include cornices with brackets and mouldings to windows. Roofs are typically hipped, clad in slate, mostly expressed though there are parapeted examples, and chimneys are usually rendered with a moulded cap.

The larger examples – villas and mansions - have an asymmetric façade. Windows are timber-framed, almost exclusively with double hung sashes, with those to the façade often having a tripartite configuration (wide central sash with narrow flanking side sashes). Front doors are panelled timber.

Quat Quatta at 17 Quat Quatta Avenue (Figure 13) (**PPHR 368**) is a gracious single storey, rendered mansion with prominent balustraded parapet with urns and corbelled course to the cornice. The verandah has distinctive columns which are flared to the lower part and its roof is unusually clad in slate.



Figure 13 - Quat Quatta, 17 Quat Quatta Avenue

Tringham, 2 Glen Eira Road (Figure 15) (**PPHR 326**) is a rendered single storey villa with pointed arch (Gothic style) label mouldings and unusually with tiling to the cornice and chimney shafts in a high Victorian manner. Nearby at 10 and 12 Glen Eira Road are two storey mansions (Figure 14). The former is altered with a Moderne or Functionalist addition to much of the front. The latter, known as Gleneira (**PPHR 328**), is rendered with quoining, an arcaded loggia to ground

floor and cast iron detailing to the upper level (balconette over the bay window and balustrading to the verandah).



Figures 14 & 15 - 12 Glen Eira Road (left) and 2 Glen Eira Road (right)

In Sycamore Grove, there is a group of three villas, two of which are timber-framed (nos. 44 & 46) and one is rendered masonry (no. 42). They all have a similar façade configuration with a faceted bay window and bracketed cornice. The offset verandahs are intact to nos 42 & 44 with cast iron detailing however that to no. 46 was replaced during the interwar period.

The group of four cottages in Elm Grove (nos. 37, 39, 41 & 47) are all timber-framed and all retain slate roof cladding and rendered chimneys. Nos. 37-41 have hipped roofs and ashlar boards to the façade with nos. 37 and 39 are a pair with same bracketed cornice detailing. No. 47 is differentiated by having a gable roof and channelled façade cladding. Nos 41 & 47 (Figures 16 and 17) retain decorative cast iron elements.



Figures 16 & 17 - 41 Elm Grove (left) and 47 Elm Grove (right)

There is a lone, freestanding, two storey terrace-type house at 11 Oak Grove (Figure 18). It has a rendered façade, arched openings to the ground floor (including the stepped tripartite window) and cast iron detailing to the two level verandah.



Figure 18 - 11 Oak Grove

Federation Period

The Federation period housing differs from that of the late 19th century by being more informal and a prevailing use of 'natural' materials such as brick, roughcast render, and timber, and is generally devoid of classicising detailing. This design approach reflected the tenets espoused by the Arts and Crafts Movement, which originated in England. In Australia, this approach resulted in two inter-related styles – the Queen Anne as well as the Art and Crafts style.

The Queen Anne style is readily identified by picturesque roofscapes, typically consisting of a front gable end with gambrel or hipped sections behind, having a steeper pitch than 19th century roofs, and exposed rafter ends. More complex versions might include a corner accent. Roofs are clad in either terracotta tiles or slate with terracotta ridge tiles. The terracotta ridge tiles are often decorative and terminated with a finial. Chimneys are red brick with rendered or corbelled brick caps, typically with terracotta chimney pots. For the most part, masonry walls to the façade are of tuck-pointed red brick with some areas of render, either smooth or roughcast, such as a band or the upper part of the wall/gable end. Timber-framed examples often have some shingled boards and/or sections with roughcast sheeting to the walls and timber decks but otherwise the same detailing/material palette as their brick counterparts, although the roofs may be clad in corrugated metal sheeting.

Timber detailing was favoured to gable ends and verandahs. Verandahs were supported by turned posts and geometric patterns were employed to the friezes, usually timber (fretwork) though cast iron friezes are not uncommon (though typically wider than the 19th century type). Decks are often tiled decks with terracotta and cream (or a contrasting dark) tile. Front windows, often including a bay, were predominantly casements with toplights, often with some leadlight and decorative glass with floral motifs, the latter reflecting an Art Nouveau influence. The gable roof would typically project forward over the bay window. Hoods were also common as were picture/porthole windows to the larger examples. Front doors usually include an upper light and panelling to the lower part.

There are many semi-detached brick pairs in the precinct at 76-82 Brighton Road; 3-25, 6-16, 26-32, 51-53 Elm Grove; 7-9, 13-15, 21-23 Erindale Avenue; uneven pairs in terms of size at 18-20, 24-26 Oak Grove; 41-43 Sycamore Grove; and 2-4 Victoria Avenue. The pair at 30-32 Elm Grove (Figure 19) unusually have a slate clad roof for this typology.



Figures 19 & 20 - 30-32 Elm Grove (left) and 23-25 Elm Grove (right)

There are also some semi-detached timber pairs but these are on larger allotments and are commensurate with the scale of a typical timber villa. There are timber pairs at 48-50, 51-57 Sycamore Grove and at 28-30 Glen Eira Avenue, the latter forms a group with adjacent free-standing villa at no. 26. The latter group feature alternating panels of weatherboards and roughcast sheeting to the gable end and the pairs in Sycamore Grove have a timber screen to the gable end.

The timber villas are all located in the north-eastern part of the precinct except for the example at 25 Erindale Avenue. There are several in Elm Grove (nos 1, 36, 42-50, 45, 57), and at the west ends of Oak Grove (nos 34-38) and Sycamore Grove (nos 45, 47, 52). Most of those on the north side of Elm Grove include varying, but relatively large areas, of roughcast sheeting. 36-38 Oak Grove have similar facades with ashlar boards and bay window detailing.



Figures 21 & 22 - 50 Elm Grove (left) and 38 Oak Grove (right)



Figures 23 & 24 - 26 Glen Eira Avenue (left) and 51-53 Sycamore Grove (right)

There are several free-standing Queen Anne style villas located throughout the precinct, often with slate roof cladding. Many of the larger examples are distinctive such as 16 Glen Eira Road (Figure 25) which features an attic level with balcony and an original red brick fence. Two nearby examples in Hotham Street - nos 173 and 179 – are of a similar ilk with the former having brick piers supporting the verandah. The house at 28 Oak Grove is a distinctive example, with two gabled bays, contrasting face red brick and render, circular window, tiled gambrel roof and unusual battered chimneys with brick banding. Other examples are located at 12 +16, 15-19 Erindale Avenue, 16-18 Lyndon Street, and 29 Oak Grove.



Figures 25 & 26 - 16 Glen Eira Road (left) and 173 Hotham Street (right)

There are only a few examples of the Federation Bungalow in the precinct but they are located near each other on Brighton Road. This type dates to the mid to late 1910s and features several elements similar to the Queen Anne and/or Arts and Crafts styles, however they generally have broader and simpler gable roofs and masonry elements to a porch/verandah, with either full height columns or shorter versions on a pedestal or plinth wall. Gable ends feature timber shingles or the like rather than a roughcast finish and battening. Windows are more likely to be double-hung sashes than casements.

The house at 96 Brighton Road, designed by Twentyman & Askew in 1927, is a large example with an attic level, faceted porch with Tuscan Order columns and granolithic deck (BP 6811). 100 Brighton Road (Figure 28), built in 1923, has a porch with paired Doric Order columns, a dado of clinker (lower) and red (upper) brick with roughcast render above though with banding and quoining in brick, leadlight with lozenges. There are also smaller versions at 84 and 86 Brighton Road, the former with wide piers to a narrow gable ended porch and the latter, built 1915/16, with Tuscan Order columns (BP 2799).



Figures 27 & 28 - 86 Brighton Road (left) and 100 Brighton Road (right)

There are also a few examples of the Arts and Crafts style, which was popular during the end of the Federation period and beginning of the Interwar period. This style is generally distinguished by the extensive use of roughcast render, battened chimneys, and shingles. Whilst gable roof forms are employed, they are less elaborate than the earlier picturesque roof forms associated with the Queen Anne style, often singular and often incorporating an attic level. Generally timber shingles are employed to the gable ends and/or a bay, and windows are double-hung sashes with plain leadlight.

A key example is Bon Jours at 1 Erindale Avenue which was designed by Thomas W Pearce and constructed in 1917 (BP 3358, 9 August 1917). It is largely roughcast above a red brick dado with weatherboards to the gable end and exposed rafter ends. It has an asymmetric pair of windows to the façade – a faceted bay and box-framed group - and has a corner timber lych-gate.

Opposite at 15 Fuller Road is a latter example. It has red and clinker brick base, shingles to the gable end and skirts above the bay, less colourful stained glass to the upper window sashes, and possibly a concrete lintel to the entry, all of which are elements indicative of the early 1920s.

The house at 16 Erindale Avenue, built 1912, is an unusually late transitional example which is broadly Victorian in form but Federation in palette (BP 1514, 10 March 1912).

Interwar Period

The building stock from the Interwar period represents about a quarter of that in the precinct with most of the houses dating to the 1920s and indicative of the bungalow type, whereas the flats mostly date to the 1930s in some of the contemporary popular styles. Stylistically, some of the houses from the World War II years relate to the Interwar period.

Bungalows characteristically have an informal design which reflects the influence of the Arts and Crafts aesthetic, especially in their combination of 'natural materials'. Broad gables predominate with the main ridge being either transverse (parallel to the street front) or perpendicular to it, and are typically clad in unglazed terracotta tiles with exposed rafter ends to their timber lined soffits. The chimneys tend to be relatively short and simply detailed with a square cross-section. The wall finish is usually brick (red and clinker), and often tuck-pointed, in combination with render (often roughcast), though they may also be mostly rendered. There is often some decorative brickwork to the walls and arches including bands, diamonds, etc. Windows are timber-framed often in groups with some detailing to the upper sash (multi-paned or leadlight) with a feature bay window and/or boxed-framed windows being common. Porches typically are masonry and consists of a low balustrade wall and piers and/or columns. Some have ached porches, usually indicative of the Arts and Crafts bungalow sub-type.

There are groups of bungalows in Quat Quatta Avenue (nos. 4-14, 9-15), in Erindale Avenue on the west side (nos. 4-10) and east side (nos. 29-31), to most of the north side of Fuller Road (nos. 1-11), a few on Brighton Road (nos. 84, 92 and 94) and a smaller pair at 29-31 Elm Grove. Some of the

group on the east side of Quat Quatta Avenue feature splayed timber brackets to their verandah/porch. 4 Erindale Avenue (Figure 30), built in 1918 by P Cope, is indicative of the Craftsman Bungalow sub-type by way of its dormer to a single transverse gable ridge. Both 29 and 31 Erindale Avenue were designed and built by architect and builder P S Walsh in 1915 and 1916 respectively (BP 2769; BP 2812). In Quat Quatta Avenue, the gable-fronted bungalow at no. 12 was designed by Arthur Plaisted and constructed in 1916 by W B Plaisted (BP 2914), no. 14 was designed and constructed in 1914 by Dunlop & Hunt (BP 2466), and the attic bungalow at no. 6 was designed and built by F G Tucker in 1921 (BP 4627).



Figures 29 & 30 - 10A Quat Quatta Avenue (left) and 4 Erindale Avenue (right)

Distinctive examples in the precinct include the Arts and Crafts type at 72 Brighton Road (Figure 31), designed and built by Reginald F. Cream in 1926 (BP 6629 8 Nov 1926), which has an attic and arched openings/porches with a brick label moulding. Similarly, the house at 175 Hotham Street (Figure 32) (in conjunction with the adjacent flats at 1-3 Oak Grove) are also indicative of the Arts and Crafts type with its roughcast render, attic level and jerkinhead roof (hipped gable), it has boxed-framed windows with lozenge quarrels to the upper sashes.



Figures 31 & 32 - 72 Brighton Road (left) and 175 Hotham Street (right)

Tintara, designed by noted architect E.F. Billson and constructed in 1923, at 20 Lyndon Street (Figure 33) (PPHR 346) is the among most distinctive houses in the precinct. This austere red brick example has an attic wing with an encompassing gable roof extending forward with deep soffits and pronounced piers framing the gable ends. Attached at the east end is single storey, hipped roof wing. The crystalline glazing bars to the upper part of the casement windows are a hallmark of the Griffin school.



Figure 33 – *Tintara*, 20 Lyndon Street

The substantial two-storey Mediterranean style house at 112 Brighton Road is one of the few 1920s houses not in the Bungalow idiom. It was designed and constructed in 1928 by C.T. Suhr (BP 7327).

There are only a few houses dating to the 1930s in the precinct, which typically have a hipped roof clad in glazed terracotta tiles, unless they are reflective of the Tudor Revival style, and so feature a gable end. *Moir* at 16 Glen Eira Road (Figure 34) (**PPHR 1497**), designed by H V Gillespie and built in 1936, is a hybrid example that is largely demonstrative of the Mediterranean style by way of its arched openings, including a balconette, and Tuscan order columns to the porch. It is mostly rendered with tapestry bricks trims to the openings and is distinguished by its unusually stepped form and large steel-framed windows. 4 Glen Eira Road is broadly Tudor-Moderne with its gable roofs, steel-framed windows, porthole window, and side porch with a flat roof and steel pole.



Figures 34 & 35 - 16 Glen Eira Road (left) and 16 Oak Grove (right)

There are a few groups of semi-detached pairs including those at 6-16 Oak Grove, with the outer pairs with some Tudor Revival style elements. This group is rendered with tapestry brick highlights (lintels, random/vestigial quoining, etc.) and retain original masonry front fences (the fences to nos. 10-12 feature unusual wrought ironwork, which may have been salvaged from the *Oakdene* mansion that previously occupied the site). A clinker brick pair is located at 37-39 Sycamore Grove.

The eight blocks of flats in the precinct are generally two storey with some retaining an original low masonry fence.

Two small blocks, both designed by Schreiber & Jorgensen, are indicative of the Arts and Crafts style at 1-3 Oak Grove built in 1927 (**PPHR 748**) and *Glen Flats* at 18 Glen Eira Road built in 1929 which has an unusual split/alternating stair design. The former retains unpainted roughcast render over a red brick plinth, exposed rafter ends, and multi-paned upper sashes and retains its original steel gate

and post and wire mesh fence. The latter is largely obscured but has a part crenulated parapet, red brick walls and box-framed windows.

Amelita at 74 Brighton Road, designed by Dickson & Yorston and built 1933, is indicative of the Mediterranean style with its symmetrical façade and central tower with an arched opening. It is mostly rendered above a clinker brick plinth and its recessed balconies have been filled in with steel-framed windows.

The other flats date to the mid to late 1930s and are indicative of either the Moderne or Tudor Revival styles, or the hybrid Tudor-Moderne style, which is evident in nearby parts of the municipality, such as Elwood.

Yolande Flats at 20 Glen Eira Road is a small, Moderne style block with rendered walls, a curved corner, and flat roof section to the front.

Milverton at 22 Glen Eira Road (Figure 36) is long Tudor-Moderne block in a stepped form which cascades along Lyndon Street. It has a red brick dado with render above and various types of brick detailing (banding, random quoining, patterned to the central gable end with half-timbering over), hip and gable tiled roofs and a section with a crenulated parapet. Most of the windows feature horizontal glazing bars though a few have diamond quarrels. It is complemented by a low brick fence and a shaped privet hedge, which is a typical interwar planting.



Figures 36 & 37 – *Milverton*, 22 Glen Eira Road (left) and *Brightlea*, 98 Brighton Road (right)

Brightlea at 98 Brighton Road (Figure 37) is another Tudor-Moderne example, constructed in 1937 as substantial additions to an earlier Federation house (BP 9682). With clinker brick to the base and as bands to the rendered walls, chimneys and gables, it features curved balconies (one with *Brightlea* in raised letters) and limestone or sandstone piers to the side elevation.

171 Hotham Street (Figure 38) is the only three storey flats in the precinct. This Moderne style block features cream and clinker brick banding to the front, porthole windows, and horizontal glazing bars to the window sashes.



Figures 38 & 39 - 171 Hotham Street (left) and 4 Glen Eira Road (right)

There are three blocks in clinker brick from the end of the 1930s. *Merildene Flats* at 1 Victoria Avenue, designed by Gordon EE Gibbon and constructed in 1938, features a chimney breast with herringbone brickwork to the front indicative of the Tudor Revival style. The block at 60 Sycamore Grove (*Grovesend*, previously *Ziona Flats*) is largely obscured, but it is clinker brick with a hipped roof.

4.0 Comparative Analysis

The Ripponlea Residential Precinct retains a few Victorian period mansions and houses, however the area underwent rapid development during the Federation period and then consolidation during the Interwar period, including some blocks of flats particularly along the main thoroughfares. The styles represented span the breadth of these periods. Most of the houses are free-standing except for groups of semi-detached pairs in the eastern half of Elm Grove and the southern end of Erindale Avenue (east side only). The precinct is representative of a common settlement pattern in this part of the municipality where large holdings were subdivided for more intensive development. Compared with most other precincts in the southern part of the municipality which contain building stock from similar development periods it contains a high proportion of houses.

The Elwood-Glenhuntly Rd, Ormond Rd precinct (HO8) has significant buildings from the Victorian, Federation and Interwar periods with a similarly small proportion from the Victorian, primarily two mansions in Tiuna Grove and another in Beach Avenue. Whilst Federation period villas and Interwar period bungalow types are well-represented, there is a much higher proportion of flats, generally two storey. It also includes a central commercial centre with both Federation and Interwar period shops.

St Kilda Botanical Gardens & Environs Precinct includes some similar housing stock but is a larger and more diverse precinct in terms of its periods of significance and the range of residential types. It retains several Victorian period mansions, terraces, villas and cottages and from the Federation period, large and small villas, as well as paired cottages. From the Interwar and Post-WWII periods, there is a preponderance of blocks of flats, both two and three storey.

St Kilda East precinct (HO6) is another large precinct which retains several Victorian period mansions, some incorporated into school complexes, and villas such as in Odessa Street. Most of the residences from the early 20th century are freestanding, however there are pockets of paired semi-detached Federation period brick cottages, such as in Lambeth Place, and Interwar period flats, such as in Charnwood Road. It has a more diverse range of building stock as it includes a commercial area to St Kilda Road and a few churches throughout.

St Kilda Hill precinct (HO5) also contains significant buildings from the Victorian, Federation and Interwar periods. Several Victorian period mansions survive on Grey and Princes streets as well terrace groups and villas throughout. The narrow streets at the south-west end (Havelock, Fawkner

and Clyde) have smaller residences - timber cottages (Victorian and Federation period) and paired brick houses (Federation period) – whereas the larger residences and blocks of flats are located on the wider streets further north. In the Eildon Road area, the building stock (houses and flats) mostly dates to the Interwar period. There are also commercial buildings on Fitzroy, Grey and Acland streets.

Addison Street /Milton Street Precinct (HO403) results from an early 20th century government land release. It includes mostly Federation period development, generally semi-detached pairs and small villas, with some Interwar period housing, mainly dating to the 1920s.

5.0 Statement of Significance

What is significant?

The Ripponlea Residential Precinct comprising approximately 180 residential properties in Brighton Road (part), Elm Grove, Erindale Avenue, Fuller Road, Glen Eira Avenue (part), Glen Eira Road (part), Hotham Street (part), Lyndon Street (part), Oak Grove (part), Sycamore Grove, Quat Quatta Avenue (part) and Victoria Avenue, in the suburbs of Balaclava and Ripponlea is significant.

This precinct consists predominantly of Federation and Interwar period residential development, with some Victorian period representation, derived from subdivision of estates in 1888 (north part) and 1911 (south part), with some smaller subdivisions in 1864 (former public reserve) and the 1920s. The building stock includes single houses, attached pairs and flats. Brick is the predominant building material, with some timber houses (mostly located in the north part) typically dating to pre-1912.

The following features contribute to the significance of the Ripponlea Residential Precinct:

- Houses and flats dating from the Victorian, Federation and Interwar periods (1880s-1945),
- The single storey scale with some interspersed attic or two storey examples,
- Roof forms (hipped, gabled) and roof cladding including terracotta tiles (glazed and unglazed), slate and corrugated sheet metal,
- Chimneys (face brick or rendered),
- Detailing to gable ends including timber battening, roughcast finish and shingling,
- Timber or face brick (red, clinker) walls, and/or rendered finishes, and contrasting detailing,
- Porches and verandahs,
- Timber framed windows (some with decorative glass or glazing bars), steel framed windows, and timber doors,
- Original or early masonry front fences,
- Front garden settings,
- Basalt kerbing and channelling,
- Mature street trees – Plane trees and Ash trees.

The Significant places within the precinct are:

- *Tringham*, 2 Glen Eira Road (PPHR 326)
- *Gleneira*, 12 Glen Eira Road (PPHR 328)
- *Moir*, 16 Glen Eira Road (PPHR 1497)
- *Tintara*, 20 Lyndon Street (PPHR 346)

-
- House and flats, 175 Hotham Street and 1-3 Oak Grove (PPHR 748)
 - *Quat Quatta*, 17 Quat Quatta Avenue (PPHR 368)

The Non-contributory properties are:

- 88 Brighton Road
- 2, 5, 14 and 31 Erindale Avenue
- 6 – 8 Glen Eira Road
- 2 – 4 Oak Grove
- 18, 34, 38, 40 and 55 Elm Grove, Balaclava
- 54 and 49 Sycamore Grove, Balaclava

All other properties not listed above are Contributory places within the precinct.

How is it significant?

The Ripponlea Residential Precinct is of local historical and aesthetic significance to the City of Phillip.

Why is it significant?

The Ripponlea Residential Precinct is of historical significance as illustrative of the suburban growth and consolidation of Ripponlea and Balaclava during the Federation and Interwar periods, particularly following the opening of the long-awaited Ripponlea Railway Station in 1912. It is representative of a common settlement pattern in this part of the municipality where large holdings were subdivided for more intensive residential and commercial development, in this case, the East St Kilda Estate in 1888 and the Erindale and Quat Quatta Estates in 1911. The surviving pockets of Victorian period houses are remnants of an earlier phase of development in the precinct which is now largely removed.

(Criterion A)

The Ripponlea Residential Precinct is of aesthetic significance as a large residential area containing a mix of Victorian, Federation and Interwar period development. The styles represented span the breadth of these periods; these include Italianate during the Victorian period, Queen Anne and Art and Crafts during the Federation period, and Arts and Crafts, Bungalow, Mediterranean and Old English/Tudor Revival during the Interwar period. Most of the flats date to the 1930s and are indicative of either the Moderne or Tudor Revival styles, or the hybrid Tudor-Moderne style. Many of the larger houses, in the southern part of the precinct, are distinctively designed. Some properties retain their original brick front fences. The precinct is enhanced by the street settings which includes original basalt kerbing and channelling for the most part and some streets with mature trees.

(Criterion E)

6.0 Recommendations

Excise from HO7 to create separate precinct heritage overlay.

Extensions recommended (that is, not currently within the HO as part of HO7):

- 39-57 and 42-60 Sycamore Grove.

Removals recommended (that is, currently part of HO7) include:

- The south side of Oak Grove (nos. 5, 7, 9, 13, 15, 17, 19) because of the overall low integrity. (The Victorian residence at 11 Oak Grove is retained in the precinct and the heritage overlay).
- 181, 185, 197, 197A Hotham Street, and
- 2, 2A, 2B, 2C, 2D Quat Quatta Avenue.

Transfer the flats at 169 Hotham Street from HO7 to the Feldhagen Flats Group Listing I HO (together with 247 Inkerman Street, Balaclava and 99 Westbury Street, Balaclava).

The following places with PPHR citations become Contributory to the precinct:

- *Milverton*, 22 Glen Eira Road (PPHR 1498)
- 173 Hotham Street (PPHR 2020)
- 1 Victoria Avenue (PPHR 947)
- 100 Brighton Road (PPHR 439)
- 1 Erindale Avenue (PPHR 906)

7.0 Assessment

RBA Architects & Conservation Consultants, *HO7 Elwood St Kilda Balaclava Ripponlea Precinct heritage review Stage 2, 2022*

St Kilda Botanical Gardens Environs Precinct

Places of individual significance within the precinct that have a separate citation in the Port Phillip Heritage Review with additional descriptive and historical information are indicated in **bold**.

1.0 Thematic Context

Victoria's framework of historical themes

5. Building Victoria's industries and workforce: 5.3 Markets and retailing

6. Building towns, cities and the garden state: 6.3 Shaping the suburbs, 6.7 Making homes for Victorians

Port Phillip thematic environmental history

5. Buildings and cultural landscapes: 5.2 Shaping the suburbs (5.2.2 Private development), 5.3 Diverse Housing (5.3.1 Mansions and grand villas, 5.3.3 Suburban bungalows, 5.3.5 Higher density housing)

6. Commerce, trade and work: 6.2 Markets, shops and retail

2.0 History

Land sales - Nineteenth century

The precinct includes numerous Crown Allotments (Figure 1) which were mostly sold during the early 1850s, with some parts at the western and southern ends during the late 1860s and early 1910s.

The area on the north of Carlisle Street (nos 72D and 72E) was sold first in May 1850 (*Argus* 16.05.1850 p2). Three years later, land to the south side of Carlisle Street and west of Mitford Street/Broadway (lots 73-114, 118B, 119C) were sold at two sales held in September and November 1853 (*Argus* 02.09.1853 p5 and 25.11.1853 p5). The area of the most allotments was in the order of 2 to 3 acres, with some larger allotments, up to about 6 acres, in the south-west part.

The size of the allotments in later land releases were smaller. The allotments on the west side of Mitford Street (nos 287 to 306), generally with an area of about 1/3 acre, were mainly sold during the late 1860s. The lots at the west end of Dickens Street (nos 311 to 313) were likely sold at a similar time.



Figure 1 – Parish Plan, P81 (13) At Elwood Parish of Prahran, showing most of the allotments which are either fully or partly included within the precinct area, except those on the west side of Barkly Street

Several purchasers acquired multiple allotments such as F G (Frederick Gonnerman) Dalgety, T Fulton, William Green, and Henry Field Gurner, and James Smith, who acquired nearly all of the north side of Blessington Street. William Kaye (of Kaye and Butchart, cattle auctioneers) however acquired the most allotments – ten – mainly along Tennyson Street, south of Dickens Street. Some of the purchasers were part of a group of land developers who acquired extensively holdings across the city and state (e.g. Thomas Fulton and Hugh Glass). Of this group, Kaye lived in the precinct - initially in a portable house (1853).

At time the Municipality of St Kilda was proclaimed in 1855 (VGG, 1855, p1026), the Kearney Plan (Figure 2) shows that minimal development and/or subdivision had occurred in the precinct area, and principally at the north end along Carlisle Street (then Beach Road), which had been sold earlier. Few of the roads had been laid out to the south – only Milton and Byron streets, and the northern end of Southey Street. The original portable iron house by William Hutchinson & Son for William Kaye is evident (SKHM), and (part of) the building at 58 Carlisle Street might have been erected (RB).

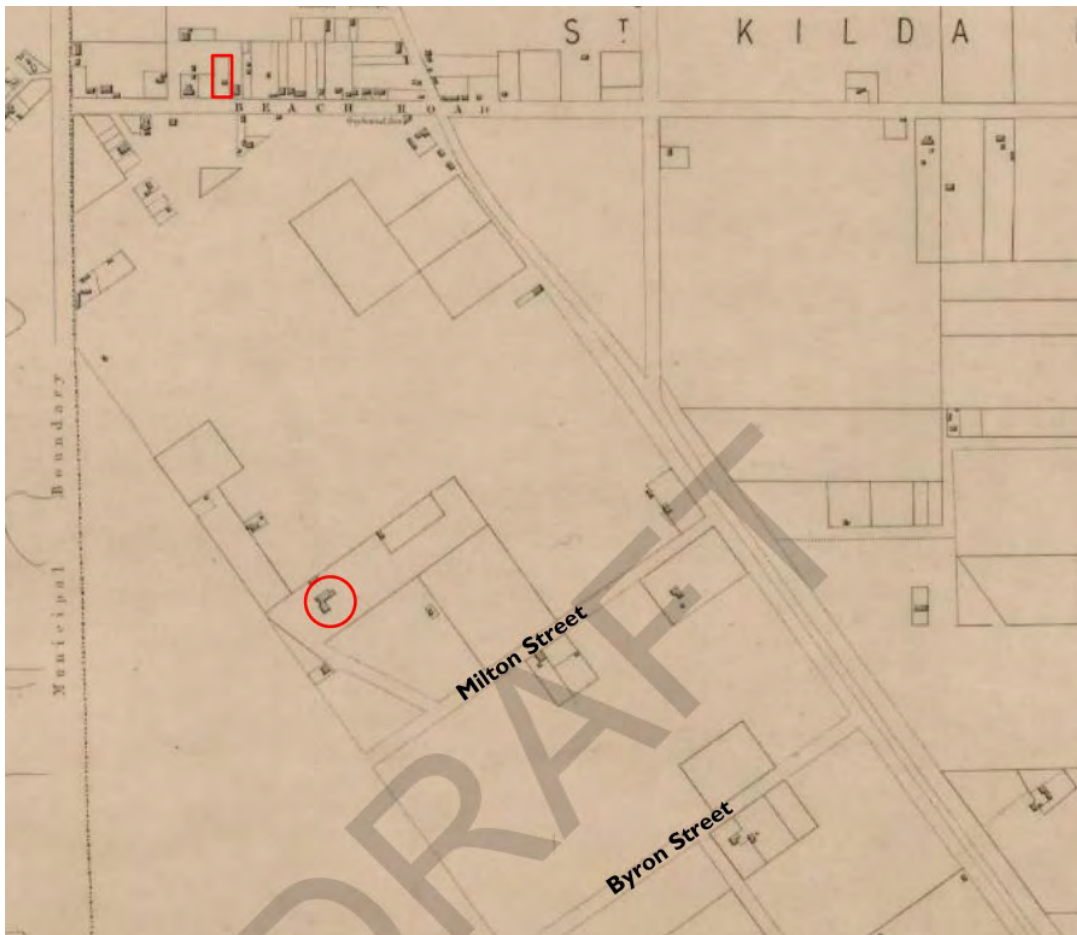


Figure 2 – 1855 James Kearney, 'Melbourne and its Suburbs' plan. Kaye's portable house and 58 Carlisle Street (then Beach Road) highlighted (SLV)

Over the next few years, other streets were laid out and the Botanical Gardens were established. By 1859, the St Kilda Council had established a gravel pit in Mitford Street and tree stumps were awaiting to be 'grubbed out' in Southey Street. In 1861, when Blessington Street was being formed, a bed of red gravel/sandstone was found, which yielded more than 470 tons that was used in the construction of various streets including Dickens and parts of Inkerman. Red gravel roads were a feature of early St Kilda but have long been removed/covered over. Similarly, gravel was extracted from what became the gardens site that was then being employed as the town's rubbish dump. The stone was presumably extracted quickly as in September 1859, the council decided to seek a grant for the land for a Botanical Gardens. A 6-foot picket fence was erected, and the design of the German architect Mr Gloystein was accepted for which he was paid £10. By September 1861, 'a considerable proportion of the walks, and paths in the Public Gardens have been formed and gravelled, and the beds laid out, and several hundred plants and shrubs, principally contributed by the Botanical Gardens, and also by private gentlemen, have been planted, and a gardener is now kept at work, the Government having contributed £100 as a grant in aid.' A year later it had been opened and was said to be attracting 'a great many visitors' (JBC).

A contemporary description outlines the design of the Botanical Gardens and the various elements of which it was comprised.

Mr Tilman W Gloystein ... accepting a tender from Mr. Kidner for the fencing in of the gardens at a cost of £424. Mr. Gloystein's design, although somewhat elaborate, is not marked by that formality that so frequently characterizes plans of a similar kind, and whilst avoiding the mistake of dividing the ground into too small plots, for plants, &c, lays out ample space both for promenade and riding or driving, interspersed by numerous shrubberies. The only approach to formality is immediately in the centre of the gardens, where he proposes to place a pavilion for a band, and which is surrounded by circular

walks and beds. Mr. Gloystein has adorned the place by a couple of fountains, and has selected spots for the erection of hot-houses, a lodge, a superintendent's residence, and other buildings, which it will probably be too costly to carry out at present. (*Argus*, 25 July 1860, p4)

By 1864 according to the Cox Plan (Figure 3), the remaining principal/government streets had been laid out (Blessington, Dickens, Herbert, Mitford, Southey and Tennyson). Also recorded are a few buildings that survive including 3/3A Mitchell Street, 26 and 58 Carlisle Street, and possibly the original building at 60 Carlisle Street which was incorporated into the extant block of flats on that site (Glenmore Court).

To the northern end, most of the secondary streets are evident (Foster, part of Mitchell, and Smith), which had been introduced with the greater degree of subdivision that had occurred over the previous decade in that part of the precinct. On the other hand, most of the original Crown allotments remained intact to the south with only limited pockets of subdivision (for instance, corners of Herbert and Dickens streets and Brighton Road and Blessington Street). Houses/mansions had been established on a few of these large holdings/estates by this time. The 16 acres of the Gardens was permanently reserved at this time (P).



Figure 3 - 1864 Henry L. Cox 'Hobson Bay and River Yarra leading to Melbourne' (Source: SLV)

The 1873 plans by the surveyor J E S Vardy (Figures 4-7) show extensive development at the northern end of the precinct, in the vicinity of Carlisle Street (V, SW1 and SW5). On the north side of Carlisle Street, three brick houses at nos 26, 58 & 60 (partly) survive. At this time, there were approximately equal proportions of timber and masonry buildings in the precinct area.



Figure 4 - Vardy Plan SW1 (1873), north side of Carlisle Street. Three houses that (partly) survive highlighted.

Further south, holdings were generally larger, several relating to established mansion estates, particularly along Tennyson Street. A few pockets of more intense development were evident for instance at the intersections of Herbert, Dickens and Mitford streets and the triangle bound by Milton, Southey and Tennyson streets. Other areas of subdivision were underway, though they had not necessarily been developed for instance the west side of Mitford, upper end (V - SW6, SW9, SW10, SW13, SW14).

A few houses of the pre-1873 houses depicted survive between Carlisle Street and the Botanical Gardens at 55 and 74 Blessington, 55 Carlisle, and 3/3a Mitchell streets. Some are mostly intact, but others have been altered or enlarged, for example 3/3a Mitchell Street. This house may have been constructed by 1858 for William Charles Biddle (RB 1861, V). It was named *Barnesfield House* by 1865. Biddle died in 1875, when it was offered for sale being described as a two-storey house in the Lombardo-gothic style (*Argus* 19.01.1875 p2). Subsequently George Buzzard lived there for over forty years (RB 1881, WT, 24.01.1925 p10). The house was later referred to as *Ingleside* (WT, 25.11.1916, p14). Similarly, 74 Blessington Street was possibly had been a single storey house built for C B Fisher. A bay was added by 1897 (MMBW1373).

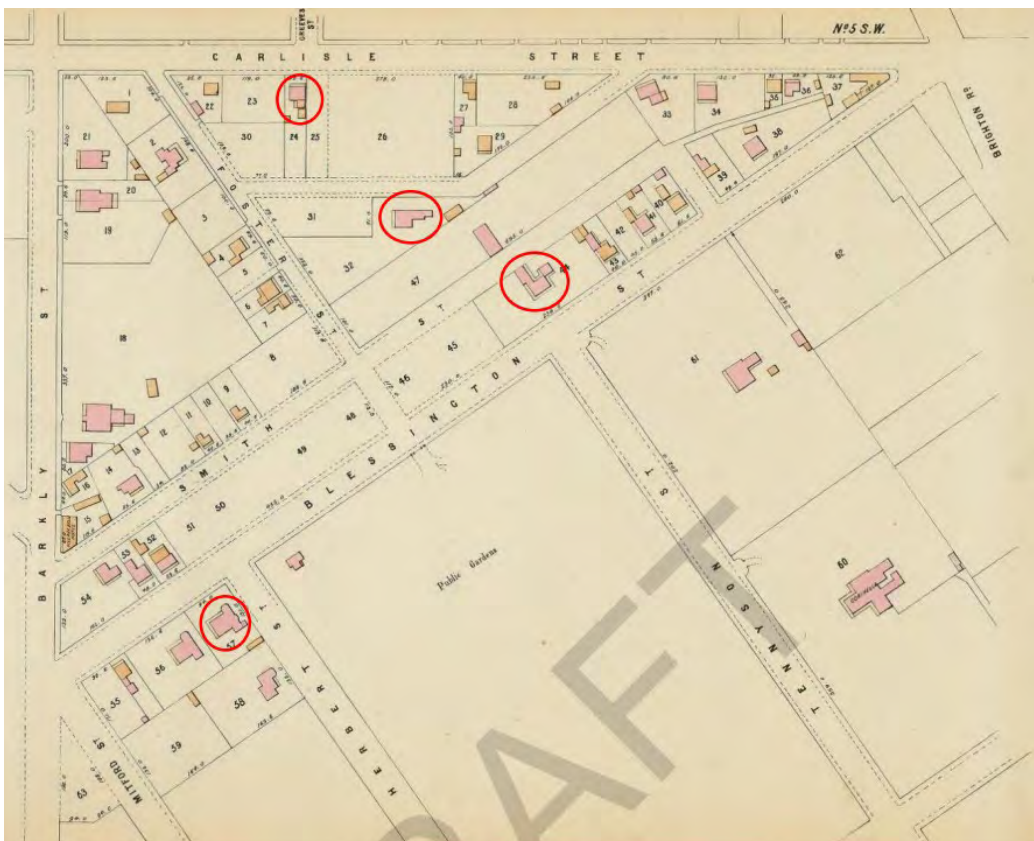


Figure 5 - Vardy Plan SW5 (1873), north end of the precinct. Four houses that (partly) survive highlighted.

Only one house in the north-east part of the precinct survives at the rear of the flats at 27 Brighton Road (Figure 6).

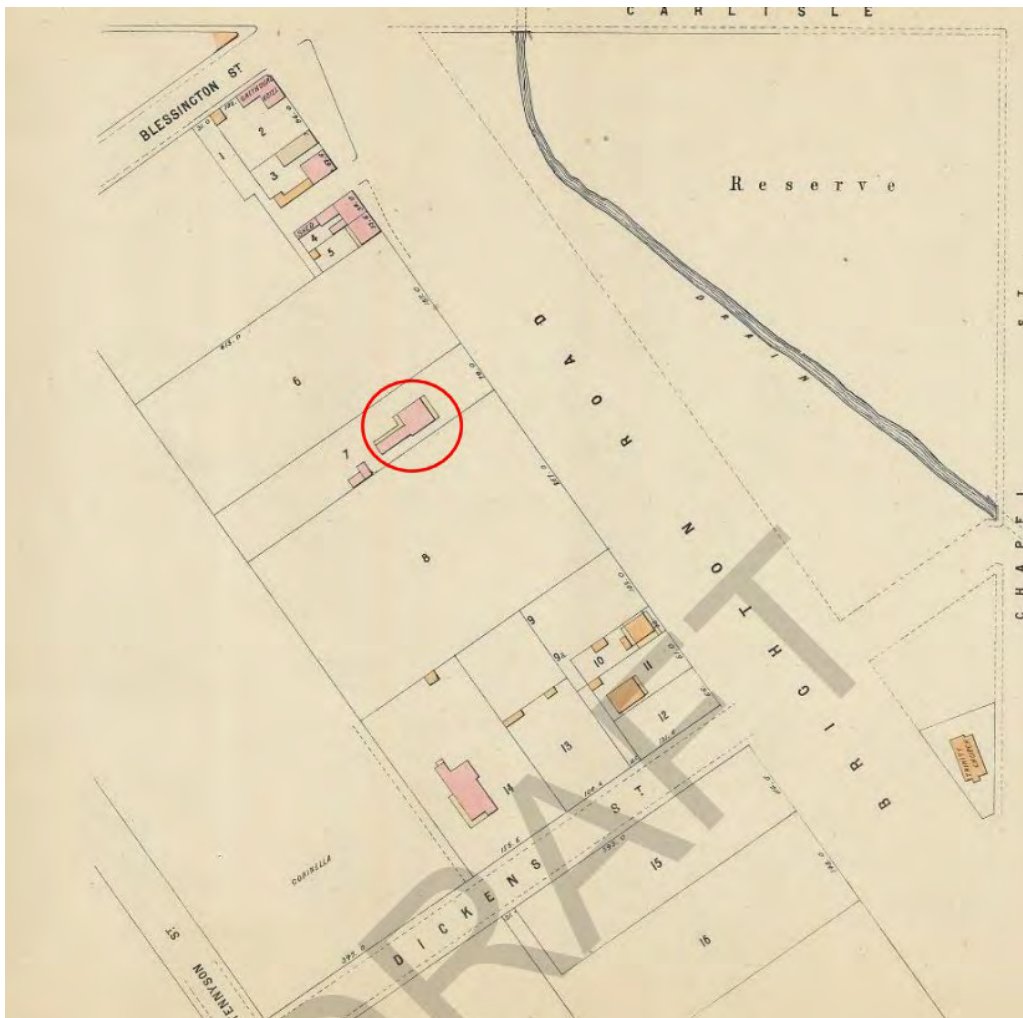


Figure 6 - Vardy Plan SW6 (1873), north-east end of the precinct. The house that survives to the rear of the flats at 27 Brighton Road is highlighted.

Three mansions established by this time survive in the south-east part of the precinct. **Ravelston** at 17A Tennyson Street was designed by John Felix Matthews in 1869 for tobacconist Frederick Heinecke (*Argus* 19.02.1869 p3). **Hartpury** at 9 Milton Street was designed circa 1865 by Crouch & Wilson for Capt. Howard S. Smith. **Wimbledon** (formerly 75 Brighton Road, now 2 Wimbledon Avenue) was erected in 1869 for merchant Charles Berghoff.

Further north at the corner of Tennyson & Dickens streets, there are remnants of two other pre-1873 mansion/houses. The rear part of *Chesterfield* survives near the south-west corner (1A Tennyson Street), and the earlier house on the opposite corner, 19 Dickens Street, has been incorporated into the extant block of flats.



Figure 7 - Vardy Plan SW9 (1873) Note the subdivision on the west side of Mitford Street, and a small pocket of development opposite. Ravelston (circled) and two houses which partly survive (square). Wimbledon and Hartpury are just out of view (arrows).

An early subdivision in the area – the Bay View Estate (SLV), – that included what is now 18-24 Mitford Street was auctioned in January 1882 (*Argus* 17 January 1882 p2). The lack of development in the area is highlighted in the description of the 16 lots being offered in ‘two really superb paddocks.’

By the end of the 19th century, according to the MMBW plans prepared at that time which document the northern end of the precinct, only Carlisle Street was extensively developed, though some of the original building stock has since been replaced. On the north side of the street, the brick half of pre-1873 house at no. 26 survives as does part of the former mansion at no. 60, which has been subsumed into a block of flats (MMBW 1372, 1897), as well as the house at no. 55 on the south side.

Considerable development had also occurred along Blessington Street (north side), where several late Victorian period houses survive. Between Carlisle and Blessington streets, the group of timber cottages at 39-43 Smith Street, which initially included no. 45 (MMBW 1373, 1897, Figure 9) had been erected. At this time, there were several houses to west side of Foster Street, however these have all been replaced, though there were none to the east side (MMBW 1374, 1897). The west side of Barkly, south of Blessington Street was vacant land (MMBW 1376, 1898).



Figure 8 - MMBW plan 45 (1896), north end of precinct. (Source: SLV)

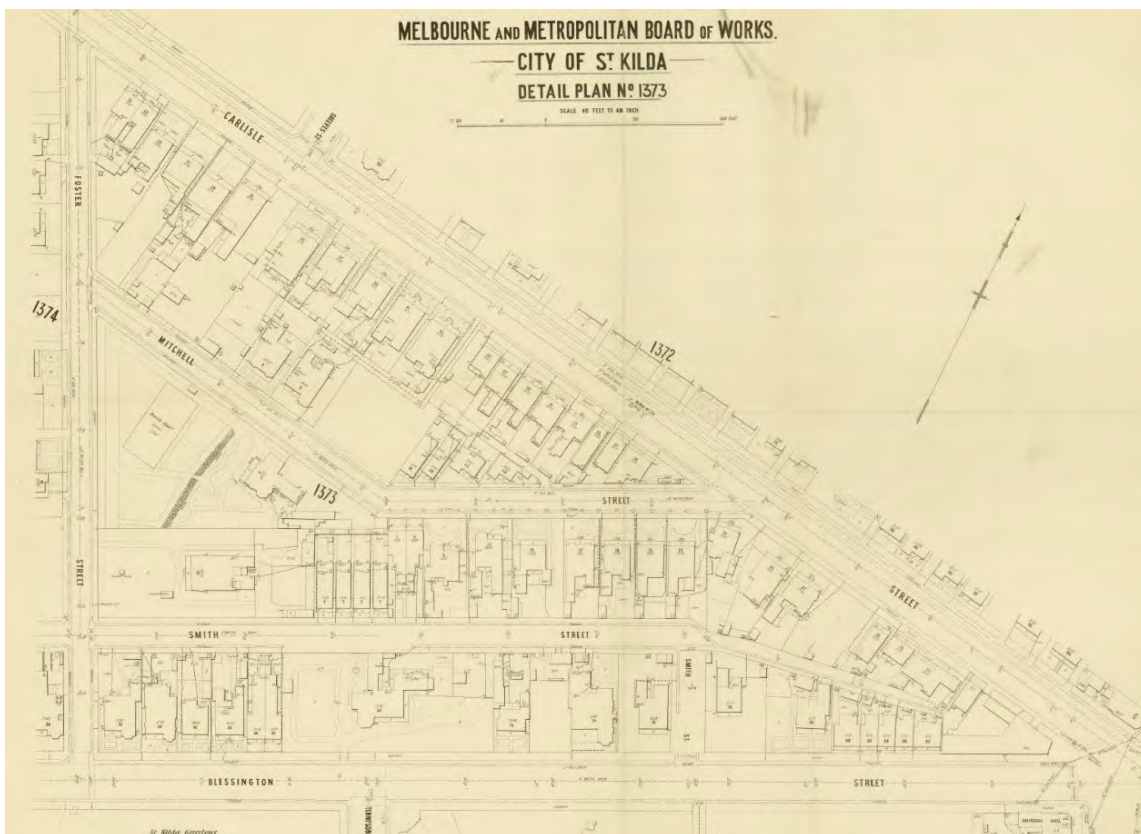


Figure 9 - MMBW detail plan 1373 (1897) Carlisle to Blessington streets. (Source: SLV)

West of the Botanical Gardens, there was considerable Victorian period development on holdings of varying scale. Most of the original buildings have been replaced with only houses at **55 Blessington**, 24 Mitford, and 22 Dickens streets surviving (MMBW 1380, 1897).

South of Blessington Street, more mansion estates had been developed over the ensuing 25 year period, especially in the eastern part, some of which survive but have generally been converted to flats. These elaborate houses were built for elite figures of the commercial, financial and political spheres of the late 19th century, and as might be expected they were designed by some of the leading architects of the time.

Adjacent to each other on Milton/Southey streets were *Whinbank* and *Ascog*. *Whinbank* was initially designed by J A B Koch in 1875-76 but modified/enlarged by Richard Speight in 1890-91 (MMD). *Ascog* which was developed as mansion from about 1865 for William Kaye (SKHM), though there was an earlier house from 1853, was eventually demolished to create Avoca Court.



Figures 10 and 11 – *Ascog* (left) and *Pladda* (right) (Source: SKHM)

East of the gardens, there were five mansions opposite on Tennyson Street. Two of these survive, both of which have been converted to flats: **Bundalohn** (no. 6) by Reed, Henderson & Smart (1884-85) and **Himalaya** (no. 10), likely by Smith and Johnson (1880s). The three mansions that have been demolished were *Corinella* and *Pladda* (Lloyd Tayler, 1880s), and another near the corner of Blessington Street.

In this section, there were also villas to Dickens Street - **no. 6** by E Crouch of 1891-92 survives as does a substantial house opposite (*Oberon* at no. 3) – as well as villas and a few terraces to Brighton Road (for example, pair at nos 35-37). The east half of Mozart Street was laid out at this time with only **2-4 Mozart Street** constructed in 1890 (MMBW 1382, 1897).

South-east of the gardens (Dickens to Milton streets), the pattern was similar to the circumstance immediately to the north. There were two mansions with extensive holdings to the east side of Tennyson Street: **Rotherfield** (now 14 Hennessy Avenue), which was designed by David Askew of Twentyman & Askew, 1890, and *Evora*, demolished though designed by Crouch & Wilson, 1865, (SKHM). They backed onto another three on Brighton Road - *Sydenham* (demolished), **Wimbledon** (2 Wimbledon Avenue), and *Corvey* (demolished). The latter at no. 79 was designed by Alfred Kursteiner in 1872 (SKHM). Demolition of *Sydenham* and *Corvey* allowed for the creation of Hennessy and Wimbledon avenues in the early twentieth century.

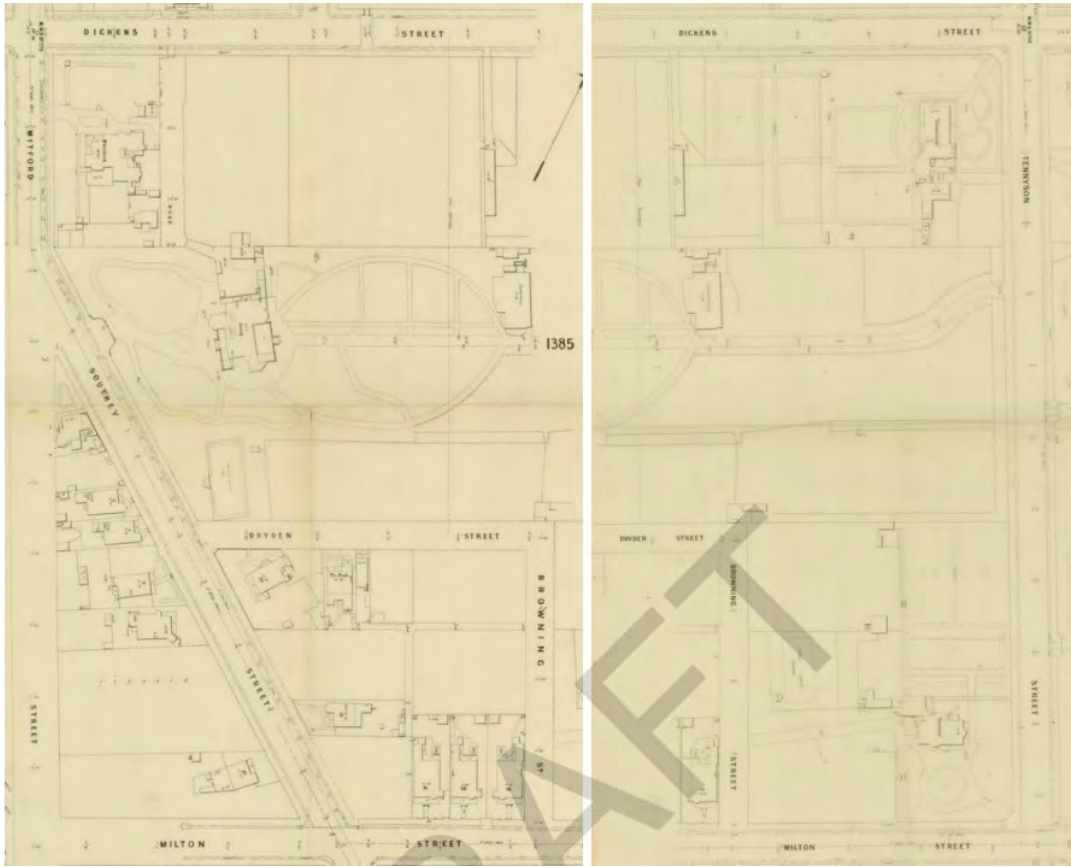


Figures 12 and 13 - Evora and Corvey (Source: St Kilda's Historic Mansions)

Further south along Brighton Road, there were four villas at nos 49-55 (then nos 55-61), and the nascent shopping centre was evolving with the construction of the group of six shops at nos 91-101. Nearby was the extant group of four terraces at 2-8 Milton Street (MMBW 1384, 1898) and one of the four villas south of Milton at 113 Brighton Road survives (MMBW 1397, 1905).

South of Byron Street on Brighton Road there was sparse development - a villa and four terraces (now no. 179, then nos 209-215). The facades of the latter have been remodelled (MMBW 1398-99, 1905).

East of Southey Street two villas survive at 2 Dryden Street (*the Nook*) and 46 Milton Street, and another timber cottage at 4 Dryden Street. Nearby on the west side of Southey Street were several villas, all of which have been replaced (MMBW 1385 [1905] and 1386 [1904]).



Figures 14 and 15 - MMBW detail plans 1386 (1904, left) and 1385 (1905, right) (SLV). Although dating to the early Federation period, these two plans depict the Victorian period development

The western part of the precinct south of Milton Street was the least developed. There were a few mansions or houses on large holdings including *Ellimo* (demolished) on the east side of Southey Street (MMBW 1396, 1905). Between Mitford and Southey streets, there were mainly large paddocks (MMBW 1394, 1905).

Federation period

Whilst considerable development occurred in the precinct area during the Federation period, little of that construction was undertaken prior to the middle years of the first decade of the 20th century, as captured in the MMBW detail plans of the southern part of the precinct prepared during 1904 and 1905. This was when Victoria was starting to revive after a decade of economic stasis. Subsequently the subdivision of the mansion estates commenced, and other pockets of closer development occurred.

Accessibility of the area increased with the development of the electric tram network. This began with the construction in 1906 of the Mitford Street tram, whose route continued along Broadway. (ME) and the electrification in 1913 of the tram along Carlisle Street and Balaclava Road (TEH, p72).

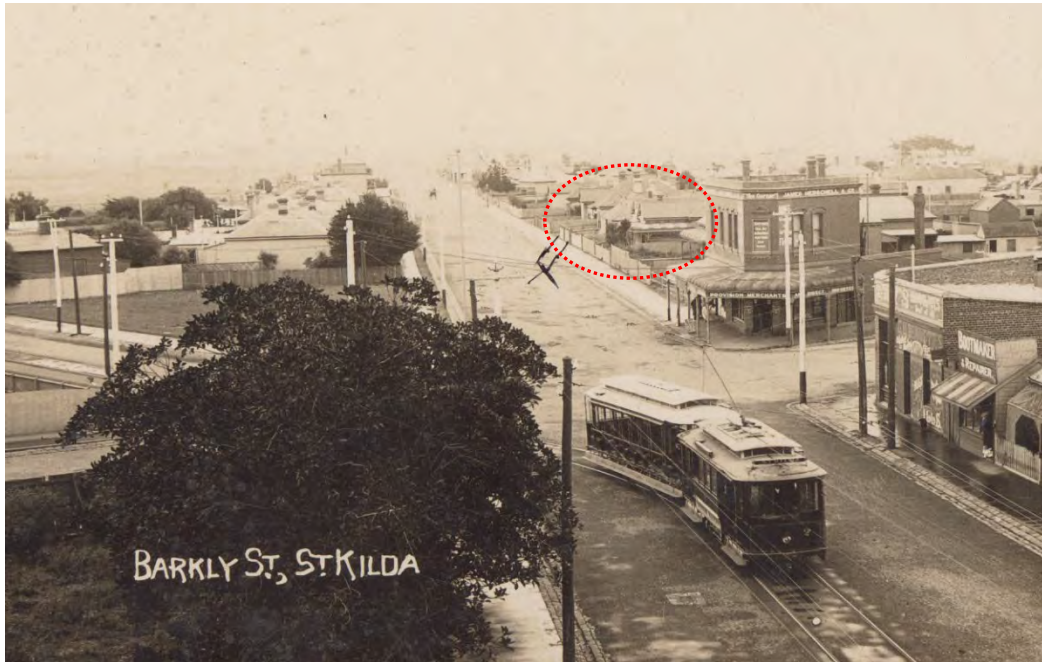


Figure 16 – c.1909, corner of Barkly and Blessington streets, showing the new tram service. Highlighted are 237 and 241-243-245 Barkly Street built on the Baker Estate (Source: SLV, H84.233/195).

The early twentieth century saw a marked decline in the viability of large mansions across Melbourne's suburbs in general, but it was particularly felt in the more affluent inner southern suburbs such as St Kilda and Brighton, where land was highly sought-after by a new generation of homebuilders seeking smaller detached dwellings, duplexes or flats (PPHR, VI, p.34). The trend toward higher-density living in St Kilda began with the conversion of mansions and terrace houses into boarding houses in the early 1900s and continued with the first purpose-built flats that appeared at the beginning of World War I. A 1919 newspaper article noted:

It was held to be no longer necessary to labour with a house and all the domestic drudgery that entailed when by borrowing Continental ideas, people who could afford it could live in flats... Land has become so valuable the villa of the Victorian days, in a crowded thoroughfare, no longer shows anything like an adequate return of interest on the land's present capital value. It is more profitable to pull the house erected thereon down, and to erect flats. When the flat became popular in England the experiment was made in St Kilda, and it did not take long to discover there was a genuine demand for flats (PT 18 October 1919 p4)

Flats first appeared in Melbourne around 1906 and slowly spread to the suburbs. They followed a strong pattern of development, appearing close to transport routes, particularly along or within walking distance of tram routes, to allow easy travel to the city. With their proximity to the beach and parklands, good public transport networks and seaside character, the suburbs of St Kilda and Elwood were especially popular locations for flats. Flats became a dominant characteristic of St Kilda and Elwood, and still make up a high percentage of dwellings in those areas. They include some of the earliest surviving flats in Melbourne, some of the best examples of architectural styles and types of flats, and as a group demonstrate the increasing popularity of the lifestyle of flat living from the early twentieth century (TEH).

Examples of 19th century mansions being repurposed as guest houses and the like include *Whin Bank* (34 Mitford Street), which in the August 1917 edition of *Punch* was advertised as an 'exclusive guesthouse on tram route; spacious grounds; commanding magnificent views'. In the same edition, details of *Ascog* (adjacent to *Whin Bank*, later demolished) and *Hartpury Mansions* – 'furnished rooms, board and residence' at 9 Milton Street – were provided (*Punch* 30 August 1917 p2).

Many subdivisions of the mansion estates were undertaken in the precinct area during the Federation period and during World War I, with development typically occurring soon after. The details of some are outlined:

- 1908, Chesterfield Estate - 7 lots opposite the Botanical Gardens in Dickens Street, with the mansion being lot 1. The lots were developed with houses, later replaced with the extant blocks of flats.

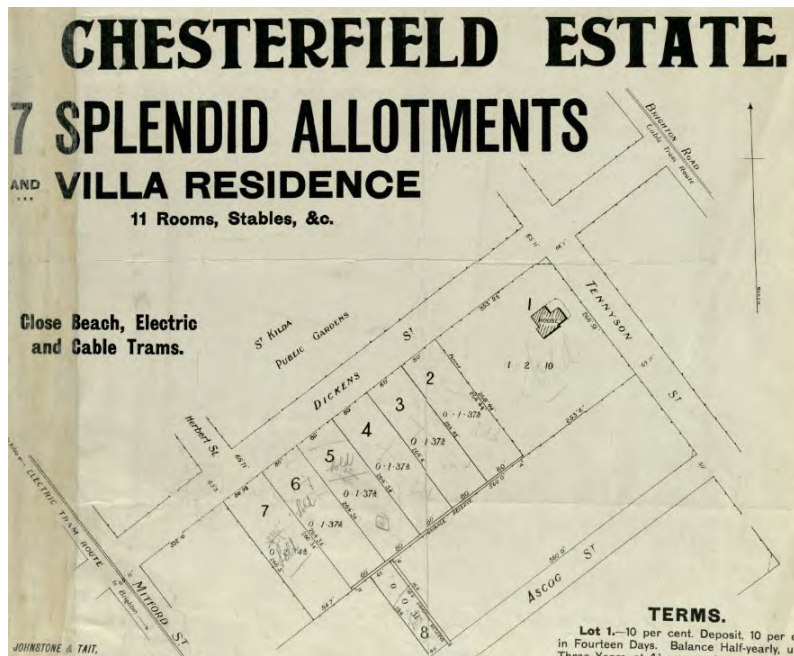


Figure 17 - 1908 subdivision of the Chesterfield Estate on Dickens Street. Lots 2-7 equating approximately to nos 27-35. (Source: SLV, va002325)

- 1908, Ascog Estate - unsold allotments were offered (Age 12.08.1908 p2). This subdivision was comprised of 29 allotments and established Avoca Street (initially Ascog Street).



Figure 18 – Ascog Estate subdivision, phase 1 of 1908 (Source: SLV, va002318)

- 1909 Corinella Estate: west end of Mozart Street. In May 1912, Whelan the wreckers was offering all the building fabric of the 50-room mansion including 50,000 bricks, doors, sashes, and timber boards (deal – fir or pine) (*Age* 25.05.1912 p10). In August of that year, 'building blocks' were being offered for sale (*Herald* 16.08.1912 p6). Almost all lots in Mozart Street were built on by the end of World War I.
- 1911, **Hartpury** Estate - 25 lots to Milton, Tennyson streets [nos 58-78], and Hartpury Avenue [nos 2-14, probably 13-25] offered at auction, at which 12 were sold (*Argus* 04.12.1911 p5). Considerable development had occurred by 1915 (SM).
- 1915, **Ravelston** Estate – 17A Tennyson Street. 12 allotments offered in Browning, Milton and Tennyson streets in late 1915 (*Argus*, 18.09.1915, p2). When the mansion was sold in 1921, it was on 1.5 acres of land (*Argus* 26.11.1921 p2). Most sites were developed by 1918 (SM).
- 1916, Sydenham Estate – Brighton Road (Hennessy Avenue, east end), 16 lots, (*Argus* 02.12.1916 p2). Five houses were built in 1917, and a further six during 1918-20.
- 1916, **Rotherfield** Estate – originally addressed Tennyson Street, now located at 14 Hennessy Avenue, after the owner J C Syme died in 1916. Relates to the west end of Hennessy Avenue and adjacent part of Tennyson Street, which was developed during the 1920s and 1930s.
- Circa 1917 - Wimbledon Avenue, developed during the 1920s and 1930s.

Other subdivisions not relating to mansions include:

- Baker Estate, from 1900, included land on the west side of Barkly Street south of Blessington Street. It was developed soon after as evident in a circa 1909 image (above).



Figure 19 - Baker Estate, northern part (1900), showing extent within precinct. (Source: SLV Batten & Percy collection)

- 1907, Carlisle Street – 7 lots on the north side between Barkly and Greeves streets. By 1910, most of the extant houses, villas and terrace rows at 30, 40-48 Carlisle and 41-43 Greeves streets had been constructed.
- 1910, 7 allotments at corner of Southey and Milton streets (*Age* 17.12.1910 p3).

- 1910s, Irymple Avenue; possibly in two phases – northern and southern parts. A contract for the construction of the street was issued by the St Kilda Council in late 1918 (*Prahran Chronicle* 12.10.1918 p5)
- 1910 to 1914 (P, S226-01), the area west of Mitford Street to Barkly Street was a government subdivision. A section on the east side of Mitford Street, south of the corner with Milton Street, comprised of 5 small allotments was sold in March 1912, one in 1947.

Among other subdivisional developments that occurred during the 1910s was the north side of Mason Avenue (previously Moy Street) and the block at the south end of that street (nos 39-45) where it backs onto Tennyson (nos 84-90) and Byron (nos 26-30) streets. The latter group of 11 buildings were designed and constructed by a C H Marsham (SM, BP). Also Gordon Avenue, which had been established by 1908 according to a tender for 'forming and channelling' (*Argus* 11.11.1908 p3), was mostly developed between 1912 and 1915 (SM).

Among the Victorian period houses being converted to flats was the pre-1873 house at 74 Blessington Street. By 1915, when the address was no. 64, it had been converted to flats (SM). In 1918, it was however enlarged to accommodate six flats by the architects Sydney Smith & Ogg (*Herald* 20.06.1918 p14), whilst Sydney F Smith was residing there. The building may have been single storey initially (MMDB).

Some of the other early blocks of flats in the precinct area are also located on Blessington Street, as well as on Mitford/Southey streets, along or near the new tram route. They were likewise designed during the mid to late 1910s by noted architects who were active in the municipality: Joseph Plottel (**Clarendon**, 26-28 Blessington), H R Lawson (**Clairvaux** at no. 44, and 46 Blessington), W A Tombs (**Birnam**, 15 Mitford Street), Schriber & Jorgenson (73-75 Mitford Street), and J J Meagher (13 Southey Street).

The shopping centre on Brighton Road expanded and the extant buildings were mostly erected by 1915, except for nos 71-77, which were constructed during the Interwar period.

Interwar Period

There was immense growth in flat development across St Kilda and Elwood during the 1920s and 1930s, attracting migrants, single people, and people of diverse sexuality. In 1920 there were 527 purpose-built flats in 92 blocks in St Kilda municipality. By 1925 this had increased to 884 flats in 164 blocks, including large complexes such as the Ardoch flats in Dandenong Road. By 1935, despite a slowing of development due to the Great Depression, there were more than 2,800 flats in over 500 blocks. A further 2,000 flats were added by 1940; however, the onset of World War II slowed development. Nonetheless, by 1947 St Kilda contained 5,500 purpose-built flats, a quarter of all flats in Melbourne (TEH).

An early aerial of the area of 1924 (Figure 20) shows much of the precinct area (as far south as Milton Street). Considerable development had occurred, but several large holdings remained intact. By that time, Foster Avenue had not been created but most of the extant buildings in Irymple Avenue and Mozart Street had been erected. The east end Hennessy Avenue is evident but not the west end or Wimbledon Avenue. Victorian period mansions and villas remain opposite the Botanical Gardens along Tennyson Street, with **Himalaya** at no. 10 not yet remodelled, and Dickens Street, though the late Federation period house at the corner of Mitford Street (**no. 32**) is evident. The subdivision of **Hartpury** on Milton Street was complete.



Figure 20 - 1924 aerial (SLV, E Ebell, H91.365/3)

A circa 1925 aerial (Figure 21) of the north-east corner of the precinct provides further detail. The group of Federation and early Interwar period houses on the south side of Blessington Street between Tennyson Street and Irymple Avenue are evident. Only the south-east corner of Irymple Avenue was vacant (later the attached group, nos 15-19). Mozart Street to the south had been fully developed.

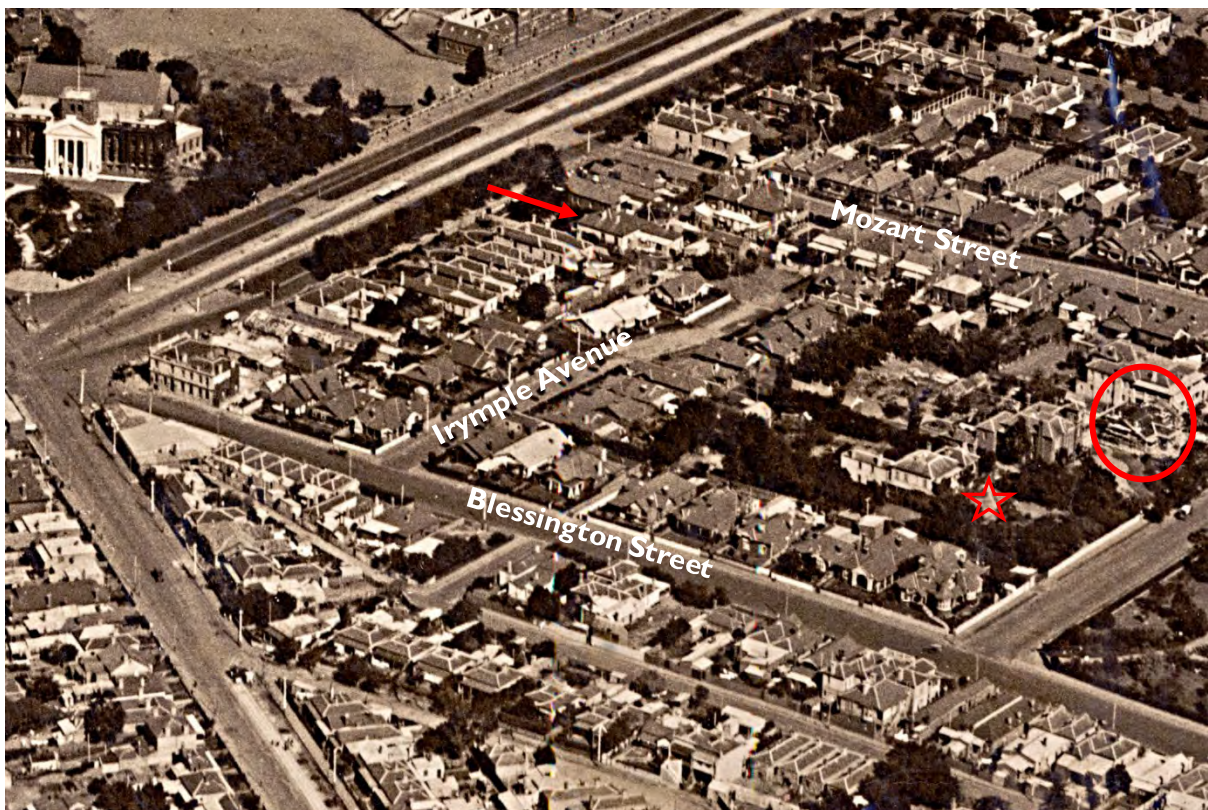


Figure 21 - Circa 1925 aerial (SLV, W R Garrett, H98.129/21). The house at 27 Brighton Road is evident before the extant flats were built in front of it (arrow) and the mansion on from which Bundalohn Court was mainly created still stood (star). The new house at 8 Tennyson Street is also evident (circled).

Subdivision continued during the 1920s but at a less frantic pace than the 1910s. In 1927 Bundalohn Court and 2 and 4 Tennyson Street were created by the subdivision of an unnamed mansion and the rear part of **Bundalohn**, with the subdivision being known as the Bundalohn Estate (PT 16.09.1927

p6). By this time, the southern-west portion of Bundalohn had been subdivided to create 8 Tennyson Street, on which a house had been built.

A range of street improvements were agreed to by the Council in 1929. Oriental (long) planes were to be introduced along the full length of Tennyson Street and the same species was to replace the pre-existing elm trees in Dickens Street. It was also recommended to introduce 'grass lawns on the outer sections of footpaths' (PT 07.06.1929 p2). By the late 1930s, ash trees were being employed, often replacing some existing species which had been deemed unsuitable by Councils parks and gardens committee (Age 18.08.1938 p14).

A 1931 aerial (Figure 22) shows some original estates not yet built upon, for instance Bundalohn Court, although it had been offered for sale four years prior. Also, the four Milton tennis courts are evident (now 2 Southey Grove site), which were established by 1926 (Record 24.07.1926 p7).



Figure 22 - 1931 aerial. Remaining large holdings highlighted in the precinct – Bundalohn (1), Chesterfield (2), Ascog (3) and Evora (4), and the Milton tennis courts (5) (Source: Landata, Project No. 1931, Run 15, Frame 2750)

In 1936, the second phase of the subdivision of the Chesterfield holdings (mostly demolished post-World War II) included eight allotments, being 23 and 25 Dickens Street, all of Garden Court, and 1

Tennyson Street (*Herald* 07.03.1936 p38). The rear part of *Chesterfield* was retained at 1A Tennyson Street and flats were erected between 1936 and 1940 on all the new lots in Garden Court and at 23 and 25 Tennyson Street.

By 1939, zoning laws were operating in the St Kilda Council area outlined in six schedules, most of which provide for 'brick or stone construction, ... stipulating one, two or three stories as a maximum. Another regulation, to prevent possible development of slum pockets, prohibits new buildings in certain streets' (Age 05.12.1939 p4).

The final subdivisions in the precinct resulted in the creation of two further courts at the end of the Interwar period. Phase two of the Ascog Estate yielded nine further lots in 1939, creating Avoca Court (Age 22.11.1939 p12). Items from the estate being offered for sale in late 1938 were the 'imposing iron entrance gates which were imported from Glasgow many years ago, a massive carved walnut buffet, and a Sheraton rosewood mantel' (*Herald* 06.12.1938 p4). The subdivision of Southey Court into six allotments occurred in the following year (*Herald* 06.11.1940 p12). Flats were quickly built on all the lots in both subdivisions during 1939-40.

The following 1945 aerial (Figure 23) captures much of this development. It shows Garden Court fully developed, but *Chesterfield* still standing at the corner of Dickens and Tennyson streets. All the flats in Avoca Court and the adjacent blocks on Mitford Street (nos 2-6A) had been erected except for 2A Avoca Street. All of Southey Court had been developed except the two blocks of flats flanking its entry (40 and 44 Southey Street).

A multitude of architects were commissioned to design buildings in the precinct during the Interwar period, especially from the late 1920s onwards when blocks of flats accounted for much of the construction. Among those responsible for more than one building in the precinct include (refer to Description for further details): I G Anderson, J H Esmond Dorney, Bernard Evans, B S W Gilbertson, Archibald Ikin, Harry R Johnson, Walter Mason, W H Merritt, S & M S Nelson, Leslie J.W. Reed, Edwin J Ruck, and James H Wardrop.

Many builders were also designing good examples in the contemporary styles, although usually less stylistically pronounced than their architect counterparts. Both Sinclair & Yoxon and J H Soderberg are known to have constructed more than one building in the precinct. Soderberg was especially prolific - in the 1920s he constructed (and likely designed) no fewer than six blocks of flats on adjoining sites including Santa Fe (1928) and Las Palmas (1929) in Mitford Street, Diana Court (1927) and Knights Court (1927-28) in Dickens Street, and Kingsford Court (1928-29) and Silverton (1928-29) in Ruskin Street.

Given the great number of known architect and builders who designed buildings from this period, details of the relevant designer and date of construction are generally provided in the description section rather also being repeated in the history.



Figure 23 - 1945 aerial. Courts established during late 1930s highlighted – Garden (1), Avoca (2) and Southey (3) – as well as the Milton tennis courts [arrow] (Source: Landata, Project No. 5, Run 16, Frame 57850)

The aerial of 1946 (Figure 24) shows the contemporary circumstance at the north end of the precinct. From this viewpoint, the Interwar period development is evident in Foster Street, the various blocks of flats to the west side, and the bungalows to Foster Avenue. All of Bundalohn Court had been developed except the block of flats at no. 5.



Figure 24 - January 1946 aerial of north end of precinct (SLV, C Pratt, H91.160/464)

Post-World War II

After World War II, there was a massive demand for housing fuelled by population growth and a housing shortage, but the permit process was a limiting factor and it was not until the mid-1950s another boom in flat-building began. Changes to building codes and the introduction of company title (and later stratum and strata-title) enabled flats to be sold individually as 'own your own' units (TEH). There was no further subdivision in the area with the new blocks of flats usually replacing an earlier building on a large allotment of which there are many in the precinct area.

In a 1956 article entitled 'St Kilda Grows as Flat Centre' the zeitgeist was well articulated (*Argus* 27 April 1956 p17):

In recent years the major portion of new building work in St. Kilda has been in flats, and this will continue.

The district can still do with many more flats to meet the demand of the big floating population associated with a quickly growing city like Melbourne. St. Kilda has all the advantages for flat life of a big city. It is well-served by transport from and to the city – less than four miles distant. Shops have developed to meet the needs of "flatites;" and there are now numerous cafes serving meals at all hours.

Real estate agents have- waiting lists of tenants for flats and apartments of all kinds. ... A feature of real estate activity in St. Kilda at present is the sale, of "own-your-own" flats. Since it has become possible for each flat owner to have a certificate of title, sales have been made more freely.

The buildings which are being subdivided in this manner must be of modern construction with concrete floors, and comply with certain regulations.

Between 1961 and 1971, flats increased from 38% to 62% of all dwellings in St Kilda. The boom in flat building saw St Kilda's population increased by 10,000 people at a time when the populations of other inner-city suburbs were declining (TEH).

Of the architects designing flats, the Australian-born Bernard Evans remained active in the area (he had been building flats from the 1920s and in 1949 he designed the Georgian Revival style Deansgate, a block of 29 'minimum' flats with a communal restaurant and laundry at 9 Southey Street), however émigré architects took over the mantle during this period especially Ernest Fooks (originally Fuchs, Slovakia born and educated in Vienna), Michael R E Feldhagen (Polish-born, German trained), and Kurt Popper (Viennese born and trained).

The émigré architects designed prolifically for a mostly Eastern European migrant clientele from the expanded Post-war Jewish community in St Kilda, injecting the area with a European-influenced modernism. Often, flats replaced earlier houses for instance, most of *Chesterfield* at the south-west corner of Dickens and Tennyson streets was demolished with Feldhagen responsible for the flats at 21 Dickens Street and Fooks for no. 21A adjacent. Further along Dickens Street, Popper designed Dickens Park at no.27.

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3.0 Description

General

The large precinct is bound to the north by Carlisle Street, to the east by Brighton Road, to the south broadly by Byron Street, and to the west generally by Mitford Street and Broadway. The topography is generally flat with the highest point in the precinct being in the Botanical Gardens near the intersection of Dickens and Tennyson streets, from which the land slopes to the south-west.

The precinct is overlaid with a series of primary and secondary streets. The former, defined on the Parish Plan, are limited to Carlisle, Blessington, Dickens, and Milton streets (from north to south); and Barkly, Mitford, Southey, Tennyson streets and Brighton Road (from west to east). All the remaining streets have come about through subdivision. The secondary streets - Avoca Avenue, Gordon Avenue, Mozart Street - were established by the end of the Federation period, though Mozart Street had been part established during the Victorian period. The courts (Avoca, Bundalohn, Garden, Southey) date to the Interwar period phase of subdivision, generally relating to the last vestiges of the mansion estates. Generally, the carriageway surface is asphalt, and the channelling and kerbing is basalt. Footpaths are either asphalt or concrete with the exception being gravel to Irymple Avenue. Crossovers are mainly concrete.

The street planting varies but London Planes are the most common type (e.g. Broadway, Irymple Avenue, Blessington, Dickens, Mitford, Southey, and Tennyson streets). There was a preference for Desert Ash during mid-20th century in the municipality (AL, pp 127, 161), which is evident in Avoca and Foster avenues, as well as parts of Brighton Road. Other species include paperbarks in the western end of Wimbledon Avenue.

The 6.4-hectare Botanical Gardens is located centrally within the precinct. The Gardens contain significant landscape features and structures from the Victorian, Federation and Interwar periods, such as the central north-south axial avenues between Blessington and Dickens Streets, including the unusual alternating palm avenue, the central crescent shrubberies and bedding displays, and the Blessington Street gates (1918). Some of the mature specimen trees are rare or among the finest of their species in Victoria.



Figure 25 - F L Dawkins reserve

There are two reserves near each other on Broadway – F L Dawkins and E C Mitty - both of which were named after local Councillors. Planting is evident on the 1945 aerial and most of these specimens survives. The former reserve is much larger and contains exotics primarily Canary Island

Date Palms (*Phoenix canariensis*), London Planes (*Platanus × acerifolia*), and ash. There are only palms to the latter reserve.

The precinct has contributory buildings from four key periods: Victorian, Federation, Interwar and Post-World War II. The buildings are nearly all residential but range in scale from cottages to mansions, with a high percentage of flats, and are either single, two or three storeys. Brick is the predominant wall material though the few timber examples date to the Victorian and Federation periods. Visible roofs are mostly clad in slate or tiles, with metal sheeting primarily reserved Post-WWII period buildings with flat roofs. The openings (windows and doors) are generally timber, with some steel-framed from the mid-20th century.

Victorian period

There are scattered examples from the Victorian period across the precinct, though concentrated at the northern end and eastern edge, Brighton Road, and nearby sections of the cross streets. In terms of scale, this period has the greatest variety of building stock from the humble to the grand.

The precinct retains several relatively early examples from the Victorian period, dating to the mid-1850s to early 1870s at 27 Brighton Road, 2 Wimbledon Avenue and 26, 55, 58 (and possibly 60) Carlisle, 3/3a Mitchell, 55 and 74 Blessington, 9 Milton, and 17A Tennyson streets.

Most of the houses are generally indicative of the Italianate style regardless of the wall material or finish - timber, face brick or render. There was a shift to face brick towards the end of the 19th century - either bi-chrome (brown with cream highlights) or polychrome (also with some red). Whilst an asymmetric façade with a tower or another feature would define the larger examples, classicising decorative elements were standard. These included parapets with pediments, bottled balustrading and urns or similar; cornices with brackets and panelling; and mouldings to windows, such as keystones if arched. Within terrace groups, name plates and wing walls with brackets were common. Roofs are typically hipped, clad in slate, and chimneys (face brick/or and rendered) have moulded caps. Verandahs with cast iron detailing (fluted columns and friezes) were typical - offset to an asymmetric façade and across the width if a symmetrical façade - also with cast iron balustrades to the two storey examples. Windows were timber-framed, almost exclusively with double hung sashes, with those to the façade often having a tripartite configuration (wide central sash with narrow flanking side sashes, separated by columns). Front doors were always timber and panelled (either four or six). Only a few places retain an original cast iron palisade fence on a basalt plinth.

Only a few timber houses survive from the Victorian Period in the precinct. They usually have more detailed cladding to their facades, with standard weatherboards to the other walls. The verandahs to some have been modified.

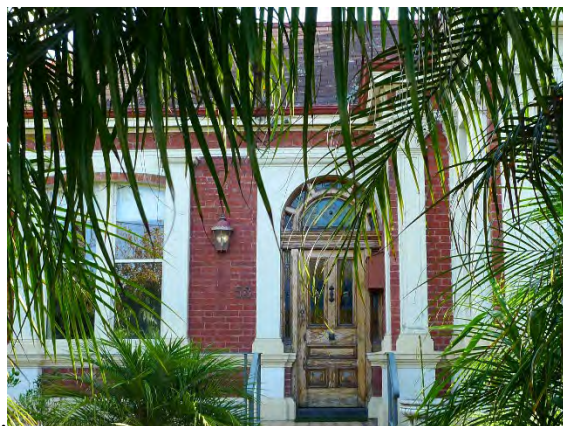
- 32 and 52 Blessington Street: villas with channelled boards or the like to their facades.
- 73 Carlisle Street: symmetrical villa with ashlar boards, large tripartite windows, roof cladding altered.
- 22 Dickens Street: ashlar boards with quoining, pilasters to the windows. (Figure 27)
- 4 Dryden Street: gable end cottage with cast iron fringe.
- 46 Milton Street: with a projecting bay and distinctive timber frieze to the verandah.
- 12-18 Mitchell Street: a varied group but all retaining their chimneys.
- 39-43 Smith Street: three timber cottages with ashlar boards. (Figure 26)



Figures 26 & 27 - 39-43 Smith Street (left) and 22 Dickens Street (right)

Among the single storey brick villas, some of the more distinctive examples are:

- 50 Blessington Street: bi-chrome, tiling to a broken bed gable end. (Figure 28)
- 55 Blessington Street: an early example, bi-chrome brick, although largely obscured, the apex of pointed Gothic arch mouldings to the windows are evident.
- 49 Brighton Road: incised patterns to the render, inset barley twist columns to the windows.
- 51 Brighton Road: rusticated pilasters, band of vermiculation.
- 53 Brighton Road: gable end, red brick with elaborate rendered settings to openings, and cast iron palisade fence. (Figure 29)
- 6 Dickens Street: tower over projecting bay, small gable end over verandah, inset barley twist columns to the windows, non-original cast iron fence.



Figures 28 & 29 - 50 Blessington Street (left) and 53 Brighton Road (right)

Other brick villas are located at 42, 58 and 62 Blessington Street; 113 Brighton Road; 51, 55 and 67 Carlisle Street; and 2 Dryden Street.

There are a few terrace groups, mostly pairs located at:

- 35-37 Brighton Road: two storey, rendered, arched windows to ground floor, cast iron fence to no. 35.
- 45-47 Carlisle Street: two storey, rendered, cornice with festoons. (Figure 31)
- 2-8 Milton Street: group of four, two storey (Milton and Elgin terraces), parapet with triangular pediments, cast iron fences retained to nos 4 and 6.



Figures 30 & 31 - 64-66 Blessington Street (left) and 45-47 Carlisle Street (right)

There are several mansions or substantial two storey houses, many of which have undergone some change and have been converted to flats.

The early mansions are as follows:

- 55 Brighton Road: obscured but partly altered to the front.
- 53 Carlisle Street: symmetrical façade, rendered, paired sashes to lower level, converted to flats.
- Barnesfield/Ingleside, 3/3A Mitchell Street (c.1860): altered, rendered, two level timber verandah to west side.
- **Hartpury**, 9 Milton Street (1865-66, prob. Crouch and Wilson, **PPHR 2098**): channelled render, two storey verandah, converted to flats.
- **Ravelston**, 17A Tennyson Street (1870, J F Matthews, **PPHR 371**): setback from the road and obscured, converted to flats.
- 2 Wimbledon Avenue (1869, **PPHR 2299**): rendered with vermiculated quoining and two-level cast iron verandah, gable roof addition, converted to flats.

The largest and/or more elaborate mansions generally date to the later part of the 19th century (mid-1870s to 1890s):

- **Himalaya**, 10 Tennyson Street (1878, Smith and Johnson, **PPHR 932**); Italianate style concealed by Interwar period (1920s) two level masonry porch.
- Oberon, 3 Dickens Street (by 1890): rendered with quoining, partly altered.
- **Rotherfield**, 14 Hennessy Avenue (David Askew, 1890-91, **PPHR 336**): rendered with cast iron columns to the two-level loggia, converted to flats.
- Whin Bank, 34 Mitford Street (1875-76, J A B Koch and 1890-91, Richard Speight): a combination of Italianate and Queen Anne styles - rendered, two-level arcaded corner loggia with differing columns, slate clad hipped roof. Gable ended bay with Queen Anne style elements including the eponymous sills, pediments over windows, strapped chimneys. Converted to flats. (Figure 33)



Figures 32 & 33 - 55 Carlisle Street and Whin Bank, 34 Mitford Street

There are a few examples of the Anglo-Dutch style, which evolved at the end of the 19th century from the English Queen Anne Style, which became popular in England from about 1870. At this time, architects sought inspiration from the domestic architecture of the late 17th and early 18th century during the reigns of the monarchs William of Orange/III (reigned 1689-1702) and Mary, and subsequently Queen Anne (reigned 1702-14). The style that developed was greatly influenced by precedents from the Low Countries (Belgium and the Netherlands) resulting in an architecture of fine brickwork with Dutch gables (a gable surmounted by a pediment) at the roofline and some Renaissance detailing, which was often freely interpreted. In Victoria, red brick was favoured in combination with cement dressings, ornamentation in either brick or terracotta and timber sash windows. The interest in the architecture from the Low Countries permeated more broadly in that much of the brickwork at this time was highly decorative – bichrome or polychrome – usually in Flemish bond (alternating headers and stretchers), and often featured characteristic diamond patterning.

- 2-4 Mozart Street (**PPHR 2119**): an unusual Anglo-Dutch style pair with pedimented gables, red brick and rendered bands, timber detailing to the verandahs. The original terracotta tiles to the roof would have been an early use of this material (the French Marseilles type), but they have been replaced.
- **Bundalohn**, 6 Tennyson Street (Reed, Henderson and Smart, 1884-5, **PPHR 2154**): distinguished design, red brick with rendered trim but largely devoid of classical detailing, tower. Influence of the Queen Anne style
- 64-66 Blessington Street: single storey, Flemish patterning to the polychrome brickwork (overpainted to no. 66), rendered parapet with segmental arched pediment.

Among the few commercial buildings from the Victorian period in the precinct, is a row of six shops at 91-101 Brighton Road (Figure 34), displaying a variety of moulded elements typical of the period including keystones to the arched windows (single or paired), string moulding with acanthus leaf or the like, and parapet with overlapping circular motif.



Figure 34 - 91-101 Brighton Road

Federation period

The variety among the Federation period building stock is less pronounced than from the earlier Victorian period though nonetheless ranges from modest to substantial examples. Whilst there are examples throughout the precinct, much of the housing in some of the through streets such as Mozart Street and Gordon Avenue date to this period, as well as parts of other streets such as the southern end of Tennyson Street (nos 58-75) and southern side of Avoca Avenue.

Whilst the Queen Anne style was standard for most of the Federation period, during the early 1900s, there was some remnant use of characteristics usually associated with the Victorian period – either the Victorian Survival style or a Transitional mode.

Victorian Survival style buildings are largely Victorian in their appearance. They typically have a slate clad roof but often with a terracotta ridge. Windows are often longer and paired to the front. There is an example at 237 Barkly Street

Transitional mode buildings combine characteristic elements of both the Late Victorian and Federation periods. Elements indicative of former include classicising/Italianate details such as a chimney with a rendered cap, a cornice with decorative brackets, the use of vermiculation or rosettes to panels or a band, and/or a verandah with cast-iron frieze but with turned timber posts, and a bullnose roof. The buildings however are red brick construction in stretcher bond with white tuck-pointing indicative of the Federation period. The chimneys might be tall and faceted with corbelled caps and have gable ends with a finial, battening and/or a timber screen. The highly intact and distinctive group of three at 44-48 Carlisle Street (Bondi, Como and Manly) and pair at 41-43 Greeves Street are indicative of this type. They are linked by a consistent rendered band with rosettes and same tiling (terracotta and cream) and nearly all retain slate roof cladding.



Figures 35 & 36 - 44 (left) and 46 (right) Carlisle Street

The Queen Anne style is readily identified by picturesque roofscapes, typically consisting of a front gable end with gambrel or hipped sections behind, having a steeper pitch than 19th century roofs, and exposed rafter ends. More complex versions might include a turret or other corner accent, often diagonal. Roofs are clad in either terracotta tiles or slate with terracotta ridge tiles. The terracotta ridge tiles are often decorative and terminated with a finial. Chimneys are red brick with rendered or corbelled brick caps, typically with terracotta chimney pots. For the most part, masonry walls are of tuck-pointed red brick with some areas of render, either smooth or roughcast, such as a band or the upper part of the wall/gable end. Timber-framed examples often have some shingled boards and/or sections with roughcast sheeting to the walls and timber decks but otherwise the same detailing/material palette as their brick counterparts, although the roofs may be clad in corrugated metal sheeting.

Timber detailing was favoured to gable ends and verandahs. Verandahs were supported by turned posts and geometric patterns were employed to the friezes, usually timber (fretwork) though cast iron friezes are not uncommon (though typically wider than the 19th century type). Decks are often tiled decks with terracotta and cream (or a contrasting dark) tile. Front windows, often including a bay, were predominantly casements with toplights, often with some leadlight and decorative glass with floral motifs, the latter reflecting an Art Nouveau influence. Hoods and porthole windows or similar were also common. Front doors usually include an upper light and panelling to the lower part.

Overall, the aesthetic is less formal than the late 19th century and reflective of the tenets espoused with the Arts and Crafts Movement, with its emphasis on the employment of 'local/natural' materials.

There are fewer timber examples in the precinct than brick. These include several cottages in Dryden Street, with no. 16 being distinguished by cross-battening and a few at west end of Dickens Street - no. 34 has a slate roof and no. 36 has a symmetrical façade with gable ends flanking a central porch. The mirrored pair at 8 and 10 Hartpury Avenue have shingled boards to the dado and roughcast sheeting above, whilst those at 241-243 Barkly Street have roughcast finish to the gable end, ashlar boards below, and a cast iron frieze. There are a few timber villas such as in the middle section of Gordon Avenue (nos 8, 9, 10), west end of Dickens Street, at 2 Hartpury Avenue, and 35 and 37 Milton Street.



Figure 37 - 16 Dryden Street (left) and 8 Gordon Avenue (right)

There are several clusters of brick Queen Anne style houses of varying scale in Blessington Street (east end, south side), Southey Street (just north of Milton Street to Gordon Avenue), and Tennyson Street (south of Milton Street). Gordon Avenue and Mozart Street also mainly contain Federation period housing. Other smaller pockets, generally of modest-scaled villas, survive on the east side of Browning Street and at the west end of Dickens Street.

There are many groups of semi-detached brick pairs, including much of Gordon Avenue where several pairs have a decorative timber frieze at the entry and a central bay (round, square, faceted) featuring stained glass to the highlights. Nos 1-3 and 5-7 have slate clad roofs. The group of houses (some paired) at 1-13 and 6-8 Mozart Street, with their highly distinctive bi-chromatic patterned brickwork to the dado and/or frieze with vertical bands of dogtooth or recessed brickwork. Other groups are also located at 7-17 Dryden Street, 15-21 Hartpury Avenue, the south-east corner of Milton/Southey Streets, 44-62 Mitford Street, and 15-29 Smith Street. However, there also scattered examples/smaller clusters throughout the precinct (e.g. 153-155, 165-167 Brighton Road and 60-66 Tennyson Street).

A few houses throughout the precinct retain original red brick fences, typically having a rendered coping and raked slots (e.g. 42 Carlisle, 22 Mozart and 28 Tennyson streets).

To Blessington Street, there are generally larger Queen Anne style villas:

- No. 57 (1910, **PPHR 428**): with archetypical candle snuffer roofed tower over a circular bay.
- No. 63: featuring cast iron detailing to the verandah and hood.
- No. 78: unusual symmetrical façade.
- Nos 59, 65, 67 also good examples.

To Southey Street, are also mostly substantial villas:

- No. 18 (c.1910): a slate roof with mitred ridges, curvilinear strapwork.
- No. 34: slate roof and paired brackets below the gambrel roof section.
- No. 36: terracotta clad hood and verandah with a small projecting gable at the entry. (Figure 38)
- No. 37 (1916, W H Smith, **PPHR 922**): picturesque attic roof, corner turret.
- Nos 35 and 41 also good examples.



Figures 38 & 39 - 36 Southey Street (left) and 29 Tennyson Street (right)

Tennyson Street, especially between Milton Street and Hartpury Avenue, forms a distinctive group from the period:

- No. 12: with large rising sun motif to gable end with unusually wide projecting roof.
- No. 29: picturesque roof with the tall chimneys being an exemplar of their type. (Figure 39)
- No. 58 (c1915, **PPHR 936**): vertical proportioning suggests the influence of the American Stick style. (Figure 40)
- Nos 60-62, 64-66: two pairs with cream brick banding and wide roughcast rendered coving above the bay windows. (Figure 41)
- No. 70: wide splayed corner to verandah, oval windows, cream brick banding
- Nos 10, 14, 16, 24, 27, 68, 72 and 74: all good examples.



Figures 40 & 41 - 58 Tennyson Street (left) and 64-66 Tennyson Street (right)

Other distinctive Queen Anne style examples throughout the precinct include:

- 233 and 235 Barkly Street: mirrored pair with cream brick to the banding and arched lintels, windows with turned semi-engaged columns and double-hung sashes.
- 2 Broadway: squat tower with circular bay and roof lined in metal sheeting.
- 30 Carlisle Street: extensive narrow hood, tall chimneys and distinctive timber frieze to the porch.
- 42 Carlisle Street: notable terracotta ridge cresting and retains original fence.

-
- 18 Dickens Street: square tower with pyramidal roof.
 - 6 Hartpury Avenue: polychrome with cream banding with a brown highlight, two porches.
 - Mozart Street: no. 18 with central porch and flanking wide curved bays; no. 24 plain posts/columns to the verandah.

During the latter part of the period, that is the mid to late 1910s, the Arts and Crafts and Federation bungalow styles were common. Most of the buildings in these two styles are located near aforementioned Queen Anne examples.

Arts and Crafts style residences are generally distinguished from the Queen Anne style examples by the extensive use of roughcast render, battened chimney forms, and shingles. Whilst gable roof forms are employed, they are less elaborate, often singular and often incorporate an attic level. Timber shingles are usually also employed, to the gable ends and/or a bay, and windows might be double-hung sashes rather than casements with diamond quarrels or the like rather than Art Nouveau inspired glass. Examples include:

- 245-245A Barkly Street (1914, Richardson & Wood, **PPHR 192**): an attached two storey pair.
- 48 Blessington Street (1918, Gawler & Drummond **PPHR 426**): is a relatively early example of Old English influence.
- *Eumana*, 76 Blessington Street (1914, **PPHR 297**): has scalloped terracotta tiles to the gable end.
- 57 Dickens Street (1916, designed/constructed by builders Trencher & Stevens). Substantial attic bungalow with Tuscan order columns to the corner porch.
- 10 Hennessy Avenue (1918, Sloan & Goss): corner arched porch, shingles to gable ends and bay windows.
- 11 Hennessy Avenue (1918, Carleton & Carleton, **PPHR 2014**): distinctive chimney and side gable. (Figure 42)
- 40 Milton Street: square quarrels to upper sashes.
- 20 Mitford Street (1918, Edwin Ruck): symmetrical façade with central gablet to porch and flanking bowed bays.
- 13 Tennyson Street: box-framed windows with square quarrels.
- 17 Tennyson Street: singled skirt to gable ends, distinctive chimney detailing.

Within the precinct, the Arts and Crafts style is associated with several early blocks of flats:

- *Clarendon*, 26 Blessington Street (1915, J Plottel, **PPHR 427**): multi-paned sashes, unusual with an internal stair.
- *Clairvaux*, 44 Blessington Street (1917, H R Lawson, **PPHR 425**): diamond quarrels to the sashes.
- 46 Blessington Street (1917, H R Lawson): has a restrained, symmetrical façade and an enclosed stair.
- *Bimam*, 15 Mitford Street (1914, W A Tombs, **PPHR 41**): recessed balconies, semi-circular arch to upper level.
- 13 Southey Street (1917, J J Meagher): shingled skirt to front bay, original fence.



Figures 42 & 43 - 11 Hennessy Avenue (left) 44 Blessington Street (right)

The group of small houses built by C H Marsham at 39-45 Mason Avenue, 86-90 Tennyson Street, and 26-30 Byron Street dating to 1916 and 1917 reflect either Arts and Crafts and/or bungalow style characteristics. Several details are repeated across the group such as the window type/s and distinctive curve to some of the porches.

Whilst Federation Bungalows display several features continuous with the Queen Anne and/or Arts and Crafts styles, their less complicated, broader gable roofs reflect the rising interest in the bungalow type. They typically have masonry elements to a porch/verandah with either full height Tuscan order columns or shorter versions on a pedestal or plinth wall. Gable ends feature timber shingles or the like rather than a roughcast finish and battening. Windows are more likely to be double-hung sashes than casements. Examples of the Federation Bungalow style include:

- 163 Brighton Road: wide fluted columns, distinct chimneys, toothed profile to lower edge of gable end.
- 44 Dickens Street: pedestals and splayed timber posts.
- 12 Hennessy Avenue (1918, Sloan & Goss): two porches with short columns with a plain cylindrical shaft and squared capital on a pier. (Figure 44)
- 32 Mitford Street, Marks House (1917-18, Ballantyne & Hare): paired columns to the verandah, whose roof is continuous with the main part of the building, intact balcony. (Figure 45)
- 5 Tennyson Street: red brick with splayed timber frieze above brick balustrade, matching fence.



Figures 44 & 45 - 12 Hennessy Avenue (left) and 32 Mitford Street (right)

Unusually, there are some early examples of the use of concrete in the residential domain in the precinct at 2-6 Browning Street (1912-13, likely built by Verney Alexander Wilson, **PPHR 2325**) and 21 Mozart Street (1915, F W Thomas, **PPHR 744**). Another notable building – a block of flats

at 73-75 Mitford Street (1917, Schreiber & Jorgensen, **PPHR 353**) - is an early example of the use of a flat roof (Figure 46). Whilst its roughcast rendered exterior is indicative of the Arts and Crafts style, its cuboid form suggests the influence of Prairie or Chicago school. Another distinctive building, *St Alban's* flats at 74 Blessington Street (Sydney, Smith & Ogg, 1918) is a remodelled house with decorative panels (possibly terracotta) (Figure 47).



Figures 46 & 47 - 73-75 Mitford Street (left) and 74 Blessington Street (right)

During the late Federation/early Interwar period (the late 1910s to early 1920s) semi-detached pairs were often designed to appear as one house with an asymmetric façade, that is they were paired under one roof. There are examples at 40-50 Broadway, with 44-50 having pantiles to the roof (probably concrete), and to the north side of Mason Avenue. There are also several symmetric examples such as at 123-125 Brighton Road, as well as paired gable end examples at 169-171 and 173-175 Brighton Road.



Figure 48 - 48-50 Broadway

About half of the buildings in the Brighton Road commercial section (between Hennessy Avenue and Milton Street) date to the Federation Period. No. 107, which has a recessed balcony, is the most distinctive and indicative of the Edwardian Baroque with its simplified classicising detailing and scalloped parapet (Figure 49). There are other good two storey examples at nos 83 and 89 which reflect the relatively restrained palette typical of the period of red brick and render with limited ornamentation (Figures 50 & 51). There are single storey examples at nos 85 and 87.



Figures 49, 50 & 51 - 107 (left), 89 (middle) and 83 (right) Brighton Road

Interwar period

The building stock from the Interwar period represents nearly half of that in the precinct. There are high concentrations in the streets that are the result of late Federation or interwar subdivisions such as Foster Street, Hennessy Avenue, Irymple Avenue, Tennyson Street (south of Dickens Street), and Wimbledon Avenue, as well as several courts – Avoca Court, Bundalohn Court, Foster Avenue, and Southey Court. In other streets, the examples tend to be interspersed or in small groups.

The Interwar period building stock is diverse in scale and includes semi-detached pairs, typically designed to appear as a single dwelling, many bungalows, and only a few substantial houses. This period however is dominated by two storey blocks of flats, a few of which had been Victorian period terraces or mansions – for example, **Himalaya** at 10 Tennyson Street (**PPHR 932**) and *Malinar* at 181-183 Brighton Road.

The full gamut of styles that were popular at this time are represented – Bungalow, Mediterranean and the closely aligned Spanish Mission, Art Deco/Moderne, and Tudor Revival. There are several examples that combine elements of the two styles that were most popular at the end of the Interwar period (late 1930s) – the Moderne and Tudor Revival - with the flats by the architect J H Wardrop exemplifying this trend. There only a few examples that reveal the influence of the Georgian Revival style, which was more popular in more suburban/conservative parts of Melbourne - a late example showing the Georgian Revival influence is Deansgate 9 Southey Street designed by Bernard Evans in 1949.

A distinctive, early house from the period at 8 Broadway (1918) was designed by the architect H R Johnson for himself. This two-storey house has a battered chimney in clinker brick which contrasts with the red brick walls and the imposing rendered two level porch, which has some classicising detailing.

Bungalow style

At the beginning of the Interwar period, that is much of the 1920s, the Bungalow style was all pervasive, with its various sub-types- the most common being the Californian and Arts and Crafts – with other types (such as the Indian, Japanese, Swiss) being unusual.

Bungalows characteristically have an informal design which reflects the influence of the Arts and Crafts aesthetic, especially in their combination of 'natural materials'. These buildings have broad gable or hipped gabled roofs (including jerkinhead types), with the main ridge being transverse (parallel to the street front) or perpendicular to it, and are typically clad in unglazed terracotta tiles with exposed rafter ends to their timber lined soffits. The chimneys tend to be relatively short and simply detailed with a square cross-section. The wall finish is usually brick (red and clinker), and often tuck-pointed, in combination with render (often roughcast), though they may also be mostly

rendered. There is often some decorative brickwork to the walls and arches including bands, diamonds, etc. Windows are timber-framed often in groups with some detailing to the upper sash (multi-paned or leadlight). Bay windows are also common and arched porches, the latter usually indicative of the Arts and Crafts bungalow sub-type.

Good examples of the Bungalow style in the precinct can be found at 3 Broadway (Schrieber & Jorgenson, c1920), 5 Broadway, all of Foster Avenue, east side of Foster Street (nos 2-8), a few in Irymple Street, 64 and 66 Mitford Street, 8 Tennyson Street (J R & E Seccull, c.1925), and 10 Wimbledon Avenue (Flannagan & Nolan, 1922-23). There are duplexes or co-joined groups at 15-19 Irymple Street, 5-5A Mitchell Street (*Waiora*, B S W Gilbertson, **PPHR 2065**), and 19-21 Tennyson Street. Another notable example is that at 23 Mitford Street which also has a WWII air raid shelter (Edwin J and C L Ruck, 1921-1941, **PPHR 351**). The house and front fence at 11 Tennyson Street (1925, builder/designer Matthew Sherlock) is also a fine example.



Figures 52 & 53 - 8 Foster Street (left) and 15 and 17 Irymple Avenue (right)

The bungalow style was largely related to single storey buildings, or those with an attic. When applied to two storey buildings (mainly flats in the precinct area), the roofs tend to be a single gable form and often could be said to be more indicative of the Arts & Crafts style. Examples are located at 121 Brighton Road, 26 Dickens Street (Lowan Courts, 1927, E. Jennings & Sons), 25 Hartpury Avenue (*Rochelle flats*), 1 Meredith (*Hollywood*), and 15 Tennyson Street (1919, *Kelburn Flats*).

Darjeeling at 15 Foster Street (1924, H V Gillespie, **PPHR 1490**) has a pergola gate. Among the most distinctive blocks is **Hartpury Court** (1923, Arthur Plaisted, **PPHR 381**) at 11 Milton Street in the Old English style. The roofs are clad in terracotta shingles, the walls are a mixture of roughcast render (with some half-timbering) and clinker brick (e.g. oriel bays). It also has a lych-gate. *Lloydon* at 23 Herbert Street (Sloan & Jenkinson, 1922) and *Camelot Court* at 1 Wimbledon Avenue (J H Wardrop, 1933) are more formal with some abstracted classicising detailing.

With the range of popular architectural styles that followed that of the bungalow from the late 1920s through the 1930s, there is often some overlap of detailing typically associated with a particular style. For instance, Carene Court at 177 Brighton Road has margin lights indicative of the influence of the Georgian Revival style.

During the late 1920s and early 1930s, the Mediterranean style, and the closely aligned Spanish Mission style were predominant, and to a lesser degree, the Georgian Revival style, which has limited representation in the precinct. The hip roof predominated at this time and was always tile clad, generally in terracotta, increasingly glazed, and some concrete. Chimneys often did not have a pronounced cap. Walls were largely rendered, often with a clinker brick plinth and some other brick highlighting. Openings were timber-framed double hung sashes organised in groups of two or three, often with a differentiated upper sash (stained glass, etc.). Front fences are typically low, masonry in a manner similar or complementary to the main building.

The Mediterranean style is well represented in the precinct, likely perceived as appropriate given the location close to the bay, with some key examples being **Del Mont Rose** at 1 Broadway, idiosyncratic with crenulations and faceted bottles to the balustrade (1934, J H Esmond Dorney, **PPHR 443**) and **Mount Tabor flats** at 23 Dickens Street (1936, Archibald Ikin, **PPHR 2081**) with similar parapet detail to Ikin's **Masefield Court** at 115 Brighton Road and retain garages. Other examples are located at 7 Goldsmith Street (*Torquay*), 41 Milton Street (Figure 54), *Southey Court* (1925, B S W Gilbertson, **PPHR 2064**), *Kersdale Court* at 26 Tennyson St (1929, I G Anderson), as well as a partly mirrored pair at 8A-8 Dickens Street (1933 and 1935, Archibald Ikin) – flats (*Strand Court*) and a house. Examples designed by builders include *Dynevor Court* at 12 Wimbledon Avenue (Alexander Miller, 1933) and 14 Wimbledon Avenue (J E Powell, 1929-30), and *Dickens Court* at 47 Dickens Street.



Figure 54 – *Southey Court*, 41 Milton Street designed by B S W Gilbertson

There were often some Georgian Revival style elements incorporated into largely Mediterranean style buildings. Hallmarks of this style are a symmetrical façade, which contrasted with the prevailing use of asymmetric form, and a central, columned porch such as the Tuscan order. **Masefield Court** at 115 Brighton Road (1934, Archibald Ikin, **PPHR 440**) consists of a series of symmetrical bays and distinguished by the extensive use of Tuscan order columns and central parapets above the entry bays (Figure 55). The elongated facades of 15 and 17 Wimbledon Avenue (*Arawa* and *Regno*, early 1930s) with columned porches/balconies are noteworthy. Other examples are located at 139 Brighton Road, 41A Dickens Street (*St Ives Flats*), and 5A *Southey* (1934, B Evans).

The large Mediterranean style house **Saret** at 31 Mitford Street (1930, **PPHR 2066**) has a fine piers of Roman tapestry bricks at the pedestrian entry and decorative metal work (gates and balcony to projecting bay) (Figure 56).



Figures 55 & 56 - Masefield Court, 115 Brighton Road (left) and Saret, 31 Mitford Street (right)

Spanish Mission style buildings characteristically feature Roman or pan tiles to the roof, barley twist columns, and triple arcades. Some key flats in this style are located at 51 Blessington Street (*Winnipeg*, J H Johnson, 1930); 52 Broadway (*Strathmore*), which has barley twist columns and shells to the tympanum; 5 Goldsmith Street (*La Casita*); 1 Milton Street (Sinclair & Yoxon, 1933); Rialto Flats, 26 Mitford Street (Harry R Johnson, 1933); and the adjacent pair at 43 Mitford Street (**Las Palmas**, J H Soderberg, 1929, PPHR 2438) and 45 Mitford Street (**Santa Fe**, J H Soderberg, 1928, PPHR 2438) (Figure 57), both of which have less decoration than most examples. The houses and flats at **38 Tennyson Street** (1929, Gordon J Sutherland, **PPHR 373**) features elaborate decorative metalwork to the front fence and distinctive chimneys.

A few examples reflect a Continental Spanish origin, rather than Spanish Mission (that is derived from North American-based precedents) – *Yvonfuray* flats at 30 Tennyson Street (1934, Leslie Reed, **PPHR 933**) and *Granada* flats at 34 Tennyson Street (1930, Archibald Ikin, **PPHR 934**).



Figures 57 & 58 - Santa Fe, 45 Mitford Street (left) and 38 Tennyson Street (right)

There are some amalgams (part Georgian/Mediterranean/Spanish Mission and/or Moderne), usually two storey, from the late 1920s onwards evident across the precinct, such as nos 7 and 9 Wimbledon Avenue. A distinctive example is located at 5 Wimbledon Avenue (Walter Mason, 1941, **PPHR 911**), which is rendered with Roman/tapestry bricks at the entry, has an unusual lozenge-shaped window, and is part cantilevered on the east elevation.

By the mid-1930s, the Moderne and Tudor Revival styles became dominant but by the end of the Interwar period, a stripped-down idiom was evolving under the influence of Modernism, with the eschewing of decoration or unnecessary detailing.

The Moderne style is characterised by curved corners especially to balconies, a pronounced horizontal emphasis with speed lines or banding. Often the latter is contrasted with a vertical accent

at the entry bay. Walls were face brick, render, or a combination of both. Cream brick was the colour most commonly employed, though also tapestry (patterned, unusual colours). Windows were initially timber-framed, often with horizontal glazing bars, but towards the end of the 1930s, steel-frames with their finer components were increasingly used. The Moderne style is probably the most represented style of the 1930s in the precinct area and with its associations of progress and modernity, was a good fit for blocks of flats in particular. There are notable clusters of Moderne Flats around the Southey/Milton/Avoca intersection, and in Garden Court.

The following key Moderne style flats in the precinct reflect the range of materiality employed:

- *Monton*, 2 Avoca Ave (H M Brett, 1941): render and clinker brick.
- *Avoca Lodge*, 1 Avoca Court (likely by R C Callander, 1940): alternating cream and clinker brick. (Figure 59)
- 2 Avoca Court (Lydster Bros, 1940): cream/salmon brick with clinker brick plinth and tapestry brick banding.
- *Elnor*, 3 Avoca Court (Lydster Bros, 1940): render and alternating clinker and tapestry brick bands.
- *Harrowlea*, 86 Blessington Street (Walter Mason, 1937): clinker and cream brick, with rendered balconies.
- 117 Brighton Road (Archibald Ikin, 1936-37): render and tapestry brick.
- *Monly*, 3 Bundalohn Court: (overpainted) brick and render, speed lines.
- **La Rochelle**, 1A Dickens Street (W H Merrit, 1935-36, **PPHR 2439**): mostly render with Roman brick to the entry bay.
- 25 Dickens Street (I G Anderson, 1938, **PPHR 894**): render and roman brick mullions/piers.
- *Woolindra*, 3 Foster Street (Sinclair & Yoxon, 1937): render and clinker brick.
- 21 Southey Street (Archibald Ikin, 1937): render and clinker brick.



Figures 59 & 60 - 1 Avoca Court (Avoca Lodge) 1A Dickens Street (La Rochelle)

A Moderne/Art Deco style hybrid is **Garden View** at 60 Blessington Street (J H Esmond, 1935, **PPHR 429**) which is boldly articulated and features Dorney's characteristic faceted balusters.

The Tudor-Moderne style was not a common hybrid but is relatively prevalent in the precinct area and all examples are blocks of flats. These buildings typically have gabled bays indicative of the Tudor Revival style but with horizontal glazing bars and/or curved elements (usually balconies) characteristic of the Moderne style. A few may have an Art Deco flourish (decorative panels). Examples of this hybrid type are:

- **Zaneth Manor**, 33 Brighton Road (J H Wardrop, 1935, **PPHR 432**): salmon brick, tapestry brick decoration. (Figure 61)
- **La Touelle**, 47A Brighton Road, (W H Merritt, 1935, **PPHR 2439**): four storey corner tower, geometric motifs to railing and panel on tower.
- *Glenlamour*, 2A Foster Street (builders/designers Lydford Bros., 1940): two storey version with Tudor arch at the entry, crenulations to south end, and horizontal glazing bars to the windows.
- 44 Milton Street (builder/design G.O. Carrick, 1936): two storey, variegated salmon bricks with cream to the curved entry bay, tapestry brick trims, concrete balconies with metal railing, and horizontal glazing bars to the windows.
- *Reigate* (1938-39), 10A Mitford Street: brick alternating with rendered bays, steel-framed windows, tall chimneys with pots.
- *Oberon*, 28 Mitford Street (Harry R Johnson, 1933): Tudor Revival herringbone brickwork panels and Moderne by way of its faceted balcony with speedlines.

The Tudor Revival style is identifiable by gabled ends with corbelling. When applied to blocks of flats, as are all the examples of this style in the precinct, battened sheeting has not been employed rather decorative effect is provided by patterning with tapestry bricks. Some examples feature traditional leadlight (often diamond quarrels) to the windows. Key examples are:

- *Sefton* (J H Wardrop, 1934), 4 Broadway: roughcast with tapestry brick trim to openings, ribbed panels, corbelling.
- *Edleigh Court*, 6 Broadway (builder J H Eddy, 1933, **PPHR 444**): tapestry brick trims, slate roof.
- *Woondahra Flats*, 4 Bundalohn Court: rendered upper level, clinker brick to the lower level, tapestry brick trims, and windows with Tudor arched upper sash.
- *Greenmount Flats*, 24 Dickens Street (builders/designers J R & E Seccull, 1938): prow windows, Tudor arches.
- **Camberley Flats**, 17A Milton Street (H D Berry, 1934 and 1936, **PPHR 2063**): trim in clinker brick and retains garages.
- *Marlo*, 30 Mitford Street (Harry R Johnson, 1936): triangular Anglo-Saxon arches.
- *Belmac*, 77 Mitford/I Goldsmith streets (J H Wardrop, 1935): similar ribbed panel to Sefton.
- *Leith*, 6 Southey Court: plainer version with wide rendered band, upper horizontal glazing bar.



Figures 61 & 62 - 33 Brighton Road (left) 17A Milton Street (right)

Towards the end of the 1930s, a purer Modernist, more rectilinear version evolved (though curved corners were sometimes included), being the Functionalist style. The material palette is more restrained (less decorative) than the related Moderne style examples and salmon bricks began to be

employed. The roof is often more/fully concealed by a parapet. Examples of this type, all of which are flats, include:

- *Malinar*, 181-183 Brighton Road: rendered with steel-framed windows.
- *Winton flats*, 189 Brighton Road: may have a flat roof concealed by parapet, roughcast and brick (tapestry and salmon) with porthole windows to the front. (Figure 63)
- *I Garden Court* (I G Anderson, 1937): salmon brick with narrow banding with tapestry bricks.
- *Braeside Flats*, 5 Garden Court: salmon brick with tapestry (piers) and clinker (banding) brick trims.
- *Deltham*, 3 Meredith Street (J H Esmond Dorney, 1936): has metal balustrading, mostly brick.
- **Poets Corner**, 38 Mitford Street (L J Cumming, 1939, **PPHR 2067**): V-shaped footprint, cream brick and steel-framed windows. (Figure 64)
- 2-6 Southey Street. S & M S Nelson, 1939, no. 2 (*Ascog*), no. 4 (*Glenore*), no. 6 (*Wavell*): with varying brick work and window types.
- *Theorose*, 6A Southey Street (1939, Wells & Janeba): cream brick with a large window of glass bricks above the entry framed in tapestry bricks.



Figures 63 & 64 - 189 Brighton Road (left) and 38 Mitford Street (right)

Similarly at this time, late 1930s, houses were imbued with less stylistic affectation. Often these houses have hipped roofs clad in variegated glazed tiles, rendered walls on a brick plinth, concrete hoods over the front windows, and a wide porch, possibly with shouldered arch. Examples of this typology are located at 2 and 6 Bundalohn Court. There is also a small, attached group at the corner Goldsmith Street (no. 78) and Gordon Avenue (nos 18 and 20).

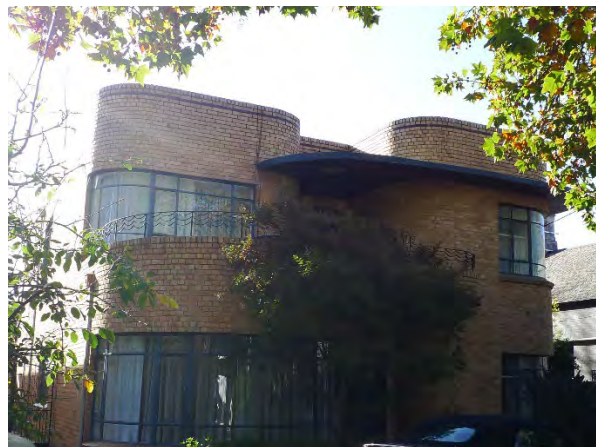
Post-World War II period

The Post World War II period represents a smaller phase however continues the tendency for high-end examples that were often designed by architects. Known examples of which include a group in Dickens Street opposite the gardens (nos 21A, 27, 29), 157 and 161 Brighton Road, 2A Avoca Court, 76 Mitford Street, 7 and 9 Southey Street, and 3 Wimbledon Avenue.

The early Post-World War II period examples (late 1940s-early 1950s) tend to reflect, or be a continuation of, the Moderne/Functionalist mode that was popular in the precinct at the end of the Interwar period and into the early 1940s. Roofs may be flat behind a parapet or at least partly concealed by a partial parapet if hipped. The building envelope is (mostly) rectilinear, though some have a curved corner. Walls are usually either cream or salmon/orange brick and lintels are undefined. Windows are either timber-framed with horizontal glazing bars or steel-framed. The work of the émigré architects commences during this phase, primarily Kurt Popper.

Examples include:

- *Marguerite*, 80 Blessington Street: umber brick vertical accents.
- *Castleton Flats*, 5 Bundalohn Court (Stephan Kovacs, 1953-55): cream brick and steel-framed windows. (Figure 65)
- 6A Dickens Street (Leslie J W Reed, 1954, **PPHR 893**): a substantial house in cream brick with curved corners and large steel-framed windows. (Figure 66)
- 5 Foster Street: salmon brick, steel-framed windows.
- 21 Mitford Street (1949-50, Kurt Popper): cream brick, steel-framed windows, concrete to balconies. (Figure 67)
- 28 Milton Street (Bernard Evans, c1948): cream brick including ribbed panels, steel-framed windows.
- 74 Mitford Street: cream brick, steel-framed windows.
- 40 and 44 Southey Street, flanking Southey Court (1941-50, H R Johnson): cream brick with some rendered elements, flat roofs, steel-framed windows.
- 1 Tennyson Street (1947, builder/designers J.R. & E. Seccull): salmon brick with lightly contrasting clinker brick banding and Roman tapestry bricks to windows.
- *Rajon*, 3 Tennyson Street (1950, Kurt Popper, built by J.R. & E. Seccull): U-shaped footprint, cream brick and steel-framed windows.
- 49 (*Kai*) and 49a (*Arbet*) Tennyson Street (1941, builder/designer A.J. Day): red and cream brick banding, steel-framed windows.



Figures 65 & 66 - 5 Bundalohn Court (left) and 6A Dickens Street (right)



Figure 67 - 21 Mitford Street

From the mid-1950s to the early 1960s, the flats are generally three storey and cuboid in form with a flat roof, though two storey examples often have a hipped roof. When located on a large site, the opportunity was taken to configure advantageously, for example about a central courtyard (U-shaped). Face brick is the predominant wall material, mainly cream brick (sometimes with limited use of contrasting brown/manganese brick to the plinth and/or sills) though later examples are often in brown or tan brick, the latter reflecting the influence of burgeoning Brutalist movement in Australia. Areas of glazing are more extensive than previous periods and consists of either large steel-framed windows (a mixture of casements and fixed panes) or banks of timber-framed (awning and fixed panes, likely manufactured by Stegbar). Spandrel panels (below the windows) are often differentiated in some way – sheeting, coloured glass, tiled or rendered. Bespoke balustrading – panels or railing, with a geometric pattern/motif – are another key distinguishing element of individual blocks.

The émigré/Jewish architects – Berman, Feldhagen, Fooks, and Popper - were responsible for many of the distinct buildings of this phase.

Theodore Berman, whose work ranged from restrained to more varied:

- 76 Mitford Street (1962): cream brick with areas of stacked umber brickwork to the façade, metal pole screen with '76', and diamond motif to balustrading.
- 2 Southey Grove (1957, **PPHR 920**): unusual single storey, studio flats.

Michael Feldhagen, whose work is typically more varied or elaborate:

- 21 Dickens Street (1965-66): A relatively late cream brick example with recessed balconies featuring faceted metal panels to the balustrade.
- 1 Hartpury Avenue (1970): tan brick, concrete screen with parabolic arches.
- 8 Southey Street (builder J & R Wittenberg, 1964): orange brick with varying geometric pattern to spandrel panels.

Dr Ernest Fooks, whose output was generally restrained:

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- 119 Brighton Road (1958): brick (overpainted), flat roof, stair bay with staggered glazing bars, façade recessed with projecting balconies.
 - 157-159 Brighton Road (1957): cream brick, concrete framing to banks of windows, undercroft car parking.
 - 21A Dickens Street (1965): brown brick and render, symmetrical façade with recessed balconies.
 - 12 Milton Street (1961): cream brick, spandrel panels, elongated window proportions.

Kurt Popper, whose work is typically restrained however these two examples are more varied than much of his oeuvre:

- *Dickens Park*, 27 Dickens Street (1960): overlapping square motif to balustrading, steel-framed windows.
- 3 Wimbledon Avenue (1959): U-shaped footprint, green glass spandrels, balustrading and gates with diamond motifs (open and small panels).

Other good examples include:

- 2A Avoca Avenue (1957, 'Building Design Studio') Brown bricks to projecting stair bay. Hip roof (though initial design was for a flat roof).
- 161 Brighton Road (1959): concrete balconies with diamond motif to balustrade.
- 29 Dickens Street (Aron Aloni, 1960): concrete trim, recessed balconies, timber windows.
- 3 Goldsmith Street (Harry Ernst, 1957): blue glass spandrels, wide soffit over stair and gallery.
- 12 Hartpury Avenue: mosaic tiled spandrels.
- 17-19 Milton Street (1959): mosaic tiled spandrels, balcony railing with rectangular motif.
- Rear of 44 Milton Street (Kurt Elsner, 1960) International style on a small-scale.
- 19 Mitford Street (Norman Roth & Associates, 1970): Brutalist, brown brick, arched screen at entry.
- 39 Southey Street (L.G. Grant & Associates, 1959): recessed balconies, diamond and panels to balustrade, screens to entry, stacked brickwork. (Figure 69)
- 7 Tennyson Street (1964): panels with concrete (some textured) Roman bricks, recessed balconies, original fence.
- 9 Tennyson Street (1962, built Rudolph Kalish): recessed balconies with geometric balustrade, breeze block to fence and side wall.
- 25 Tennyson Street (Aron Aloni, 1964): flat roof, mosaic tiled spandrels, altered balconies.



Figures 68 & 69 - 76 Mitford Street (left) and 39 Southey Street (right)

4.0 Comparative Analysis

The St Kilda Botanical Gardens Environs Precinct is significant for its high concentration of distinctive buildings from four key periods – Victorian, Federation, Interwar and Postwar (into the Late 20th century, circa 1970) ranging in scale from cottages to mansions however with a preponderance of larger buildings. This has resulted in part due to the proximity to the amenity provided by the Botanical Gardens, which is in the central part of the precinct. The high percentage of architect-designed residential buildings is without parallel in the City of Port Phillip and much of the State, except for parts of South Yarra (City of Melbourne) such as Marne Avenue, Park Street, Toorak Road etc. From the early 20th century, it started to become an epicentre of flat development, gathering pace across the Interwar and Postwar periods, often as the large holdings of remnant mansion estates were subdivided and/or earlier houses replaced. A notable aspect is the many good examples of post-war flats, some of the most distinctive in Port Phillip.

HO6 St Kilda East is the precinct in the municipality which most closely aligns with the subject precinct. It likewise includes a centrally located park – Alma Park - however the precinct overall has an elongated footprint. Its periods of significance are the same, though with less of a contribution of the Postwar period than the St Kilda Botanical Gardens Environs Precinct. The development of this precinct has further parallels as it partly relates to mansion estate subdivisions. This large precinct also retains several Victorian period mansions, some incorporated into school complexes, and has a mixture of freestanding residences and blocks of flats from the 20th century periods. It retains some more extensive streetscapes of Victorian period development such as Odessa Street. There are pockets of paired semi-detached Federation, primarily brick cottages in Lambeth Place, and Interwar flats such as in Charnwood Road. It contains a wide range of flats including good post-war examples by émigré architects such as Kurt Popper and Mordecai Benshemesh. Its commercial area to St Kilda Road is larger with more building stock dating to the Victorian period, some of it grander and it includes a few churches, a building type which is not represented in HO7.

HO5 St Kilda Hill precinct also contains significant buildings from the Victorian, Federation and Interwar periods. Several Victorian period mansions survive on Grey and Princess streets as well terrace groups and villas throughout. The narrow streets at the south-west end (Havelock, Fawcner and Clyde) have smaller residences - timber cottages (Victorian and Federation period) and paired brick houses (Federation period) – whereas the larger residences and blocks of flats are located on the wider streets further north. In the Eildon Road area, the building stock (houses and flats) mostly dates to the Interwar period. There are more commercial buildings on Fitzroy and Grey streets and others than in the subject precinct.

HO8 Elwood-Glenhuntly Rd, Ormond Rd has significant buildings from the Victorian, Federation and Interwar periods though with only a small proportion from the Victorian. It retains two mansions in Tiuna Grove and has a larger commercial centre, consisting of many Interwar period shops.

Federation period villas and Interwar period bungalows and flats are well represented throughout the precinct. The flats however are mostly two storey, whereas in the subject precinct there are many three storey examples.

Some of the Federation period development in the subject precinct compares with HO403 Addison Street /Milton Street Precinct (Elwood), which is adjacent to the south-western part. HO403 however consists mostly paired and smaller villas, whereas the St Kilda Botanical Gardens Environs Precinct has areas with large and distinguished examples such as Blessington and Tennyson streets.

HO258 St Vincent Place Precinct has a high percentage of large houses but many in terrace groups and largely dating to the Victorian period.

5.0 Statement of Significance

What is significant?

The St Kilda Botanical Gardens and Environs Precinct covers a broad area from Carlisle Street to the north, to Brighton Road in the east, broadly to Byron Street to the south, and generally by Mitford Street and Broadway to the west.

Initially development occurred at the northern end near Carlisle Street, and subsequently in the close vicinity of the Botanical Gardens, where a multitude of mansions were constructed, several of which survive. Commencing during the Federation period, subdivision of the many large holdings gradually was undertaken, continuing through the Interwar period, resulting in some of the cross-streets and all the courts respectively being created. Whilst some pockets of cottages and the like were established during the Federation period, the tendency was for commodious houses and blocks of flats to be constructed during the 20th century.

The following features contribute to the significance of the precinct:

- Houses from the Victorian, Federation, Interwar and Postwar periods.
- Flats from the Federation, Interwar and Postwar periods.
- Shops from the Victorian, Federation, and Interwar periods.
- Victorian period buildings are either of face brick (often polychrome) or (part) rendered, or timber-framed construction, often with ashlar boards to the façade. Roofs mostly hipped and slate clad. Chimneys are evident. Windows are timber (usually with sashes) and doors are four-panelled. Verandahs with cast iron detailing are typical.
- Federation period buildings are either masonry - red brick and/or (part) rendered (including roughcast), with a few concrete, or timber-framed construction (usually with shingled or ashlar boards to the façade. Roofs, either clad in slate or terracotta tiles, feature gable ends, often with exposed rafter ends. Chimneys are evident. Windows are timber (sash and/or casements) often with leadlight and doors are panelled. Verandahs with timber detailing are typical, though there are a few with cast iron detailing.
- Interwar period buildings are either face brick (mainly red, clinker or cream, some with tapestry) or render. Roofs are pitched (gable and/or hipped) and tiled clad, often with exposed rafter ends (bungalows). Chimneys are evident. Gable ends often feature timber shingles. Openings are either timber, often with leadlight/timber glazing bars, or steel framed (sashes or casements). Masonry porches are typical.
- Postwar periods buildings and brick, either face brick (mainly cream) or render. Roofs are either hipped, tiled clad, or flat. Openings are either timber or steel framed (sashes or casements).
- Late 20th century period buildings are usually either brown or tan brick with a flat roof. Openings are either timber or metal framed.

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- Original/early front fences - only a few from the Victorian period, more from the Federation period, and generally low brick from the Interwar and Postwar periods.
 - Early street infrastructure including basalt kerbing and channelling.
 - F L Dawkins and E C Mitty Reserves and mature trees including Canary Island palms.
 - Mature street trees (London planes and Ash).

The Significant places within the precinct are:

- 26 Avoca Avenue (War Memorial Scout Hall)
- 26-28, 44-46, 48, 57, 60, 76 Blessington Street
- 27, 33, 47A, 115 Brighton Road
- 1 & 6 Broadway
- 1A, 6, 6A, 23, 25 Dickens Street
- 15 Foster Street
- 11, 14 Hennessy Avenue
- 9, 11, 17A, 41 Milton Street
- 5 & 5A Mitchell Street
- 15, 23, 31, 38, 43, 45, 73-75 Mitford Street
- 2-4, 21 Mozart Street
- 2, 37 Southey Street
- 6, 10, 17A, 30, 36 & 38, 58 Tennyson Street
- 2, 5 Wimbledon Avenue

The Non-contributory properties are:

- 3 Avoca Avenue
- 30, 36, 38-40 & 84 Blessington Street
- 29-31 & 103-105 & 185 Brighton Road
- 10 & 38 Broadway
- 28 & 32 Carlisle Street
- 20, 24A Dickens Street
- 23 Foster Street
- 6, 11, 16 & 25-27 Gordon Avenue
- 1A & 23 Hartpury Avenue
- 27-31 Herbert Street
- 5, 14 & 14A Irymple Avenue
- 42, 48, 58A Milton Street
- 7 Mitchell Street
- 1, 2 & 3 Mitford Place

-
- 16 & 22 Mitford Street
 - 15 Mozart Street
 - 31 & 45 Smith Street
 - 7, 11, 12, 14, 15 & 20 Southey Street
 - 33, 43 & 84 Tennyson Street
 - 3A, 4 Wimbledon Avenue

All other properties not listed above are Contributory places within the precinct.

How is it significant?

The St Kilda Botanical Gardens Environs Precinct is of local historical and aesthetic significance to the City of Phillip.

Why is it significant?

Historically, the precinct illustrates the high desirability of this part of the municipality as a residential area from the mid-19th century and throughout much of the 20th century, demonstrated by the quality of the constituent building stock of which an unusually high proportion was architect designed. During the late 19th century, the area attracted a particularly affluent class illustrated by the preponderance of mansions in generous grounds - *Rus in Urbe* (country in the city) - reflecting an important theme in St Kilda's development but exemplified in this precinct. With changing economic circumstances, the fate of these estates, as in neighbouring areas, was for the holdings to be subdivided and for the large houses to be re-employed as boarding houses, and later converted to flats, some being remodelled in the process. Whilst during the Interwar and Postwar periods, flat development increased to much of the municipality, the precinct reflects that trend to a high degree with the relatively large scale of the blocks erected. Many of the Postwar flats were designed by émigré architects often for an Eastern European migrant clientele from the expanded Post-war Jewish community, injecting the area with a European-influenced modernism. (Criteria A and D)

Aesthetically, the precinct contains a wide range of distinguished buildings from each of the four periods of significance, though especially from the Interwar period, forming streetscapes of an unusually high architectural excellence and interest, which are complemented by the historic infrastructure and street plantings. Whilst the grandest buildings of varying periods are typically located on the main/original streets or roads (especially Blessington, Brighton, Mitford, Southey, Tennyson), the secondary streets and courts, resulting from subdivision, tend to be more consistent to either the Federation or Interwar periods.

From the Victorian period, there are ornate timber villas, brick villas and terraces, and mansions illustrative of the prevailing Italianate style but also some examples reflecting the Anglo-Dutch style, or its influence, at the end of the 19th century.

From the Federation period, there are semi-detached pairs, medium and large-scaled villas reflecting the predominant employment of the Queen Anne style and towards the end of the period, the Arts and Crafts style, including for some flats, and the emergent bungalow style in a mode known as the Federation bungalow. Unusually there are a few concrete examples. The commercial buildings of this period are most distinctive.

From the Interwar period, there are 1920s bungalows, and then from the late 1920s mostly blocks of flats in the popular styles of the day with distinctive examples of the Mediterranean (with an overlay of the Georgian Revival style in some instances), Spanish Mission, Moderne and Tudor Revival (or Old English). The Moderne style, with its associations of progress, is particularly

prevalent in the precinct. The latter two styles are often associated with three storey buildings and sometimes combined in a less common variant – the Tudor-Moderne.

From the Postwar period, there are fine blocks of flats, typically three storey and in cream brick, displaying the influence of Modernism either in a Functionalist/Moderne mode or representing the shift to a more varied detailing often with geometric motifs to the balconies towards the end of the 1950s. From about 1960, brown and tan brick and a more robust articulation were preferred under the influence of Brutalism. (Criterion E)

6.0 Recommendations

Excise from HO7 to create separate precinct heritage overlay.

Extensions recommended (that is, not currently within the HO as part of HO7):

- 69, 80-84 Blessington Street,
- 151-189 Brighton Road,
- 3, 5 Broadway,
- 8, 5-13 Browning Street,
- 27, 29 Dickens Street,
- 5, 7 Foster Street,
- 1-23, 2-20 Gordon Avenue,
- 1, 3, 8-14, 15-23 Hartpury Avenue,
- 10-12 Hennessy Avenue,
- 1-19, 2-20 Irymple Avenue,
- 2-40, 39-45 Mason Avenue,
- 12, 17-33, 28-44 Milton Street,
- 10A-16, 11-23, 78, 80 Mitford Street,
- 3, 4, 5, 6 Southey Court,
- 7-9A, 33 (front part), 37-51, 78-90 Tennyson Street,
- 3, 3A Wimbledon Avenue.

Transfer the following places from individual heritage overlays to the new St Kilda Botanical Gardens & Environs precinct heritage overlay:

- 2, 4, 6 Browning Street (from individual HO411)
- 15 Mitford Street (from individual HO192)

Also transfer:

- 51 & 58-64 Milton Street from HO7 to the adjoining HO403 precinct,
- 37-39 Dickens Street (Elwood Talmud Torah Congregation) from HO7 to an individual HO.

Removal of rear part of 35 Tennyson Street and 58 Carlisle Street

The following places with PPHR citations become Contributory to the precinct:

- 51 Blessington Street (PPHR 427)
- 49 & 49A Carlisle Street (PPHR 451)
- 57 Carlisle Street (PPHR 452)
- 60 Carlisle Street (PPHR 453)
- 32 Mitford Street (PPHR 2272)

-
- 36 Mitford Street (PPHR 2271)
 - 18 Southey Street (PPHR 921)
 - 34 Tennyson Street (PPHR 934)
 - 5 Wimbledon Avenue (PPHR 911)
 - 15 Wimbledon Avenue (PPHR 912)
 - 17 Wimbledon Avenue (PPHR 913)

7.0 Assessment

RBA Architects & Conservation Consultants, *H07 Elwood St Kilda Balacava Ripponlea Precinct Heritage Review Stage 2, 2021*

Village Belle Commercial Precinct

Places of individual significance within the precinct that have a separate citation in the Port Phillip Heritage Review with additional descriptive and historical information are indicated in **bold**.

1.0 Thematic Context

Victoria's framework of historical themes

5. *Building Victoria's industries and workforce: 5.3 Marketing and retailing*

6. *Building towns, cities and the garden state: 6.3 Shaping the suburbs*

Port Phillip thematic environmental history

5. *Buildings and cultural landscapes: 5.2 Shaping the suburbs*

6. *Commerce, trade and work: 6.2 Markets, shops and retail*

2.0 History

In 1842, the Village of St Kilda – bounded by the bay, Fitzroy and Barkly streets - was established and land on the Esplanade, and nearby streets, sold. Over the next decade, land in the other parts of the original village area was sold in phases.

Land within the precinct was offered for sale from the early 1850s onwards. In 1851, land on the north side of Acland Street was sold, consisting of three large allotments in the order of 3 acres as well as a four-acre municipal reserve at the corner of Acland and Barkly streets (Figure 1). Allotment 35 was acquired by J C Riddell, no. 36 by N Gutheridge, and no. 37 by C B Peed. The land on the south side of Acland and adjacent part of Barkly Street (west side) was part of the foreshore reserve, and Carlisle Street was not yet defined.

Land on the east side of Barkly Street was sold in 1853, being parts of three allotments – no. 76 acquired by T Earle and C Palmer, no. 77 by J Smith, and no. 86 by J Sutherland (P2).

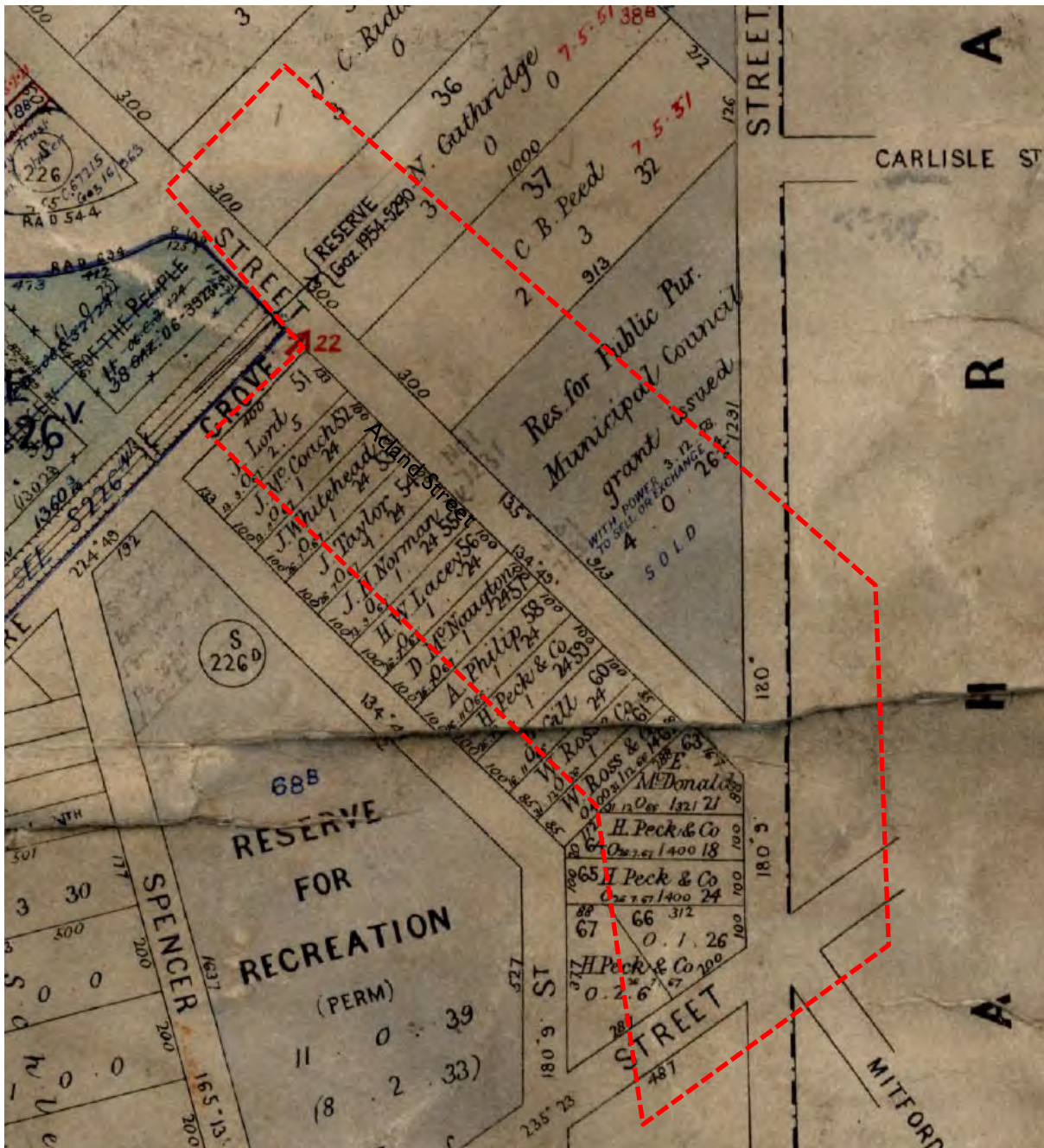


Figure 1 - Parish Plan, M333(25) at Elwood (+ St Kilda) Parish of Melbourne South (Source: Landata) showing the approximate boundaries of the precinct area in relation to the Crown portions

The first building in the area was the Village Belle Hotel. In 1854, an application for a hotel license was rejected, though one was issued in the following year (BA). On the contemporary Kearney plan (Figure 2), the Village Belle was the only building depicted in the precinct area.

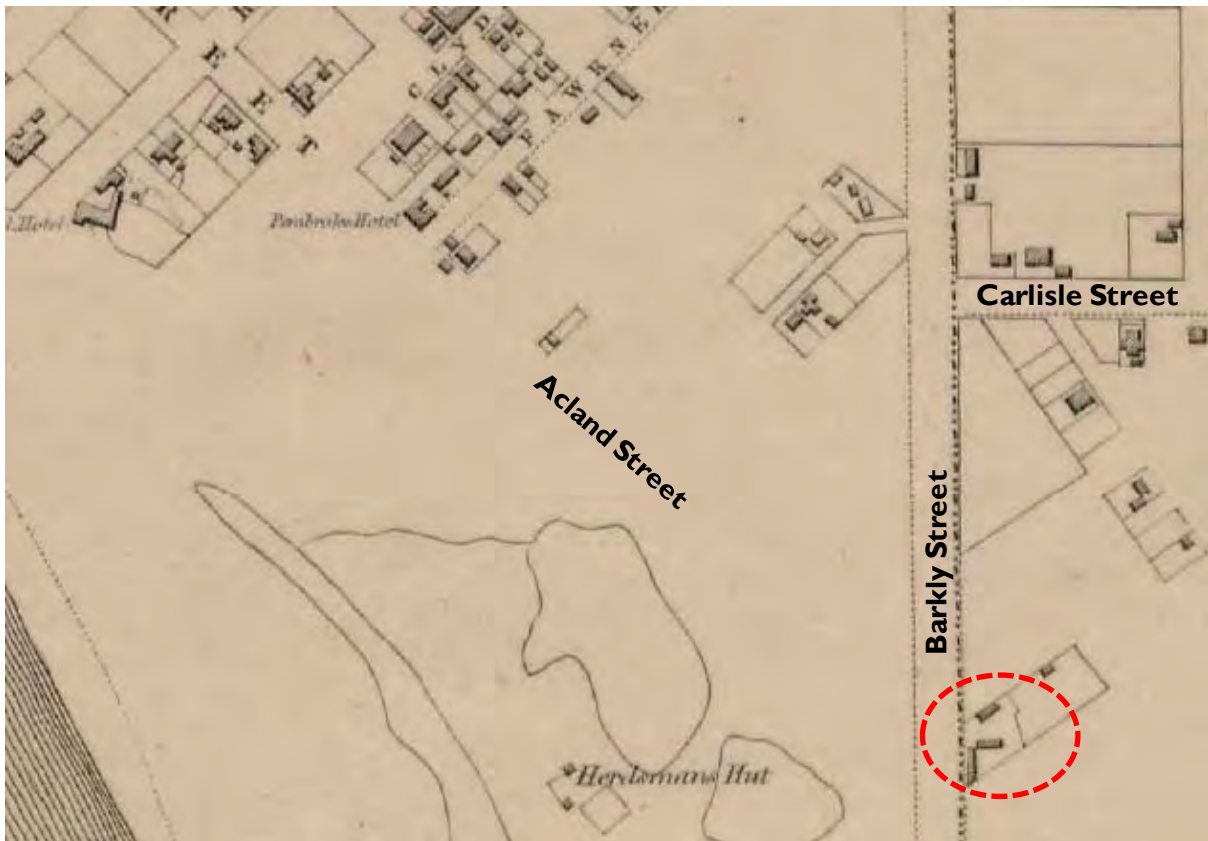


Figure 2 - 1855 Kearney Plan, Village Belle Hotel highlighted (Source: SLV)

One of the early features in the precinct area was the main drain (now enclosed under Albert Street and Shakespeare Grove) which was being constructed by 1858 (refer to 1864 Cox plan, Figure 4, for route) requiring a widening of the existing bridge over Acland Street (JCBI, p139). 'In 1861, the bridge at Acland Street had been widened from 25 feet to 66 feet, and stone piers placed to same' (JCBI, p151).

The municipal reserve, north corner of Acland and Barkly streets was able to be sold in 1858 (P1) and a subdivision plan dating to the following year survives. Bedford Street was created at that time and a house, Merryvale, had already been constructed on what is now 110 Acland Street (west corner of Bedford Street, outside the precinct area). Whilst 14 allotments were offered at the triangular block bound by Bedford Street, they were later combined into 3 holdings (Figure 7). This 1859 plan also shows the westward extension of Carlisle Street from Barkly Street to the link with the Esplanade.

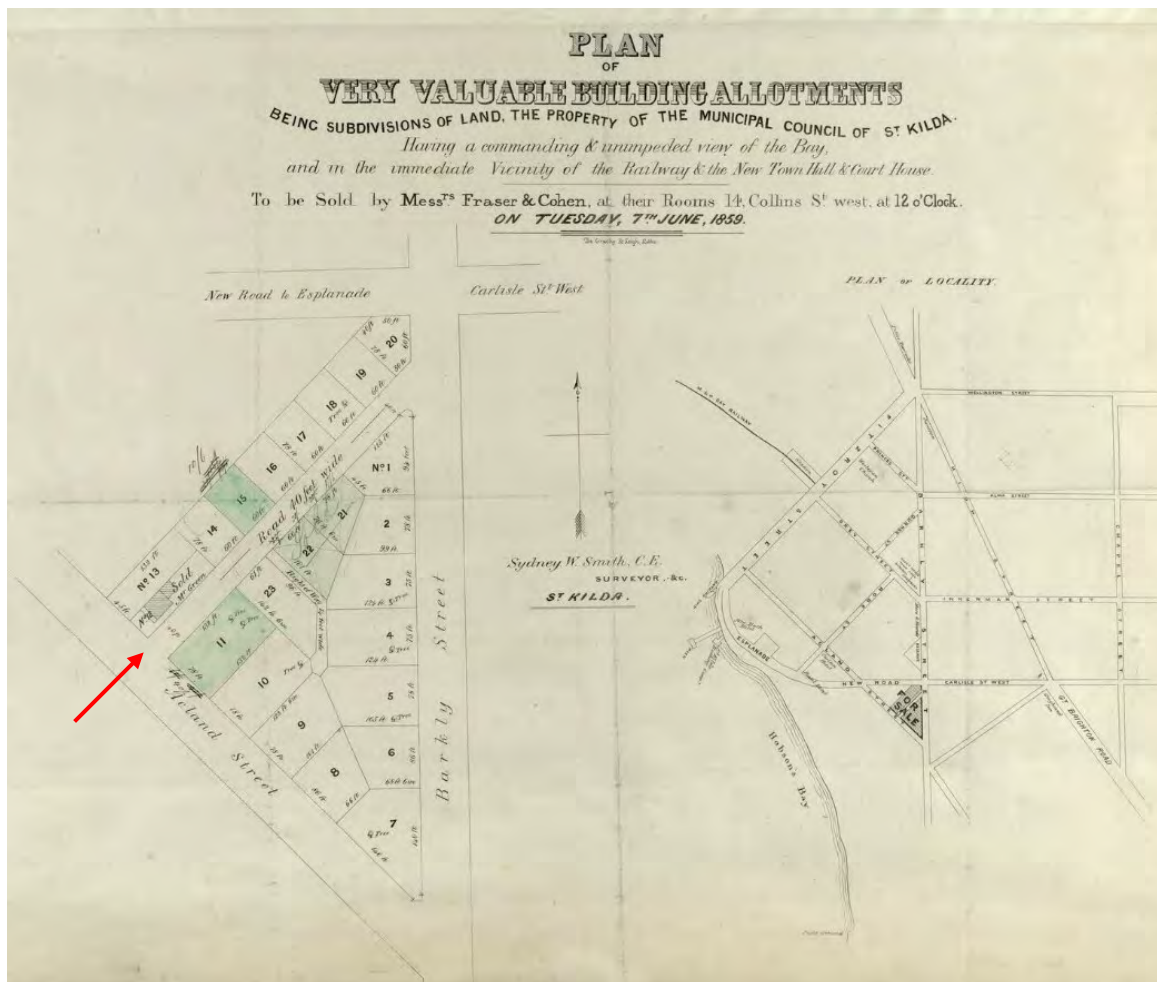


Figure 3 – 1859 subdivision of land at the corner of Acland and Barkly streets, Bedford Street highlighted (Source: SLV, va001270)

The Cox Plan of 1864 (Figure 4) shows that Irwell Street had been established as had Smith Street, off Barkly Street (next to the Village Belle). The two houses in the triangular block had been constructed with the one facing Acland Street being occupied by Benjamin Cowderoy, a leading figure in the early days of the municipality including being Chairman of the St Kilda Council (SM 1864 and Age, 28 May 1864, p.1).



Figure 4 – 1864 Cox Plan, route of main drain highlighted

Soon after, in December 1865, the earliest surviving building in the precinct was erected at 188 Barkly Street (**PPHR 293**). The basalt school building was designed by the noted architects Crouch & Wilson (MMDB, 911 and 7123) for James Bothwick – the noted teacher, author, historian and archivist (ADB). Bothwick opened his Hofwyl School (Figures 5 & 6) with a limited number of boarders and day pupils (*Argus* 22 Dec 1865 p3). Bothwick advertised that ‘the system pursued is founded on that of Pestalozzi, as developed at Hofwyl, in Switzerland, regarding the moral training and practical education of youth’ (*GG* 4 June 1868 p.2). Bothwick retained the site into the early 1880s when it became Queens College (*Age* 16 August 1881 p.4) and operated until the early 1920s and by 1925 was converted into flats (SM).



Figures 5 & 6 – 1865 perspective of the Gothic style, Hofwyl School (Source: nla.obj-135234922-1) and 19th century image (PPCC, sk0692.1-2)

During 1866-67, the parkland on the south side of Acland Street between Shakespeare Grove and Blessington Street (and extending through to Chaucer Street) was subdivided into 17 allotments (nos. 51-67) mostly 100 feet wide (P1). H Peck & Co, a freehold home company with holdings

across Melbourne and the state, purchased five allotments at the east end (Age 27 December 1867 p.1).

The 1873 Vardy plans (Figure 7) show that over the previous decade a few villas had been erected on the south side of Acland Street, however surprisingly the original crown allotments had not been further subdivided. In Barkly Street, the Hofwyl School (no. 188) and two other villas between it and the Village Belle are evident (V).

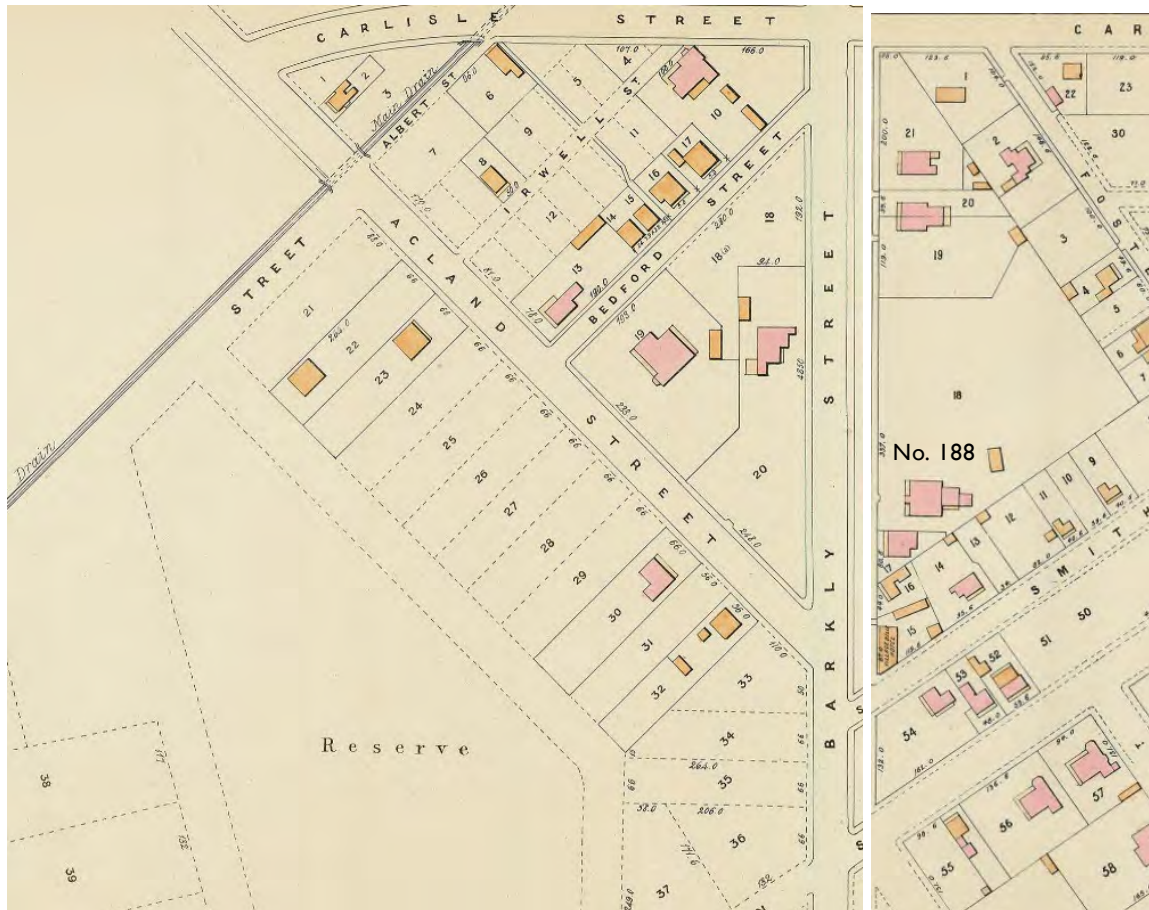


Figure 7 - 1873 Vardy plans, WW9 (left) and SW5 (right) (Source: SKHS)

Soon after a mansion, Victoria House (now demolished but indicative of the type in the area), was constructed on Acland Street at the east corner of Irwell Street (now nos. 96-104), which in 1876 was described as follows in a sale notice.

The house, which is quite new, having only been built about 16 months, is substantially built of brick, stuccoed, on bluestone foundations, with slate roof, and contains 10 large and lofty rooms (two 20 x 16 and two 17 x 16, with 13ft collings), commodious outhouses, stable with slate roof, &c. A double verandah and balcony surrounds the house on two sides, facing Acland and Irwell Streets. The land has the fine frontage of 80ft to Acland-street by a good depth along Irwell-street (Argus, 24 August 1876, p2).

At this time, the architect John Vardy added a new verandah to the Village Belle Hotel (Figure 8), which initially was a timber building with two dormers (BA). In 1891, it was replaced by the extant masonry version designed by William Pitt (PPHR 294).



Figure 8 - Village Belle, circa 1881 (Source: JCB, v1, opp. p256)

Expansion of the cable tram network into the precinct was undertaken by the Melbourne Tramways Trust during 1885-91 (VHI), with the service from the city along Chapel Street to Carlisle Street completed in late 1888 and the route from South Yarra Station along Chapel and Wellington streets, thence along the Esplanade and terminating at Acland and Barkly commenced during 1889 (TG, 29 December 1888 p4).

The MMBW plans of 1897-98 (Figures 9 & 10) provide a snapshot of the development that had occurred in the precinct area by the end of the 19th century. In Acland Street, the development was more intensive at the north end as there were six premises (one shop and five residences) between Carlisle and Albert streets, three of which survive at nos 74-78. The shop at no. 74 was built in 1885 and the terraces during the 1890s (SM). There were however only another five houses between Albert and Barkly streets, all mansions or on large holdings and all since demolished (MMBW 1375). From north to south, they were respectively (though not necessarily known as such at that time) – Tallageira (nos. 88-94), Victoria House (nos. 96-104), Merryvale House (no 106-110), Taroona (nos. 112-144), and Oakrood (nos. 144-166).

On the east side of Barkly Street, there were three buildings north of the Village Belle including the school then known as Queens College (now no. 188, then no. 192). Between Smith and Blessington streets, there was garden area of a house (then no. 208) which was well set back from the street (MMBW 1374). Similarly, there was paddock at the corner of Blessington and Mitford streets (MMBW 1380).

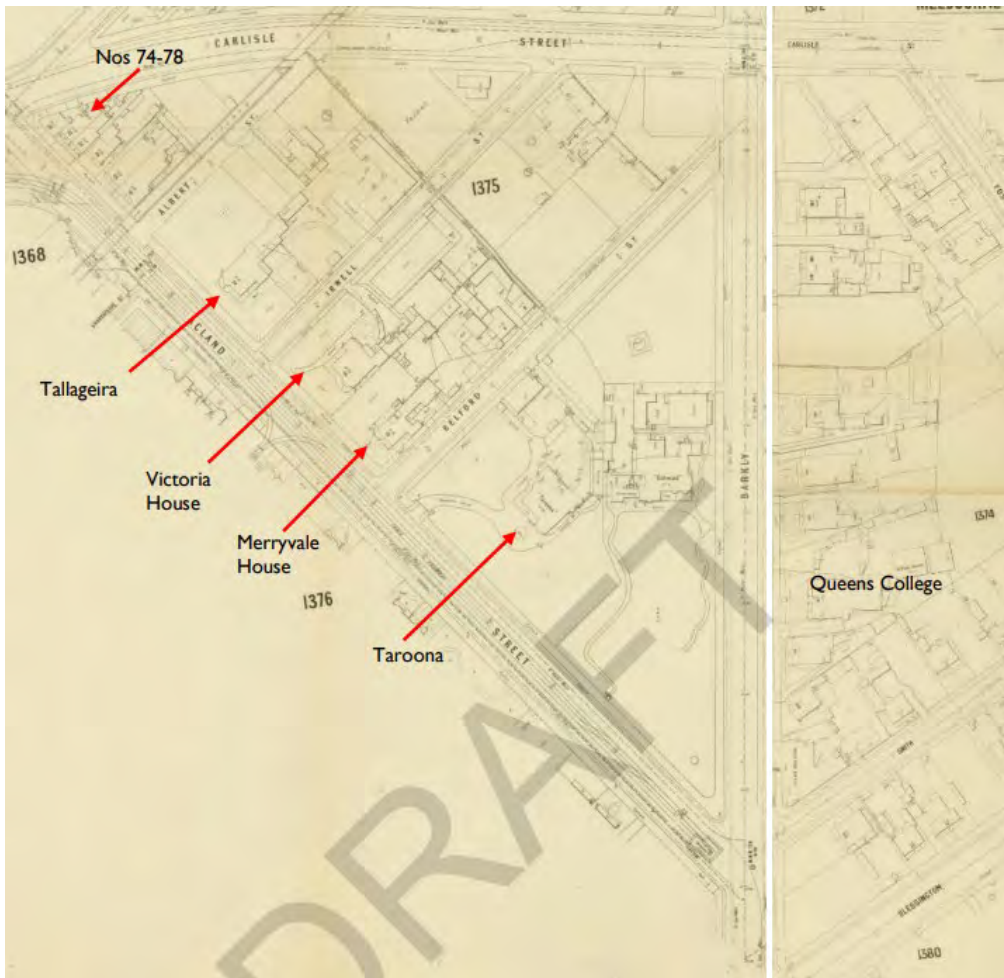


Figure 9 - 1897 MMBW detail plans 1374 (right) 1375 (left), north side of Acland Street and nearby part of Barkly Street (Source: SLV)

On the south side of Acland Street, twelve houses had been erected as well as the tramway shed at the west end (opposite between Irwell and Bedford streets). None of these buildings survive today, except for the house, which has been retained at the rear of/behind the shop at no. 137 (then no. 97). There were two smaller houses at the corner of Blessington Street and a large paddock at the corner of Barkly Street (MMBW 1376).



Figure 10 – 1897 MMBW detail plan no. 1376, south side of Acland Street (Source: SLV), part of the house remaining at 137 Acland Street is highlighted (then no. 97).

In 1900, the site at the south-west corner of Barkly and Blessington streets came into being as part of the subdivision of the Baker Estate and two storey shops and residences were constructed on this corner by c.1905 (Figures 11 & 12). The sale notice identifies the names of houses on south side of Acland Street (a common practice at this time for even modest-scaled dwellings), east of the tram terminus – which were Wairona, Mawhera, Heretanga, Deyn, and Mordon Villa. Queens College on Barkly Street (no. 188) was also identified.



Figure 11 - Baker Estate, northern part (1900), showing 229-231 Barkly Street within the precinct. (Source: SLV Batten & Percy collection)

Commercial development during the early 20th century – Barkly Street

With the improving economic conditions after the turn of the century, commercial development commenced at the south end of the precinct opposite the Village Belle (west side of Barkly Street, between Acland and Blessington streets). By 1905, two shops had been established and this had

increased to six by 1910 (SM). A contemporary photograph (Figure 12) of this section of Barkly Street shows the early phase of commercial development and the original appearance of 229-231 Barkly Street built on the Baker Estate and the recent tram service (1906) along Mitford Street (ME).



Figure 12 – c.1909, corner of Barkly and Blessington streets, showing original facade of 229-231 Barkly Street (highlighted) and new tram service (Source: SLV, H84.233/195).

The pair of shops at 221-223 Barkly Street whose construction date of 1912 is shown on the parapet were designed by architect T G Rankin (BP 1661). These shops replaced a house whose verandah is partially visible in the extreme right of a c.1909 photograph (Figure 12).

In keeping with the expanding range of entertainment venues that were established during the early 20th century in the St Kilda area, a roller-skating rink – the Elite Skating Rink - was constructed at the north corner of Acland and Barkly streets (BP 1170), preceding Luna Park which opened in 1912. A circa 1910 photograph of the Elite Skating Rink (Figure 13) under construction indicated that the single storey pair at 205-207 Barkly Street had been erected, as well as the adjacent two-storey buildings at nos. 209-211. By 1914, films were being shown at Luna Park at the Palais Cinema, but this venue was relocated to the skating rink site in 1915 (PT 27 June 1914 p.5, 20 March 1915 p.6).



Figure 13 – circa 1910s, Barkly Street, possibly Elite Skating Rink under construction, rear of 205-211 Barkly Street highlighted (Source: SLV, H84.233/30)

By 1915, the pace of commercial development was increasing. The west side of Barkly Street was fully developed by that time with 14 commercial premises and a few shops nearby on Acland Street - at the east end on the south side (SM). In the following year, the group of eight single storey, brick shops at 35-49 Blessington Street were constructed by the builder A E Watson (BP 3074).

By mid-1917, the precinct was being referred to as 'the Village' after the hotel and was 'steadily growing to an important business centre' (PT 21 July 1917 p.4). At this time, the Palais Cinema was renamed the Barkly Theatre, so as not to be confused with another nearby venue, the Palais de Danse on the Esplanade (PT 15 December 1917 p.7).

A 1920 image (Figure 14) shows the original Federation period buildings in Barkly Street (west side) including the original pair at the corner - 193 Acland and 203 Barkly streets, and the adjoining surviving buildings between nos. 205 and 213. The original verandahs, likely cast iron, are also evident.



Figure 14 – 1920, corner of Acland and Barkly streets. Original building at 193 Adand and 203 Barkly streets highlighted (Source: SLV, H21880)

During the interwar period, the two buildings on the west side at the corners of Blessington Street were altered. In 1928, the architect H V Gillespie designed the shopfront of 227 and 227A Barkly Street, which suggests he may have designed the extant two storey building (previously it had been single storey). In 1934, Hughes and Orme remodelled and enlarged the building at 229-231 Barkly Street (Figure 15), converting it from three shops and an upper-level dwelling to seven shops and large flat (*Herald* 17 January 1934 p18).



Figure 15 - Remodelling of 229-231 Barkly Street in 1934 (Source: *Herald* 17 January 1934 p.18)

On the east side of Barkly Street, in 1939, the new branch of the Commonwealth Bank was established in the existing building at no. 204 at the corner of Smith Street. 'The site was previously occupied by two shops, which have been converted and modernised into the new building' (*Age* 28 July 1939 p.11).

Commercial Development during the early 20th century – Acland Street

Beginning in the first decade of the twentieth century shops began to replace the villas and mansions constructed in the late nineteenth century. For example, building permits for four shops built by or for E Naylor (the mayor of Prahran) were issued in 1906, 1909, 1910 and 1912 (BP 462, 833, 1067, 1571).

Probably the largest holding on the north side of Acland Street, relating to *Taroona*, was sold in 1911 facilitating more intensive development in its place. *Taroona* was described as 'a brick stuccoed villa, of imposing appearance. It has a slate roof, and about 9 main rooms, together with motor shed and all conveniences' (*Punch* 2 November 1911 p.18, includes a poor-quality image). In 1913, a scheme for flats by A H Fisher in Belford Street or Acland Street was depicted, indicating the scale of development that was then being contemplated, either within or adjacent to the precinct. In the article, it was stated that 'it has been long recognised by realty investors that St Kilda presents about the best opportunity in Australia for the development of the residential flat.' The large brick rink at corner of Acland and Barkly streets was planned to be converted 'into a large shop and motor garage' (*Herald* 24 July 1913 p4).

Following the sale of *Taroona*, permits were issued from the end of World War I - for six shops at 134-144 Acland Street (since demolished) in 1918 (BP 3539), the row of six shops at nos. 146-154 in 1919 which were constructed by builder J Brown for owners Davis & Yisbord (BP 3830), and five brick shops and dwellings at nos 112-122 (since demolished) in 1922 (BP 4949). Other permits issued in Acland Street at this time for multiple premises included a block of eight brick shops in 1919 (BP 4041), a group of four brick shops in 1920 (BP 4322), five brick shops in 1922 (BP 4958), and six brick shops – nos. 96-104 - in 1923 (BP 5392).

By 1922, there was demand for a local market, which the contemporary owners of the Barkly Theatre sought to take advantage of. At that time, both the Barkly Theatre and the Victory Theatre (now the National Theatre) were owned by the same group and the Barkly Theatre was possibly not profitable (*PT* 15 December 1922 p6). It was not until 1928 however that one was established on the cable tram shed site (*PT* 22 June 1928 p3).

Another mansion - *Tallageira* (Figure 16) at 88- 94 Acland Street - was offered for sale in April 1923. According to the sale notice, the grand, late 19th century edifice on the west corner of Irwell Street, was described as such:

Comprising 17 rooms, including 3 magnificent rooms 28 x 18, and balcony rooms 15 x 15, With stately portico, hall, stairway, and a wide tiled balcony and a massive tower.

As a shop and residential proposition, to construct seven shops on Acland Street frontage and with additions convert into a similar construction to "Summerland Mansions" would spell "Big RETURNS." (Argus 14 April 1923 p2)



Figure 16 – *Tallageira*, west corner Irwell Street c1900. Victoria House is visible in the background (Source: SKHS)

The sale of *Tallageira* allowed for the further commercial development in the precinct beginning with the construction of the St Kilda Memorial Hall (**PPHR 113**) by R L Phillips at 88-90A Acland Street), which commenced later that year to the design of Hudson and Wardrop, and included shops along the Acland Street frontage. The foundation stone of the hall was laid in November 1923 by the Governor-General. Subsequently two blocks of shops (nos. 92 and 94) were erected, with the first being nos. 94-94A during 1928 by the noted architect Harry Norris (BP 7306).

An aerial (Figure 17) dating to about the start of 1924 shows how far the commercial precinct had developed by that time showing the mixture of commercial buildings and residential buildings on the north side of Acland Street. The ground floor of the St Kilda Memorial Hall (no. 88) was under construction, to which the tower of *Tallageira* (nos. 92-94) was then in close proximity. On the opposite corner of Irwell Street, Victoria House still stood but the single storey block at nos. 96-104 had been constructed in front. Further east on Acland Street, the single storey block at nos. 134-44 and the two-storey block at nos 146-152 Acland Street had been erected and others, since replaced including the lower scale, former skating rink (later market buildings) at the corner of Barkly Street. Other two or three storey residential buildings are evident between Irwell and Bedford streets.

Similarly, the buildings on the east side of Barkly Street are captured. The façade of the two-storey mansion/school at no. 188 with a non-original, masonry two level verandah with arched openings, added as part of the conversion to flats; the two Victorian period villas at nos. 192 + 196 (the former survives behind shops); two x two storey shops at no. 198 (demolished), the Village Belle (no. 202), the earlier group of shops that extended between Smith and Blessington streets (nos. 204-214), and the extant single storey block at 35-49 Blessington Street are visible.



Figure 17 - 1924 aerial photograph (1926 in record) 'Just above St Kilda ...' (Source: SLV, E Ebell, H91.365/3)

The transition to retail continued on the south side of Acland Street from the mid-1920s onwards. The architect Lewis Levy designed two pairs of shops and dwellings in Acland Street at nos 171-73 in 1925 (BP 6212) and nos 87-89 in 1926 (BP 6441). In the latter year, the longest group of shops in the precinct consisting of 10 premises, were constructed for the Latrobe Investment company at 95-

103 and 107-115 Acland Street (Figure 18), on the old cable tram site (BP 6438). The construction of this block likely cemented the commercial evolution of the precinct. Designed by Leslie Perrot, 'each of the new shops will have a five-roomed dwelling for the use of the occupants. This shows recognition of the fact that the day of lock-up shop building is ended. A return to the time-honoured practice of suburban shopkeeper living on their business premises will be welcomed by many who have felt the burden of paying two rents — one for a shop and another for a suburban residence' (*Herald* 21 July 1926 p12). In that year a new market was established on site of the cable tram sheds at the rear of 95-115 Acland Street (*PT* 15 June 1928 p3).

Also, in 1927 the local traders formed the Village Belle Trader's Progress Association and in October of that year held its first 'shopping week' to promote the centre (*Age* 29 October 1927 p.13), which was emerging as a rival to the historic shopping strip along High Street (now St Kilda Road). Cooper in his history of St Kilda noted: 'Even today the place of the Village Belle has official recognition. Almost unnoticed it appears as if a place name for a municipal district is in the course of evolution, or that the place name is already evolved' (Cooper, vol. 1 p.266)

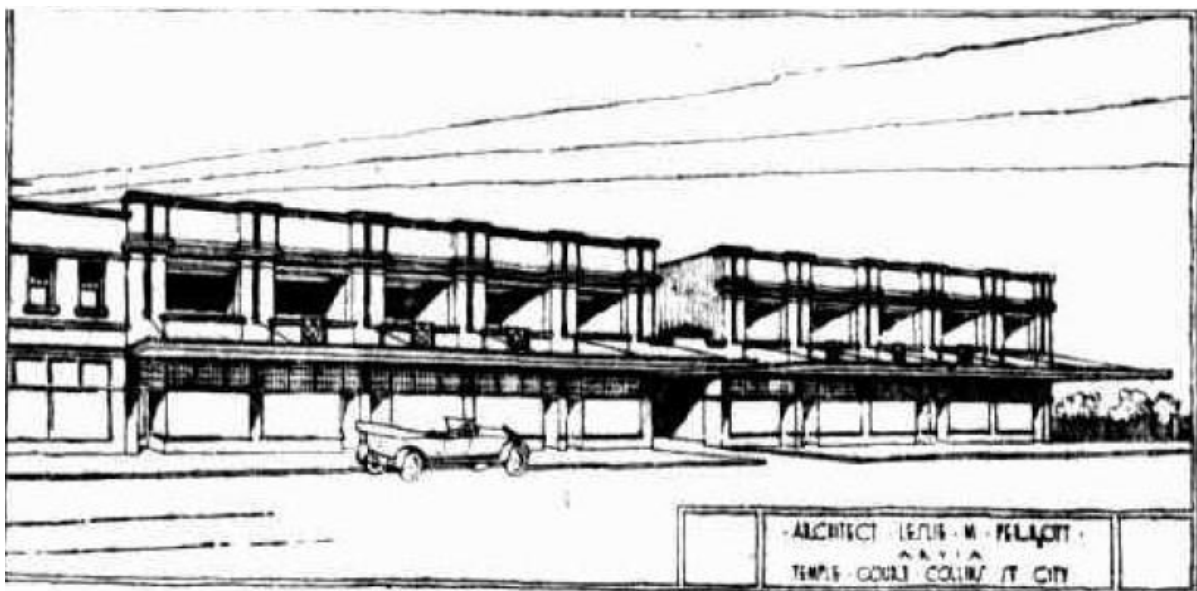


Figure 18 - 1926 perspective of the 10 shops at 95-115 Acland Street (Source: *Herald* 21 July 1926 p12)

A c.1930 aerial photograph (Figure 19), from a similar perspective to the 1924 aerial. The St Kilda Memorial Hall (no. 88) had been completed as had the shops nearby at 94-94A Acland Street (1928) on the corner of Irwell Street with the *Tallageira* mansion visible in between. 23-33 Blessington Street had not yet been altered (1934).



Figure 19 – circa 1930 aerial ' St Kilda showing ... c1948' 94+ 94A Acland Street had been constructed (arrow) but 23-33 Blessington Street (circled) had not been altered (Source: SLV, C D Pratt, H91.160/361)

In 1933, a new attraction opened in the precinct at 130 Acland Street, which was modelled on American precedents, being Ye Kynge's Galleone Coffee Lounge (later the Galleon). Within three years, this music venue had expanded into adjacent premises to include nos. 126-132 (AL, p55).

During the mid to late 1930s, several of the finest buildings in the precinct were erected in styles such as the Spanish Mission and the progressive Moderne style, both of which had a particular resonance in the bayside location. These buildings filled in the few remaining gaps in the retail streetscape. In 1935, Acland Court at 91-93 Acland Street (**PPHR 112**) by Leslie J.W. Reed, who was responsible for multiple buildings in the municipality, was erected with the most elaborate surviving shopfront in the precinct by the leading company Duff (BP 8833). In the following year, Leslie Perrott (already responsible for nos. 95-103, 107-115), designed the group of four premises at 92A-92D Acland Street (BP 9391, Age 23 June 1936 p17) (Figure 20) and is thought to also be responsible for a group of three opposite at 81-85 Acland Street, also for the Posner family (BP 9430).

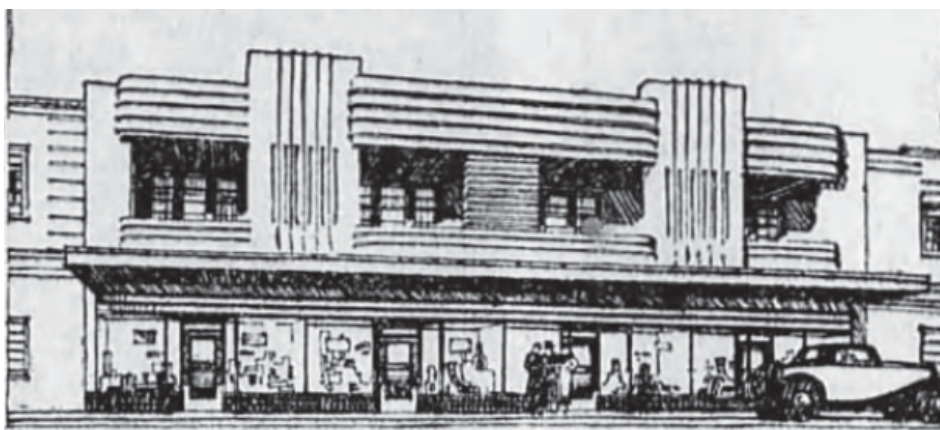


Figure 20 – 92A-D Adand Street, 1936 perspective (Source: Age 23 Jun 1936, p17)

In 1938, the architect Harry Norris designed the Coles store at 160 Acland Street (Figure 21) (**PPHR 97**), on the former Barkly Picture Theatre (formerly Elite skating rink) site (BP 9712). The Coles store was one part of the redevelopment of this large corner site with the buildings either side of it being designed by A G Hedley (*Herald* 6 August 1937 p14).



Figure 21 – Shows two buildings under construction in 1938, the Coles store at 156-160 Acland Street, as well as the building to left, part of the St Kilda Market site (now 181-89 Barkly Street). (Source: *Colesanco 1938*, vol. 10, issue 47)

The Plaza Coffee Lounge, another music venue was established on the upper level (AL, p119). Whilst most of the construction in the precinct area had occurred, it was said that ‘by 1938, shops were opening almost weekly’ and it had become ‘one of the busiest shopping centres in Melbourne’ (AL, p61). About this time, Jewish proprietors began to transform the precinct into a food destination, for instance the Monarch Cakes (103 Acland Street) was established in 1938 as a branch of their Lygon Street operation (JB, p80).

During the early part of WWII in 1941, G. J. (Gordon) & Bruce Sutherland designed the three-storey block comprised of shops and flats at 188 Barkly Street in front of the 1865 school by then converted to flats (**PPHR 293**).

On the following aerial photograph from 1945 (Figure 22), buildings constructed at the end the 1930s are evident including: 92(A-D) and 160-164 (Coles) Acland Street and the adjoining new buildings on the former Barkly Theatre site. In Barkly Street, the block at the front of no. 188 and the former Commonwealth Bank at no. 204 can be discerned. Also note this aerial shows that some shops on the south side were constructed in front of the original residences, one of which survives at 137 Acland Street.



Figure 22 - 1945 aerial Project No. 5, Run 17E, Frame 58011 (Source: Landata)

The following aerial photograph (Figure 23) was taken about the same time as the latter, when nearly all of the extant buildings in the precinct had been constructed. The Barkly Street frontage of Coles is captured as is the remodelled group at 23-33 Blessington Street, on the corner of Barkly Street.

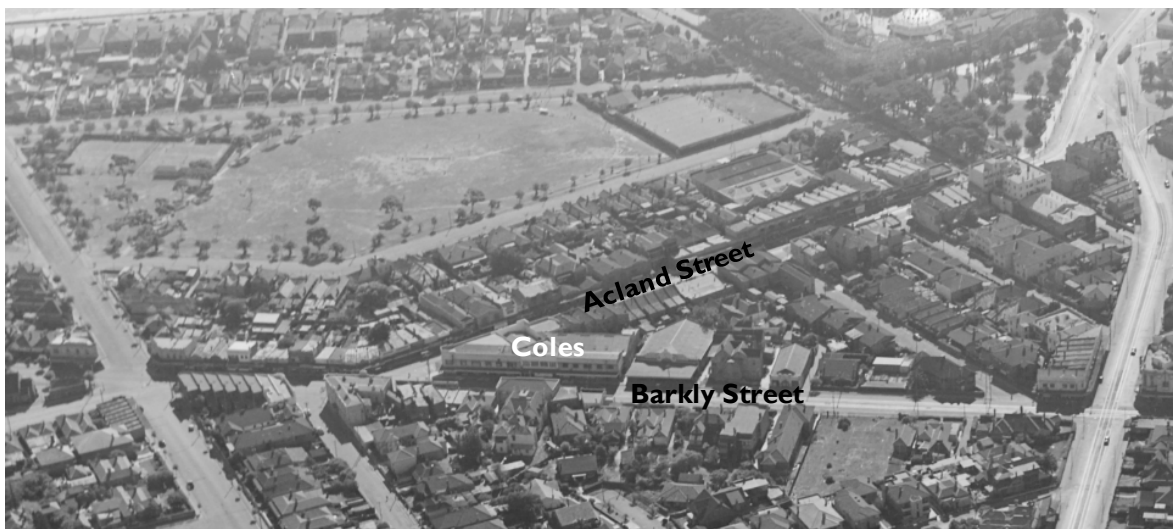


Figure 23 - January 1946 aerial (Source: SLV, C D Pratt, H91.1601464)

After World War II, the character of the precinct as a food and entertainment destination was consolidated, for instance in 1951, there were 83 shops in Acland Street, 34 of which were food related (JB, p100). At this time, many Jewish immigrants established businesses in the precinct area, creating a cosmopolitan milieu. Among these were cafes offering a range of alternative fare deriving from their European origins, such as Scheherazade, which opened in 1958 at 99 Acland Street. Issues arose however with the restrictive, permitted shopping hours, especially the limited weekend trading hours (closure at 12pm on Saturday) for a community observing the Sabbath (AL, p174-5). The local music venues - the Plaza and Melba coffee Lounges - became incubators to bop in post-WWII Melbourne (AL, p119). By 1947, the Commonwealth Bank also had a branch at 189 Acland Street and alterations and/or additions were taken out at that time and in 1952 (BP U301, U1457). Remodelling/changes were also undertaken to 175 Acland Street in 1956 by Dickson & Yorston (BP U2964).

The last notable building to be constructed in the precinct was the (former) State Savings Bank of Victoria (SSBV) at 133-135 Acland Street, designed by Best Overend in 1969 (**PPHR 95**). After the collapse of the SSBV in 1990, this became the Commonwealth Bank and that bank's nearby branch in Barkly Street was closed.

In October 1977, after persistent lobbying by local traders and the Council, the State government approved Sunday trading in the precinct as it was a designated tourist area, further increasing its popularity (AL, p286).

During the mid-1990s Acland Street was repaved and landscaped by Port Phillip Council, which included the planting of mature Canary Island palms (*Phoenix canariensis*) at either end of the street, as well as juvenile specimens of Washingtonia palms (*Washingtonia filifera*). The new paving and street furniture featured ceramic tiles created by local artist, Maggie Fookes, which were inspired by the shop tenants at the time. For example, the Eatmore Poultry store featured a tile with chicken, while there was a piggy bank in front of the ANZ bank, and a sheaf of wheat in front of a bakery.

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Parish Plan 2 (P2) - P81 (13) At Elwood Parish of Prahran

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3.0 Description

This precinct is comprised of commercial buildings mainly in Acland and Barkly streets, and in Blessington Street on either side of the intersection with Barkly Street.

In Acland Street, the following are included:

- north side between Carlisle and Barkly streets, 74-104, 128-162
- south side, Shakespeare Grove to Barkly Street, 77-193

In Barkly Street (north of Acland Street to Blessington Street):

- west side, 203-231A
- east side, 188-206

Blessington Street, south side (either side of intersection with Barkly Street): 27-33A (west) and 35a & 35-49 (east).

The carriageway of Acland Street unusually has been raised to the level of the footpath, such that the original channelling has been covered over (or removed). Basalt kerbing however remains in situ, though was likely relocated to create wide footpaths. The carriageway is relatively narrow, being not much wider than the tram tracks. Concrete bollards with a square cross-section separate the carriageway from the pedestrian zone in the western part, with no vehicular access west of Bedford

Street. The pedestrian zones are surfaced with alternating dark and light concrete with diamond or circular patterning, dating to the 1990s. Street planting was also introduced at that time incorporating palm trees, including mature Canary Island palms (*Phoenix canariensis*) at both the east and west ends with Washingtonia palms (*Washingtonia filifera*) in between.

The public domain in Barkly Street section of the precinct differs in that there is both a basalt kerb and channel with an asphalted carriageway and footpaths. With the narrower footpaths, there is no street plantings in this section.

Most buildings date to the Federation and Interwar periods, with a small number of Victorian buildings, and some post-World War II replacement and infill.

As typical in historic suburban shopping zones, the buildings extend to their street and side boundaries at the front of their respective sites. The building stock is mostly two storey, with a few single storey and one four storey.

Roofs are predominantly concealed by a parapet and clad in sheet metal, though a few are clad in terracotta tiles, two instances of which are visible.

The following provides an overview of the architectural styles found in the precinct area. Refer to the tables for specific descriptions of each Contributory building.

Victorian period

The earliest building in the precinct survives to the rear of 188 Barkly Street. Contemporary real estate photographs reveal that the basalt Gothic style mansion is considerably intact though the original front porch and verandah have been removed (during the early 20th century). It is not clear how much of the adjoining villa to the rear of 190-192 survives. The nearby Village Belle Hotel (no. 202) is intact to its late 19th century iteration.

In Acland Street, there is a shop at no. 74, on the corner of Carlisle Street, and two adjoining terraces at nos. 76-78 which have been altered to the front although to the rear (Carlisle Street) they remain largely intact. Part of the original house to the rear of 137A Acland Street also survives.

Federation Period

The Federation period buildings are generally red brick, with a rendered frieze/parapet and/or bands, and timber-framed windows.

Many reflect the 'Free' style, albeit at an unpretentious or modest level. The Free style was an eclectic urban design approach that incorporated, to varying degrees, elements from several contemporary architectural currents - namely an often impure, or sometimes exaggerated, adaptation of the classical tradition, the Art Nouveau, Romanesque (Richardsonian), Queen Anne revival, and the Arts and Crafts style. Characteristic elements evident in the precinct are curvilinear parapets, piers (often faceted) projecting above the parapet, some short and corbelled (that is projecting from the upper part of the wall).



Figures 24 & 25 – 211-209 (left) and 207-205 (right) Barkly Street



Figures 26 & 27 – 177-179 (left) and 146-152 (right) Acland Street

Interwar Period

Buildings dating to the early 1920s are often a continuation of the earlier Free style in red brick with some elements indicative of an overlapping Arts and Crafts such as an area of roughcast render. The windows are timber-framed double hung sashes but might be boxed-frame with multi-paned upper sashes and supported on brick corbels.



Figure 28 - 139-145 Acland Street, early 1920s with some Arts and Crafts elements

Much of the building stock in the precinct dates to the 1920s, many of which are designed in a Free Classical mode. Typically, the facades are symmetrical and rendered and display a variety of

traditional classical elements and motifs often in simplified and/or exaggerated manner. There is a prevailing use of parapets, sometimes stepped, with flanking projecting piers, cornices and panels. A simplified projection on the piers or pilasters is suggestive of a vestigial, capital-like element.



Figure 29 - 107-115 Acland Street, Free Classical style



Figure 30 - 94-94A Acland Street, distinctive example of the Free Classical style

There is one example of the Spanish Mission style identifiable in a commercial context by characteristics such as barley twist columns and arched windows.

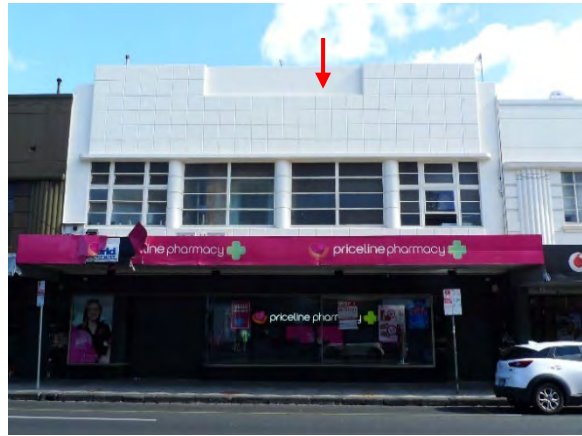


Figure 31 - 91-93 Acland Street, Spanish Mission style (PPHR citation 114)

The Moderne style is well-represented in the precinct. Streamlined Moderne buildings generally have a horizontal emphasis, sometimes with a contrasting vertical component. The horizontal emphasis is typically provided by banding and horizontal glazing bars (or muntins) to the windows. Whilst curved corners are a typical feature of this style, there is usually limited opportunity to incorporate in a shop building but this is achieved at 92 Acland Street with a central projecting bay. Wall finishes are either smooth render and/or bricks (clinker, tapestry or Roman). Ornamentation is otherwise limited but sometimes an Art Deco influenced panel/s may be incorporated. Windows are either timber or steel-framed.



Figure 32 – 81-85 Acland Street, Moderne style



Figures 33 & 34 – Sections of the Barkly Street elevations, north of Acland Street, both Moderne style. Coles site (PPHR citation 97) on left, note recess in parapet where the original signage was located.

Shopfronts

The earliest surviving shopfront (mostly intact) in the precinct is probably that at 74 Acland Street, which may date to the late Federation period.

Several largely intact shopfronts dating to the Interwar period survive in the precinct. They usually retain a tiled recessed entry, a tiled stallboard, original metal framing (various finishes including copper, brass, silver, etc.) with toplights, a few with decorative glass (lead lighting and stained glass). Some also retain their original timber-framed door and pressed metal to the soffit/ceiling in front. The Acland Court shopfront (Figure 35) designed by Duff is the most outstanding example in the precinct.



Figure 35 - Acland Court, 91-93 Acland Street (PPHR citation 112)

In a several instances the badge of the manufacturer survives. Of the remaining identified shopfitters, the most can be ascribed to Brooks Robinson, which were one of the largest companies. Other companies represented are N & N Shopfitters, Federal and Duff.

Several original cantilevered canopies also survive with pressed metal ceilings/soffits in Acland Street (nos 111) and Barkly Street (nos 188, 213).



Figures 36 & 37 – 23-33 Blessington Street, 1930s shopfronts

A few shopfronts with chrome frames and/or tiling survive dating to the post-WWII period. The shop at 103 Acland Street (Monarch Cake Shop, Figure 38) is a fine example with a canted window.



Figure 38 - Monarch Cake Shop, 103 Adand Street. 1950s shopfront

A few shopfronts are partially intact, in that they retain their original format with a stallboard and recessed entry and some original fabric.

Acland Street – north side

No.	Period/date	Details
74	Victorian	Two storey, corner building, Italianate style, rendered with parapet embellished with panels of vermiculation, etc. Shopfront – tiled stallboard (overpainted) and entry, timber-framed.
76-78	Victorian	Pair of two storey terrace houses, converted to shops. Altered to the front, intact to the rear with chimney.
80	Interwar 1923	St Kilda Memorial Hall, Commercial Palazzo style. Four storey, rendered, tall order pilasters to extended piano nobile, frieze with Greek key pattern, temple pediments (bays and entry canopy), attic, windows with margin lights. (PPHR citation I 13)
92 A-D	Interwar 1935	Four two-storey, Moderne style. Rendered and Roman bricks, horizontal and vertical banding, central pair project with curved corner, steel-framed windows (middle two altered).
94+ 94A	Interwar 1928	Two two-storey, distinctive Free Classical style, roof with terracotta tiles, part expressed; classical detailing (guilloche-like to bands), pilasters, multi-paned windows, and tiled spandrels. Original metal-framed shopfront to no. 94 with tiled stallboards (overpainted), door and leadlight to toplights. The maker's badge is illegible.
96-104	Interwar 1923	Six (two cojoined) single storey, Free Classical style, rendered, stepped parapet with piers.
134-144	Interwar By 1924	Six single-storey, Free style, parapet with wide arch pediment across between flanking piers across 2 premises. Originally had gable roof with transverse ridge.
146-156	Late Federation/early Interwar 1919	Five two-storey, Free style, red brick (3 overpainted), roughcast render to frieze, fine engaged columns pilasters to projecting piers of nos 146-148, stilted Romanesque arch windows with varying timber tripartite frames, slotted panels below windows and to parapet of no. 146.

No.	Period/date	Details
(part of 181-189 Barkly Street)	Interwar 1937	Moderne style, two storey rendered building with band of steel-framed windows framed by wide reed/fluted pilasters and narrow hood with horizontal banding and scalloped motif below projecting coping.
160 (also extends through to Barkly Street)	Interwar 1938	Moderne style, two storey rendered building with panelling to parapet, narrow concrete hood over bank of steel-framed windows, flagpole. Original Coles shopfront - black tiles to stallboards with curved corners, metal-framed, granolithic thresholds. Some original internal elements also survive. (PPHR citation 2448)
162-170 (and 193-197 Barkly Street)	Interwar 1938	Moderne style, two storey rendered building with band of steel-framed windows framed by wide reed/fluted pilasters and narrow hood with horizontal banding and scalloped motif below projecting coping.

Acland Street – south side

No.	Period/date	Details
81-85	Interwar 1936	Moderne style, three two-storey, banded face brick (overpainted), fins on rendered panel above faceted oriel bays with steel-framed windows.
87-89	Interwar 1926	Two single-storey, Free Classical style, rendered parapet (no. 87 truncated) with dentillated cornice
91-93	Interwar 1935	Acland Court - two storey, mirrored pair, Spanish Mission style, rendered with brick highlights (clinker to arches, Roman to parapet panels), balconies with barley twist columns and tiled roof, arched steel-framed windows. Shopfront by Duff – metal framing, granolithic entry, timber door, curved corner, tiled stallboard, stained glass to toplights. (PPHR citation 114)
95-115	Interwar 1926	Ten two storey in two groups of five, Free Classical style, red brick (several overpainted) and rendered coping and bands, simplified classical detailing, cornice and pilasters

No.	Period/date	Details
		<p>with keystone-like capital, originally had recessed balconies though all but one infilled.</p> <p>Shopfronts:</p> <p>97 – largely intact, tiled stallboard etc, (overpainted), metal-framed, toplights.</p> <p>103 – post-WWII, canted window, tiled entry and stallboard, chrome finish, toplights.</p> <p>111 by Federal – tiled stallboard and entry, metal-framed.</p>
133-135	Late 20 th 1969	<p>International style</p> <p>Former SSVBV, single storey however with tall parapet. At ground level the facade is setback slightly from the front boundary beneath the paired wide, segmental arched concrete canopies. The façade is completely clad in off-white marble panels except for glazed entry. The terrazzo floor tiling at the entry are possibly not original (meant to be concrete tiles)</p> <p>(PPHR citation 95)</p>
137	Post-WWII	Two two-storey, overpainted brick, large timber window. Victorian period house to rear.
139-145	Interwar	Four two-storey, Free style, red brick, mirrored group, tile clad roof concealed, roughcast render to curved parapet, piers, concrete lintels. No. 145 with original boxed-frame, sash windows (upper sash multi-paned), though others replaced.
159-163	Interwar 1923	Three two-storey, Free Classical style, rendered, moulded brickwork to parapet coping and projecting piers, boxed-frame window with sashes.
165	Interwar	Single storey, Free Classical style, asymmetrical curve to rendered parapet, simplified classical detailing including rusticated piers.
167	Interwar	<p>Two storey, Free Classical style, tiled roof extending forward to canopy between piers, rendered, geometric leadlight to sash windows.</p> <p>Shopfront by N & N – partly intact, stallboard tiles and granolithic entry.</p>

No.	Period/date	Details
169-173	Interwar 1925	Pair with gabled façade, Free Classical style, rendered, altered, windows mostly concealed by blinds 173 shopfront – frame with copper finish, stained glass to highlights with vines, tiled stallboard.
175	Interwar + Post-WWII 1927 + 1956 (facade)	Two storey. Interwar building with Post-WWII facade, consisting panelled parapet, band of windows, flagpoles to side piers, tile clad roof.
177-179	Federation	Pair of single-storey with different central parapet profiles, Free style, overpainted tuck-pointed brick
183-187	Interwar	Three single-storey, Free Classical style, rendered, parapet with panels and piers
189	Post-WWII 1947 + 1952	Single storey with tall parapet, panelled with umber Roman brick edge
191	Post-WWII	Tall parapet clad with metal sheeting

Barkly Street – west side

No.	Period/date	Details
181-189 and 193-197 (and 162-170 + Acland Street)	Interwar 1938	Moderne style, two storey rendered building with band of steel-framed windows framed by wide reed/fluted pilasters and narrow hood with horizontal banding and scalloped motif below projecting coping. Nos 193-197 - Original shopfronts by Duff + N & N shopfitters with black tiles, metal-framed, granolithic thresholds.
205-207	Federation By 1911	Single storey, pair, rendered parapet with faceted corbelled piers/tourelles, Art Nouveau drop motifs Shopfront no. 207 by Federal – tiled stallboard and entry, metal-framed,.
209	Federation	Two storey, face brick (overpainted) and rendered, faceted brick piers with conical caps, four Art Nouveau

No.	Period/date	Details
	By 1911	drop motifs, tripartite window with decorative glass to toplights Shopfront mostly intact – Brooks Robinson, metal-framed, tiled stallboard and threshold, altered doorway.
211	Federation	Similar to no. 209, two storey, brick with render frieze and bands, squared piers, three Art Nouveau drop motifs, concrete lintel to a wider window. Shopfront – intact, tiled threshold and stallboard, metal-framed, timber door.
213	Federation	Single storey, rendered, scalloped/curved parapet.
221-223	Federation 1912	Single storey, Free style, brick (overpainted) rendered parapet with dated pediment (1912) and some classicising detailing. Shopfront no. 221 – mid-20 th century, tiled entry, sliding timber door, chrome frame, toplights.
227-227A	Federation/Interwar	Two storey, rendered, curved parapet, projecting corbelled piers, diamond motifs and a fluted niche to chamfered corner Shopfront no. 227A – largely intact, Brooks Robinson, tiled stallboard and entry, metal-framed, toplights.
229-231A + 23-33A Blessington	Interwar 1919 + 1934	Extended and remodelled, lightly rendered with an entablature (cornice and frieze) and panels below windows. Art deco panels to lintels to western extension. Shopfronts - intact, Brooks Robinson, metal framed, tiled thresholds and stallboards/walls, timber doors.

Barkly Street – east side

No.	Period/date	Details
188	Victorian 1865 Late Interwar 1941	Two storey, (Rustic) Gothic style mansion to rear with basalt walls and cream brick quoining, slate-clad, gable roof, original verandah removed. Other sections in garden setting, separated and linked to front. Moderne/Functionalist style, three storey, cream brick, tile clad roof concealed by stepped parapet with dogtooth

No.	Period/date	Details
		band. Central bay with rendered bands and timber-framed windows with horizontal glazing bars and rusticated edges. Shopfronts - marble thresholds and tiled, ribbed glass to toplights, canopy with pressed metal to soffit. (PPHR citation 293)
190-192	Victorian Interwar	Villa to rear, U-shaped roof clad in sheet metal, façade presumably removed. Single storey, façade with rendered parapet featuring simplified classical including pilasters and central panel, the detailing of which has been removed to no. 192.
194-196	Interwar	Single storey, parapet consistent with no. 190 however with central pediment. The original parapet of no. 196 likely survives but is concealed by metal sheeting.
202A	Victorian	Village Belle Hotel Ornate two storey rendered building, rusticated to the lower level, with fluted keystones and recessed arcaded balcony to the upper level, and parapet with bottled balustrade and open segmental pediment.
204-206	Interwar 1939	Former Commonwealth Bank, two storey Moderne style, rendered, curved corner entry bay, contrasting horizontal and vertical recessed banding, narrow sash windows with horizontal glazing bars.

No.	Period/date	Details
35-49 Blessington Street	Interwar 1916	Seven single-storey, Free Classical style, rendered, parapet featuring simplified classical detailing. Shopfronts – Duff, black tiles, metal-framed, textured glass to highlights,

4.0 Comparative Analysis

The Village Belle Commercial Precinct is one of three main commercial precincts in the municipality which primarily date to the Federation and Interwar periods. The subject precinct is larger than the other two and further distinguished by having several buildings dating to the 1930s, with a

preponderance of those designed in the Moderne style, whereas the buildings in the other two precincts mainly date to the 1910s and 1920s.

- Ripponlea Commercial Precinct (also proposed to be separated from HO7) on Glen Eira Road. Many of the buildings have face red brick with some contrasting render (smooth or roughcast) and clinker brick elements, reflecting a prevailing influence of the Arts and Crafts aesthetic. It also contains a group of three elaborate adjoining bank buildings.
- Glenhuntly and Ormond roads, Elwood (part of HO8, Elwood-Glenhuntly Rd, Ormond Rd). The commercial zone consists of two, separated sections – western and eastern. In the western section, many buildings have a combined palette of red brick and render except for the Free Classical style former bank, which is fully rendered. The unusual street configuration provides a landmark corner building with two oriel bays. In the eastern section (between Docker and Foam streets), several buildings are also indicative of the Free Classical style.

Most other commercial precincts have a core of Victorian period buildings in addition to those dating to the 20th century:

- The Carlisle Street Commercial and Public Precinct (also proposed to be separated from HO7) is distinguished from other commercial zones/precincts in the municipality by having an even mix of buildings from the three main periods of development – Victorian, Federation and Interwar – as well as having key examples from the Post-WWII and Late 20th century periods. There are considerable number of Federation and Interwar period examples as many of the 19th century buildings were timber construction as the area, with its poor drainage, initially attracted a lower socio-economic group. These buildings were replaced during the early 20th century. In addition, the commercial zone expanded into former residential areas at the eastern and western ends at this time.
- Fitzroy Street (part of HO5, St Kilda Hill) – mostly larger buildings, often part of larger residential buildings (multi-storey east of Grey Street). Due to the lack of narrow/standard suburban shopping centre allotments, it has a markedly different character. There are a few Victorian period buildings in the vicinity of the Grey Street intersection (including the part of the George Hotel) otherwise most of the graded buildings date to the Interwar period.
- Clarendon and Park streets, South Melbourne (part of HO440, Emerald Hill Residential Precinct) is another large commercial zone along a tram route and near a railway line (now light rail). It consists largely of Victorian, a few Federation and Interwar period examples.
- Bay Street, Port Melbourne (part of HO1, Port Melbourne) is a large commercial zone with many Victorian, some examples from the Federation and Interwar periods, as well as some recent redevelopment, including multi-storey (south end).
- Armstrong Street Commercial Precinct, Middle Park (HO445) is a small precinct with Victorian and Federation period buildings dating from circa 1888 to 1910.

5.0 Statement of Significance

What is significant?

The Village Belle Commercial Precinct comprising 74-104, 128-162 & 77-193 Acland Street, 203-213A & 188-206 Barkly Street, and 27-33A and 35A & 35-49 Blessington Street (south side, either side of intersection with Barkly Street) in St Kilda is significant.

During the 19th century, this area was residential except for the Village Belle Hotel and the shop at 74 Acland Street (corner of Carlisle Street). There were a few mansions on the north side of Acland Street and nearby on the west side of Barkly Street, only one of which survives – the former Hofwyl School (later Queens College) at the rear of 188 Barkly Street. The south side of Acland Street (and

adjoining part of Barkly Street) developed later, as this land was initially part of the nearby reserve, and generally with villas and the like. The completion of the tram service in 1889 was however an impetus for change.

About the turn of the 20th century, individual and paired commercial buildings began to be constructed at the east end of the precinct initially opposite the Village Belle so that by about 1920 the Barkly Street section had become largely commercial. Subsequently commercial development progressed along Acland Street, including several larger multiple premises. By the beginning of World War II, there were only a few of the original houses – with or without a commercial building to the front - surviving in the precinct.

The following features contribute to the significance of the precinct:

- Single and two-storey masonry buildings, mostly commercial, with a broad period of significance: predominantly the Federation and Interwar periods, but with examples from the Victorian, Post-WWII and Late 20th century periods.
- Parapets, with a variety of detailing, and some expressed roof forms (tile clad).
- Wall finishes including render (smooth and/or roughcast) and/or brickwork (often overpainted).
- Decorative rendered/pressed cement elements to cornice, frieze, windows, etc.
- Original timber-framed (double-hung sash [including boxed-frame] or casements), and steel-framed windows.
- Shopfronts dating to the Federation, Interwar and Post-WWI I periods, with recessed entries (often retaining a pressed metal ceiling), metal framing, original decorative glass to toplights, tiling to entry floor and/or stallboards, and timber-framed doors.
- Cantilevered canopies with pressed metal soffits and/or brackets/framing.

The Significant places within the precinct are:

- 84-90 Acland Street (St Kilda Memorial Hall)
- 91-93 Acland Street (Acland Court)
- 133 Acland St (former State Savings Bank Victoria)
- 160 Acland Street (former Coles)
- 188 Barkly Street (flats & shops and 19th century basalt building)
- 202A Barkly Street (Village Belle Hotel)

The Non-contributory properties are:

- 73-77, 117, 131, 147-153, 193 Acland Street.
- 203, 217, 219, 225 Barkly Street.

All other properties not listed above are Contributory places.

How is it significant?

The Village Belle Commercial Precinct is of local historical, representative and aesthetic significance to the City of Phillip.

Why is it significant?

Historically, the precinct illustrates the significant growth of St Kilda during the early twentieth century, especially with the increased density associated with flat development in the vicinity

requiring the need for a local shopping centre in addition to servicing the patrons of the nearby entertainment venues. It also became a tourist destination in itself, initially with a skating rink and cinema and later music venues and eateries. It does however have a partly concealed layer associated with the earlier, mainly residential 19th century phase when the precinct was developed with a few mansions, several villas and the like.

It is a representative example of a typical pattern of land division in the St Kilda area, where large Victorian holdings were subdivided during the Federation and Interwar periods, often with the associated mansion being demolished. The precinct is however notable for the retention of one original mansion, albeit concealed from the public realm, illustrating a key aspect of the 19th century development of this area. The former Hofwyl School, later Queens College, operated as a private school for over half a century, and is a rare surviving example of such a building type, and has further distinction by its material palette of basalt, which is uncommon south of the Yarra. (Criteria A, B & D)

Aesthetically, it is primarily an early twentieth century commercial area, consisting of many fine examples from the Federation and Interwar periods. The Federation period examples, mainly near the south-west corner of Acland and Barkly streets, are often indicative of the Free style and feature distinctive parapet detailing, some revealing the influence of the Art Nouveau. The Interwar period buildings reflect some of the popular, contemporary commercial styles with those from the 1920s invariably in a Free Classical mode, and the St Kilda Memorial Hall in the related Commercial Palazzo style, whereas during the mid to late 1930s, the Moderne style was commonly employed with some distinctive examples (e.g. 81-85, 156-160 Acland Street) though there is also a good example of the Spanish Mission style (91-93 Acland Street), a building which retains a fine shopfront. The consistent use of brick and/or render provides a cohesiveness to the streetscapes as does the largely single and two storey scale, with two taller buildings effectively bookending the precinct. The significance is enhanced by the survival of several intact shopfronts, many original to the period of construction of the building. The Village Belle Hotel from the Victorian period is a local landmark and notable. A few buildings dating to the later part of 20th century also contribute to the aesthetic significance of the precinct, in particular the former SSBV. (Criterion E)

6.0 Recommendations

Excise from HO5 and HO7 to create separate precinct heritage overlay.

Extensions recommended (that is, not currently within the HO as part of HO7 or HO5):

- 96-104, 95-131, 147-181 Acland Street.
- 35A & 35-49 Blessington Street.

Removal from HO and precinct (that is, currently part of HO7): 208-218 Barkly Street.

Delete individual HO33 applying to 202 Barkly Street (Village Belle Hotel) and transfer property to new Village Belle Commercial Precinct HO.

7.0 Assessment

RBA Architects & Conservation Consultants, *HO7 Elwood St Kilda Balacava Ripponlea Precinct heritage review Stage 2, 2022*

Westbury Close Precinct

Places of individual significance within the precinct that have a separate citation in the Port Phillip Heritage Review with additional descriptive and historical information are indicated in **bold**.

1.0 Thematic Context

Victoria's framework of historical themes

6. Building towns, cities and the garden state: 6.3 Shaping the suburbs, 6.7 Making homes for Victorians

Port Phillip thematic environmental history

5. Buildings and cultural landscapes: 5.2 Shaping the suburbs (5.2.2 Private development), 5.3 Diverse Housing (5.3.3 Suburban bungalows)

2.0 History

The Westbury Close Precinct formed part of Crown allotment 215A in the Parish of Prahran, East of St Kilda, County of Bourke (PP). The five-acre allotment was purchased in the 1850s (by 1857) by T L M Winter, a land agent and territorial magistrate.

Subsequently, the allotment was subdivided in half lengthways, and developed with two substantial residences fronting Carlisle Street: *Kinnord* c.1859 for (Hon.) George Rolfe, merchant and politician, and *Irona* c.1869 for Edmund S Parkes, inspector of the Bank of Australasia (MMD record nos 5556 and 3558).

Both properties changed hands several times during the latter part of the 19th century and into the 20th century. By the early 1890s, *Irona* had been renamed *Willyama*.

In 1894, a hydropathic facility 'for the treatment of all diseases' was established at *Willyama*, with baths provided in a separate dedicated building at the rear (*Prahran Telegraph* 10 October 1894 p.3). Interestingly, between 1914 and 1921 *Willyama* was owned and occupied by Thomas Duff, whose company Thomas Duff and Bros. manufactured many of the early shopfronts that survive in nearby commercial areas.

The MMBW plan (Figure 1), dated 1898, shows the two residences on their substantial grounds, with an orchard at *Kinnord* and a tennis court at *Willyama*.

In November 1922, the two properties were purchased by a group of five local men: Samuel Gorton McGuinness, investor, Arthur Apps, undertaker, Louis Epstein, tailor, Charles Thomas Hackett, plumber, and Henry Hall, plumber (CT Vol. 4676 Fol. 055). Around this time, *Kinnord* and *Willyama* were demolished.

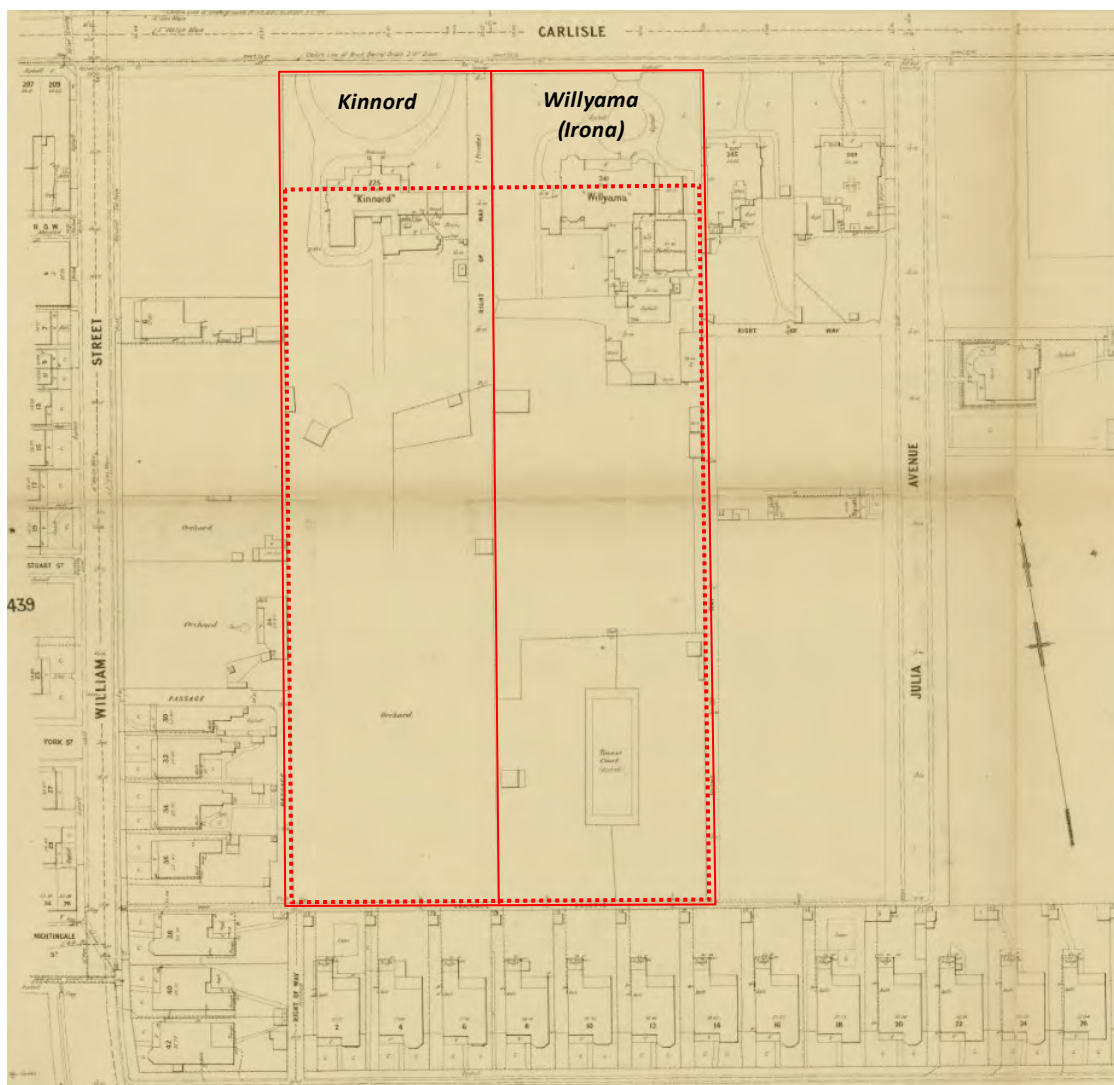


Figure 1 - MMBW Detail Plan No. 1438 (dated 1898) showing Kinnord and Willyama. Indicated are the boundaries of the two properties (solid red line) and the approximate boundaries of the Westbury Close Precinct (red dash). (Source: State Library of Victoria)

The land was then consolidated and subdivided, creating 16 commercial allotments fronting Carlisle Street and 22 residential allotments in Westbury Close. A notice for the December 1922 auction of the 'Westbury Estate' provided the following favourable description:

Gas, water, electric light and sewerage are all on the estate. The Westbury Estate is the heart of a prosperous, fast growing district, and Carlisle Street business centre is going ahead by leaps and bounds, and is sure to rival Glenferrie Road, Malvern and Glenhuntly Road, Elsternwick. (Argus 8 November 1922 p.2)

All the residential allotments were developed between 1923 and 1929, mostly with single storey bungalow style houses. The c.1925 photograph (Figure 2) shows that by this time eleven allotments within the precinct had been developed, while the 1931 aerial photograph (Figure 5) shows the street fully developed.



Figure 2 - Aerial Photograph c. 1925 (W R Garrett) showing Westbury Close just over half developed. (Source: State Library of Victoria, H98. 129/21)



Figure 3 - Aerial Photograph (dated 1931) showing Westbury Close fully developed. The London Plane trees appear to have been planted. (Source: Landata, Proj No 1931, Maldon Prison, Run 15, Frame 2750)

Three of the allotments (nos 126, 128 and 137) were purchased by local builder Joseph William Fairbanks (and his wife Agnes) who was likely responsible for the construction of these houses (CT Vol. 4676 Fol. 055). The only two storey building, 'Westbury Court' (Figure 4) at no. 147 containing three flats (one at ground floor and two at first floor), was constructed in 1928 by builder R Jones for owner Mrs R Kingham (BP 7225).



Figure 4 - From the original drawing for 'Westbury Court' 147 Westbury Close, showing the east/front elevation (Source: Council Building File)



Figure 5 - Aerial photograph dated 1945. The street trees are clearly apparent. (Source: Landata, Proj No 5, Melbourne and Metropolitan Area Project, Run 17E, Frame 58014)

References

Certificates of title (CT): Vol. 4676 Fol. 055; Vol. 1622 Fol. 373; Vol. 1504 Fol. 678; Vol. 839 Fol. 701; Vol. 3348 Fol. 465; Vol. 3058 Fol. 459; Vol. 1954 Fol. 746.

Council Building File for 147 Westbury Close

Lodged Plan No 9271 (10 April 1923)

Melbourne Mansions Database compiled by Miles Lewis (MMD)

Newspapers, various

Parish Plan (PP), at Elwood, Parish of Prahran, P81 (13)

Port Phillip Thematic Environmental History (TEH), February 2021

Sands and McDougall's Street Directory (SM)

St Kilda Building Permits Register (BP)

3.0 Description

The Westbury Close Precinct was created from an Interwar subdivision of two former nineteenth century mansion estates. It is comprised of 21 properties of a consistent size on both sides of the street. The contributory buildings, of which there are 19, all date to the Interwar period (built between 1923 and 1929).

The street is lined with mature London planes (*Platanus x acerifolia*), which are most likely contemporary with the houses. The original basalt kerbing and channelling has been retained. The carriageway and footpaths are asphalt, while the crossovers are a mix of concrete (including some which may be original, identifiable by their high aggregate content) or asphalt.

Overall, the streetscape is highly intact and cohesive. There are no visible rear additions, and there are relatively few alterations. There are only two non-contributory places in the precinct; an extensively altered 1920s house at no. 135 and a single storey late 20th century house at no. 114.

All the buildings in the precinct are free-standing and set back several metres from the front boundary in a garden setting consistent with most contemporary suburban development. Except for the two storey flats at no. 147 (Figure 6), all are single storey (some with attics).



Figure 6 - Two-storey flats 'Westbury Court' at no. 147

Front fences are generally low and masonry (face brick or rendered) and many are original. Only the flats at no. 147 are without a front fence.

The roof forms are usually either gabled, hipped or jerkinhead (hipped gable), with many having a combination. All the roofs are clad in tiles, mainly terracotta and generally unglazed, and some have

finials. The eave soffits are lined in timber boards, and some have exposed rafter ends. All places retain original chimneys, which are either face brick, roughcast rendered or a combination of both.

Most buildings have asymmetrical façades, but some are symmetrical, or largely so, such as nos 129 and 133 (Figure 7). The walls are of brick construction and are either face brick (red and/or clinker), rendered or a combination of both. Gable ends feature timber shingling, brick detailing or battening. Porches are a standard element and there is a considerable variety in their expression.



Figures 7 & 8 - No. 133 (left) with symmetrical façade and no. 126 (right) with asymmetrical façade.

Windows are timber-framed with double hung sashes. The windows to the front façade are typically grouped and some have decorative glass such as leadlight quarrels/designs or stained glass, or multipaned upper sashes. Bay windows, faceted or curved, are common.

Styles

The houses in the precinct are in the prevailing Bungalow style of the 1920s, with two examples revealing the influence of the Spanish Mission style (nos. 118 and 141).

The Bungalow style buildings have predominately broad gable or hipped gabled roofs, usually with exposed rafter ends to their timber lined soffits. The gable ends typically feature battening (giving a half-timbered effect) or timber shingles, and the walls and other elements are commonly expressed in contrasting brick and roughcast render. Porches are often a prominent element. Overall, the informal design of the bungalows reflects the influence of the Arts and Crafts aesthetic, especially in their combination of 'natural materials'.



Figures 9 & 10 - No. 127 (left) and no. 131 (right), examples of the Bungalow style.



Figure 11 - No. 141 Spanish Mission influence

The Bungalow style as expressed in suburban Melbourne during the Interwar period is a regionalised adaption of (primarily) west coast American bungalow elements and well-established Federation period idioms. The influence of the American 'Californian Bungalow' is indicated by a horizontal emphasis, broad and often tiered gable roofs and prominent porches (often with battered piers). The bungalow was promoted across Australia by building magazines and institutions and was quickly embraced as the preferred type of development for middle-income families, its desirability bolstered by a perceived informality, scope for variation and strong associations with the suburban ideal.

The following table summarises the key details of each original house in Westbury Close that contributes to the precinct.

Address	Year	Details
East Side		
116	c.1926	Bungalow style, transverse ridge, dormer window, exposed rafter ends, contrasting brick detailing in gable ends, curved bay window, lead lighting, original fence.
118	c.1928	Spanish Mission influence, hipped roof, triple arched porch with barley twist columns and medallions, curved bay window with timber shingle skirt above, original fence.
120	c.1924	Bungalow style, return porch, exposed rafter ends, red brick with bands of contrasting clinker brick sailor courses, rendered band, curved bay, original fence (overpainted).
122	1924	'Langunyah' Bungalow style, transverse ridge, prominent porch with exposed projecting rafter ends, indented pattern to gable end, bay window, leadlight diamond quarrels, original roughcast rendered fence (including taller piers to driveway) and metal gates with an unusual design. Built by E Jennings and Sons (Building Permit no. 5619 dated 18 Feb 1924) Allotment was originally in the same ownership as no. 124.
124	c.1927	Bungalow style, jerkinhead roof with transverse ridge, contrasting brick detailing, bay windows, original fence. Allotment was originally in the same ownership as no. 122.
126	c.1924	Bungalow style, prominent porch with exposed rafter ends and battered piers, timber shingling to main gable end and contrasting brick detailing (overpainted) to the other, roughcast render walls (appear overpainted), curved bay windows, original fence.

Address	Year	Details
		Allotment was originally in the same ownership as nos. 128 and 137.
128	c.1924	Bungalow style, triple gable ends with battening to front two, side porch with extension of roof as a hood across the façade, faceted bay window, lead lighting, original fence. Allotment was originally in the same ownership as nos. 126 and 137.
130	c.1924	Bungalow style, projecting porch with jerkinhead roof and pointed arch, timber battening in gable end, bay windows, side garden wall with sloping top, non-original fence.
132	c.1928	Bungalow style, fluted Tuscan order columns to porch, curved bay and squared bay, timber shingling to gable end, contrasting clinker brick banding, original fence.
West Side		
127	c.1924	Bungalow style, finials, corner bay window, timber shingles, lead lighting, original fence.
129	c.1926	Bungalow style (Arts and Crafts type), roughcast rendered walls with brick detailing, bay windows, lead lighting, timber shingling, prominent porch with battered piers and arched entrance, original fence. Allotment was originally in the same ownership as no. 131.
131	c.1927	Bungalow style (Arts and Crafts type), roughcast rendered walls with brick detailing, bay windows, lead lighting, timber shingling, prominent porch with battered piers and arched entrance, original fence. Allotment was originally in the same ownership as no. 129.
133	c.1923	Bungalow style, symmetrical façade, finial, timber shingling to gable ends, bay windows, leadlight diamond quarrels, original fence.
137	c.1925	Bungalow style, timber shingling in gable end, prominent separately massed porch, combination of roughcast and smooth render, geometric detailing, lead lighting, original fence. Allotment was originally in the same ownership as nos. 126 and 128.
139	c.1924	Bungalow style, timber shingling to gable end, multi-paned upper sashes, walls have contrasting roughcast render (overpainted) to upper part and face brick to lower part, original fence (overpainted).
141	1929	Spanish Mission influence, hipped roof, roughcast rendered walls, multi-paned upper sashes, prominent arched entrance with decorative parapet, side garden wall with canted pantiles or similar, original fence. Built by J Evans (Building permit no. 7512, dated 3 July 1929)
143	c.1923	Bungalow style but altered (that is, openings enlarged/changed, walls fully rendered), gable roof clad in terracotta tiles, fence probably altered or postwar.
145	c.1926	Bungalow style, jerkin head roof, curved bay window with timber shingling above, lead lighting, fence probably altered.
147	1928	'Westbury Court' Two storey flats, hipped roof, prominent battered chimneys with roughcast rendered finish, slatted timber soffit, roughcast rendered walls with contrasting smooth render (all overpainted), multipaned detail to some

Address	Year	Details
		windows, Tuscan order columns, no fence. Later alterations (date unknown) include introduction of stairs on north side and infill of balcony openings – broadly sympathetic. Built by R Jones (Building Permit 7225, dated 9 July 1928)

4.0 Comparative Analysis

The Westbury Close Precinct is significant as a highly intact enclave of Interwar period development. Comprised predominantly of Bungalow style houses as well as a block of flats, that were all built between 1923 and 1929 on consistently sized allotments created from the subdivision of two nineteenth century mansion estates. The two storey flats building is modestly sized and has a similar façade width to the houses.

The precinct can be compared to a number of areas and streets within the municipality which contain Interwar residential development and are included within heritage overlays, mainly concentrated in the southern parts of the municipality. Interwar residential development is often interspersed amongst building stock from earlier (Victorian and Federation) or later (Post-war) periods. Where Interwar residential development is dominant, areas typically comprise a mix of building types (i.e. houses and flats) and, like the subject precinct, commonly derive from mansion estate subdivision.

- The St Kilda East: Murchison Street & Wavenhoe Avenue Precinct (HO391). An intact area of mainly Interwar bungalow-style houses built during the 1920s, supplemented by some Federation period houses and Interwar period flats built during the 1930s. The area was formerly occupied by several nineteenth century mansions, two of which survive.
- Eildon Road, which forms part of the St Kilda Hill Precinct (HO5). Comprises buildings of the Interwar period with a high proportion of flats, built on subdivisions created from nineteenth century mansions of which one ('Eildon') survives today.
- Wimbledon and Hennessy avenues area within the St Kilda Botanical Gardens & Environs Precinct (HO7). Interwar period flats and houses (several altered) built within the grounds of two nineteenth century mansions ('Wimbledon' and 'Rothermere') that still remain.
- Heaton Avenue and Burns Street within the Brighton Road (Elwood) Precinct (HO318). Heaton Avenue is probably the most comparable to the subject precinct, having been fully developed in the 1920s with bungalow style houses, but it is a smaller group than the subject precinct, a couple of houses have been considerably altered, and few original fences survive. The Interwar streetscape of Burns Street also includes a few earlier houses (Victorian and Federation) and later development including flats. Like the subject precinct, both streets have basalt kerbing and channelling, and mature plane trees.
- The Elwood-Glen Huntly Rd, Ormond Rd Precinct (HO8). Large precinct with Federation/Edwardian and Interwar residential development, but streetscapes are typically heterogeneous in terms of period and contain a mix of houses and flats.
- Mooltan Avenue Precinct (HO390). A cul-de-sac subdivision in the grounds of a 19th century mansion estate containing an intact group of seven houses all with a Spanish Mission influence built between 1928 and 1930.
- Albion St, Brighton Rd (east side between Albion and Glen Eira), Los Angeles Ct, Maryville St, Monkstadt Ave, Morres St and Somers St within the Brunnings Nursery Estate & Environs Precinct. An Interwar residential area developed on the land that was formerly the Brunnings Nursery which was subdivided in 1926. Mostly houses, but with some flats. Generally intact, but

the period of development is later than the subject precinct, being from the latter half of the 1920s and the 1930s.

The Westbury Close Precinct is distinguished from the other streets/precincts reviewed above by its high proportion of 1920s Bungalow style houses built within a relatively short period and by its highly intact and cohesive streetscape which is complemented by many original front fences and mature street trees. It is like many of the other streets/precincts in that it derives from mansion estate subdivision of the Interwar period.

5.0 Statement of Significance

What is significant?

The Westbury Close Precinct comprising 114-132 and 127-147 Westbury Close, Balaclava is significant.

The Westbury Close Precinct derives from the 1922 subdivision of two 19th century mansion estates (*Kinnord* and *Willyama*), which created residential allotments in Westbury Close (and other commercial allotments fronting Carlisle Street which are outside the precinct). The contributory building stock is comprised predominantly of single storey, brick Bungalow style houses, as well as a small two-storey block of flats, all of which were constructed between 1923 and 1929.

The following features contribute to the significance of the Westbury Close Precinct:

- Dwellings dating between 1923 and 1929,
- The consistent subdivision pattern dating to 1922,
- The predominant single storey scale,
- Roof forms (hipped, gabled, jerkin head) and roof cladding, predominantly terracotta (unglazed and glazed), finials and exposed rafter ends,
- Original chimneys, some with terracotta pots,
- Original detailing to gable ends including timber battening, brick detailing and shingling,
- Walls of face brick (red, clinker), rendered finishes (roughcast and smooth) and contrasting detailing,
- Original porches,
- Original timber windows (some with decorative glass or glazing bars) and original timber doors,
- Original low front masonry fences and metal gates and front garden settings,
- Basalt kerbing and channelling, and some original or early vehicle crossovers and driveways,
- London Plane street trees.

The Contributory places are 116-132, 127-133 and 137-147 Westbury Close.

The Non-contributory properties are 114 and 135 Westbury Close.

How is it significant?

The Westbury Close Precinct is of local historical and representative significance to the City of Phillip.

Why is it significant?

The Westbury Close Precinct is of historical significance as illustrative of the suburban growth and consolidation of Balaclava during the Interwar period. It is representative of a common settlement pattern in this part of the municipality where large Victorian properties were subdivided during the Interwar period for residential and commercial development. (Criterion A)

The Westbury Close Precinct is of representative significance as a highly intact enclave of Interwar period development built over a concentrated seven-year period between 1923 and 1929. It is comprised predominantly of Bungalow style houses, including two with a Spanish Mission influence, that collectively display notable cohesion in terms of scale, composition, materials and detailing, with many properties retaining their original low front fences. The flats, the only two storey building, have a similar façade width to the houses. The precinct is enhanced by the consistent subdivision pattern and the street setting, which includes original basalt kerbing and channelling and mature street trees. (Criterion D)

6.0 Recommendations

Excise from HO7 to create a separate precinct heritage overlay.

The following place becomes Contributory to the precinct:

- 122 Westbury Close (PPHR citation 908)

7.0 Assessment

RBA Architects & Conservation Consultants, *HO7 Elwood St Kilda Balaclava Ripponlea Precinct heritage review Stage 2, 2022*

City of Port Phillip Heritage Review

Place name: Adass Israel Synagogue
Other names: -

Citation No:
2435



Address: 12-24 Glen Eira Avenue,
Ripponlea

Category: Religion: Synagogue

Style: Postwar: Modernist

Constructed: 1965, 1996

Designer: Dr Ernest Fooks,
Forward Viney Woollan

Amendment: C206port

Comment: New citation

Heritage Precinct: Not applicable

Heritage Overlay: HO557

Graded as: Significant

Victorian Heritage Register: No

Significance

What is significant?

The Adass Israel Synagogue, designed by Dr Ernest Fooks in 1961 and constructed in 1965, at 12-24 Glen Eira Avenue is significant.

The following buildings and features contribute to the significance of the place:

- The 1965 two-storey brown brick synagogue including the broad asymmetric gable roof with wide stained timber soffit, cantilevered masonry entrance canopy, fanned brick detailing, pilaster-like elements with triangular cross sections and central recesses housing structural steel columns, the full-height vertical timber-framed window units incorporating spandrel panels and upper highlights divided by angled glazing bars, the rectangular oriel bay with a prow-like gable roof and detailed perforated brickwork divided by framing members which is supported by a pair of fin-like brick piers, tall timber framed glazed doors on west side, and the low brick retaining wall and metal palisade fence to the boundary. The copper sheeted doors (added in 1996) also contribute to its significance.
- The 1996 addition, also two storey brown brick, including the corner oriel bay, mosaic tile detailing, copper sheeted door, and narrow rectangular windows some with tapering metal hoods. The copper sheeted doors to the earlier 1965 section, which were introduced in 1996, are also contributory.

Alterations and additions (post-1996) are not significant.

How is it significant?

The Adass Israel Synagogue is of local historical, aesthetic and social significance to the City of Port Phillip.

Why is it significant?

It is of historical significance as a synagogue built in the 1960s following a period of massive growth for Melbourne's Jewish community during and following WWII. It is demonstrative of the large Jewish community that was established in the broader St Kilda area and the formation of various congregations. It is specifically associated with the Adass Israel Congregation which was formed in 1939-40 following a split in the Elwood Talmud Torah Congregation and whose membership predominantly comprised recent Jewish immigrants from Germany and Austria. Like many Post-war congregations they initially met in adapted buildings, including a Federation period house at the subject site which they purchased in 1950, before building a dedicated synagogue in 1965. Additions made to the synagogue in 1996 indicate the continuing growth of the congregation into the late 20th century. (Criterion A)

It is of aesthetic significance as a largely intact and distinctive example of Post-war religious architecture in the Modernist idiom designed by preeminent Jewish émigré architect Dr Ernest Fooks. While Fook's European education and experience is the dominant influence on the design, the broad gable roof with wide eaves is suggestive of the local Post-war Melbourne Regional Style. Key aspects of the design include the intricate perforated brickwork of the oriel bay (reminiscent of a Middle Eastern Mashrabiya), the fanned brick detailing above the door, the repetitive vertical emphases, and the use of triangular forms including the projecting prow-like gable and the pilaster-like elements. Although the design was largely developed in 1961, the use of brown bricks speaks of its later construction date. The 1996 addition and alterations are sympathetically integrated with the original synagogue and incorporate distinctive detailing such as the mosaic tiling and copper sheeted doors. (Criterion E)

It is of social significance for its strong continuum of use by the Adass Israel Congregation since 1965. It is a key reference point in the cultural landscape of the congregation whose members are concentrated in Ripponlea. (Criterion G)

Thematic context

Victoria's framework of historical themes

2. Peopling Victoria's places and landscapes: 2.4 Arriving in a new land, 2.5 Migrating and making a home, 2.6 Maintaining distinctive cultures; 8. Building community life: 8.1 Maintaining spiritual life

Port Phillip thematic environmental history

3. People: 3.5 Expressing identity and culture; 8. Community life: 8.1 Spiritual life

History

Thematic history

There are many different places in the municipality that relate to the spiritual life of the community. These include sacred sites for Indigenous people that reflect traditional ceremonies, as well as churches, synagogues, and other places of worship, including places used by alternative spiritual groups. These places have played a changing role over time, as the needs of the community have changed.

The strong Jewish community in St Kilda and Elwood today is largely a result of post-World War II migration. However, there has been a Jewish congregation in the area since the late 1800s. In 1921 the Jewish population of Melbourne was 7,600 people, this grew to approximately 30,000 by 1961 (Lipmann, 1973, as cited in Townsend, 2018).

The St Kilda Hebrew Congregation was established in 1871 and built its first synagogue on part of the former Charnwood estate the following year. The congregation grew and by the early 1920s, it needed a bigger synagogue. The new St Kilda Hebrew Congregation Synagogue was built almost directly opposite the

original building and was consecrated in 1927. Designed by Joseph Plottel, the synagogue is built in Byzantine Revival style.

The first Australian Temple Beth Israel was founded in Melbourne in 1930 by Ada Phillips. It promoted a progressive form of Judaism that was more relevant and appealing to younger Jews. Services were held at Wickliffe House on the St Kilda Esplanade, the St Kilda Town Hall and the Christ Church hall. A synagogue was purpose-built at 76-82 Alma Road, St Kilda in 1937. But by the end of World War II, with 1,600 people attending on High Holidays, some services had to be held at the St Kilda Town Hall. By the late 1950s, the congregation had grown to become the largest single Jewish congregation in Australia.

The Elwood Talmud Torah congregation was founded in the 1930s to serve the increasing number of Jewish migrants escaping growing anti-Semitism and persecution in Europe. The congregation, like so many others in the study area, began meeting in private homes before raising enough funds to purchase land and build a synagogue. Kurt Popper, a Viennese modernist architect, designed the Elwood Talmud Torah. It opened its doors in 1957. Part of the community broke away in 1939-1940 to form the Adass Israel Congregation, which established a synagogue at 24 Glen Eira Road, Ripponlea in 1950. In December 1950, the foundation stone for a mikvah – a ritual bathhouse – was laid behind the main building. The community continued to expand its synagogue to surrounding sites from the 1960s, to accommodate its growth.

The Sephardi Jewish community also arrived in the area during the huge wave of post-war migration in the 1950s. They worked hard to establish a place of worship of their own, and in 1994 former Australian Governor Sir Zelman Cohen opened the Sassoon Yehuda Sephardi Synagogue on Hotham Street, East St Kilda.

These synagogues are still in regular use. The range of congregations demonstrates the diversity and strength of the Jewish community in the City of Port Phillip (TEH).

Adass Israel Synagogue

The subject site formed part of Crown portion 238, southeast of St Kilda, parish of Prahran. The 4¾ acre allotment on the north side of Glen Eira Road was purchased in the 1850s (pre-1857) jointly by wealthy speculator Hugh Glass and auctioneer Brabazon Purcell (PP). Within a couple of years, the allotment was acquired by Thomas Monahan, an Irish immigrant who made his fortune in Melbourne as a property owner and who also owned land on the south side of Glen Eira Road where he lived with his wife Mary in the substantial basalt residence *Erindale*.

In October 1888, about 100 sites, including the subject site, were auctioned in the 'East St Kilda Estate' subdivisional sale of Crown portions 238, 237 and 232 between Glen Eira Road and Grosvenor Street (CM). The subject site, Lot 12 in Block E measuring 54 feet (16.5m) to Glen Eira Avenue and 130 feet (39.6m) to Oak Grove, passed through several hands over the ensuing two decades.



Figure 1 - Extract from a plan of the East St Kilda Estate, c. 1880s, showing Block E. The subject site (lot 12) is indicated. (Source: State Library of Victoria)

The 1901 MMBW plan (Figure 2) shows that the subject site remained vacant, and that minimal development had occurred within the block bounded by Oak Grove, Hotham Street, Glen Eira Road and Glen Eira Avenue (then known as Murcott Street). In August 1909, the subject site was purchased by widow Jane Charlotte Powell (CT). In the same month, a building permit was issued to Powell for a 'weatherboard villa' which was evidently constructed soon after. The 1911 Sands and McDougall's directory lists Mrs Jane C Powell in Glen Eira Avenue.

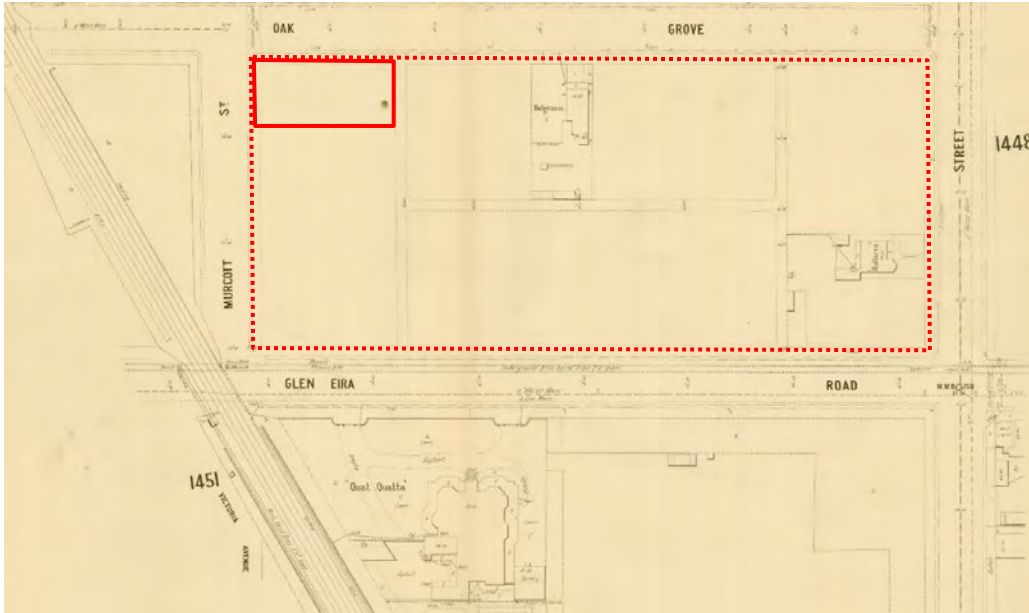


Figure 2 - MMBW detail plan no. 1452, dated 1901. Approximate boundaries of the subject precinct are indicated (solid line). Approximate boundaries of 'Block E' are also indicated (dotted line). (Source: State Library of Victoria)

In May 1912, the Ripponlea railway station was opened (although the station buildings were not completed until the following year) opposite the subject site on the west side of Glen Eira Avenue, prompting a strong surge in commercial and residential development in the vicinity.

In 1920, the subject site was sold to Henry Hollister Jackson, medical practitioner, who owned it for the next thirty years until his death (CT). The house can be seen in the 1945 aerial photograph (Figure 3).



Figure 3 - Aerial photograph dated 1945, showing the earlier house on the subject site. (Source: Landata, Proj No 5, Run 16, Frame 57847)

In July 1950, the house was purchased for the Adass Israel Congregation by Izzy New of 19 Spray Street Elwood, furrier, Joseph Felberbaum of 2 Cyril Street Elwood, merchant, and Napthali Rosemann of 4 A'Beckett Street St Kilda, exporter (CT). The house was adapted for use as a house of prayer and a women's room, requiring the removal of internal walls. The congregation also engaged architect Dr Ernest Fooks (of 1 Woonsocket Court St Kilda) to design a mikvah (ritual bath) at the rear of the property, construction of which began in December 1950. The single storey mikvah contained facilities for both men and women. In 1952, the women's room in the former house was converted to a day school for sixteen boys. In 1955, further alterations were undertaken to the former house under Fooks.

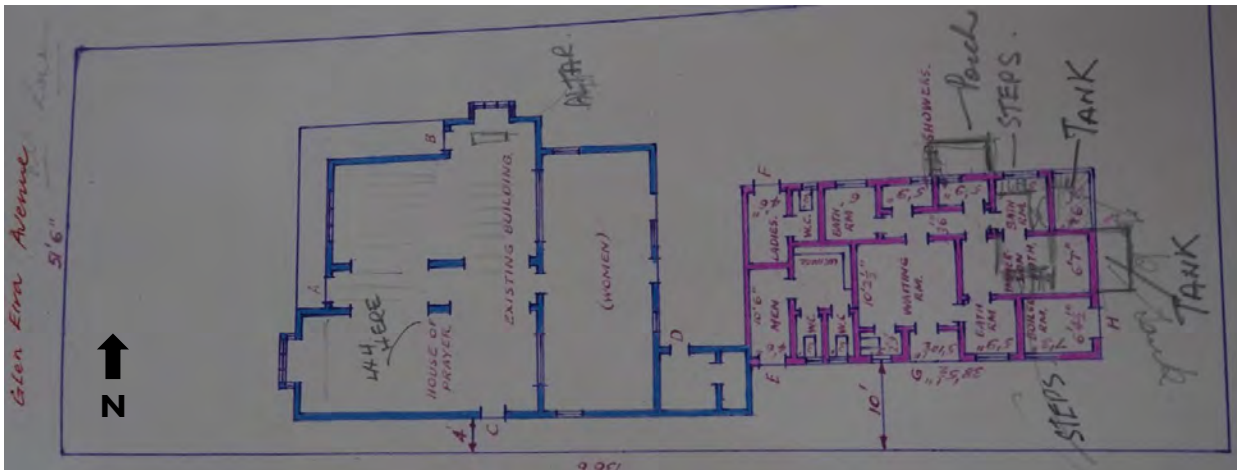


Figure 4 - Plan from public building file, dated 1950, showing the former house (left) and the proposed mikvah (right). (Source: Public Record Office Victoria, VPRS 7882, P1, Unit 1511, Item 12839)

In 1961, Fooks was again commissioned by the congregation, this time to design a new synagogue in place of the former house. Working drawings were prepared in July 1961 (Figures 5 & 6) showing a two-storey building incorporating the pre-existing mikvah at the rear. The drawing of the north elevation indicated the intention for a sculpture/artwork or a name panel to be installed above the doors.

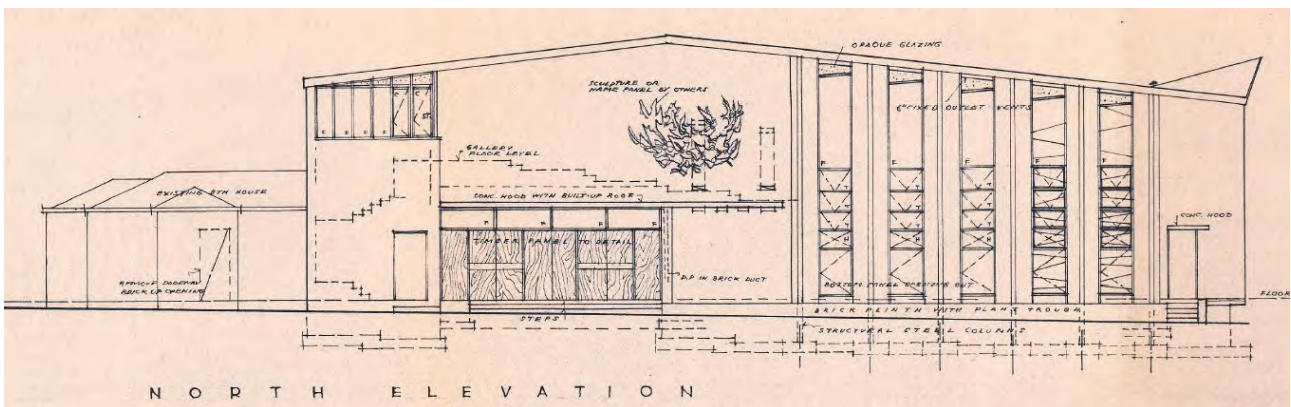


Figure 5 - Drawing dated July 1961 (Dr. Ernest Fooks), showing north elevation. (Source: Council Building File)

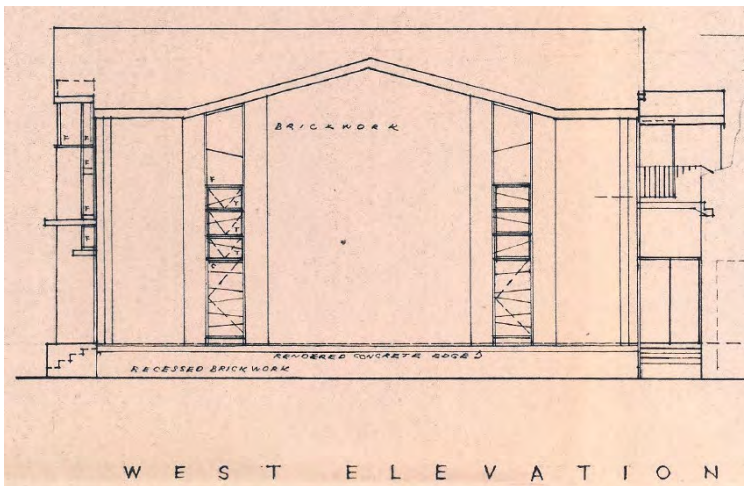


Figure 6 - Drawing dated July 1961 (Dr. Ernest Fooks), showing west elevation. (Source: Council Building File)

In October 1961, the Adass Israel Synagogue Building Committee applied to Council for examination of the preliminary plans, and in December Council responded that a permit could be issued. Following an extended interval, a permit (BP no. 57/2523) was issued in December 1962. It was hoped that work would begin on the new synagogue during 1963, however other commitments, including the completion of a school in Caulfield, delayed the start of the project and it was not begun during the 12-month validity of the permit (*Australian Jewish News* 14 Jun 1963 p2). On 2 December 1963 the builder Phillip Ernst, on behalf of the building committee, requested an extension of the permit and accordingly another permit (BP no. 20) was issued the following day. The cost of the proposed building was estimated to be £20,000 and it was referred to in correspondence as the 'Adass Israel War Memorial Synagogue'.

In 1964, between August and November, revised drawings (Figures 7 & 8) were prepared by the Office of Dr Ernest Fooks. The drawings show a scheme that was generally similar to that prepared in 1961, with minor changes to the exterior and some changes to the interior layout, particularly the gallery level. A third permit was sought and granted on 3 December 1964 (BP no. 602). By this time, the estimated cost of the work had risen to £33,000.

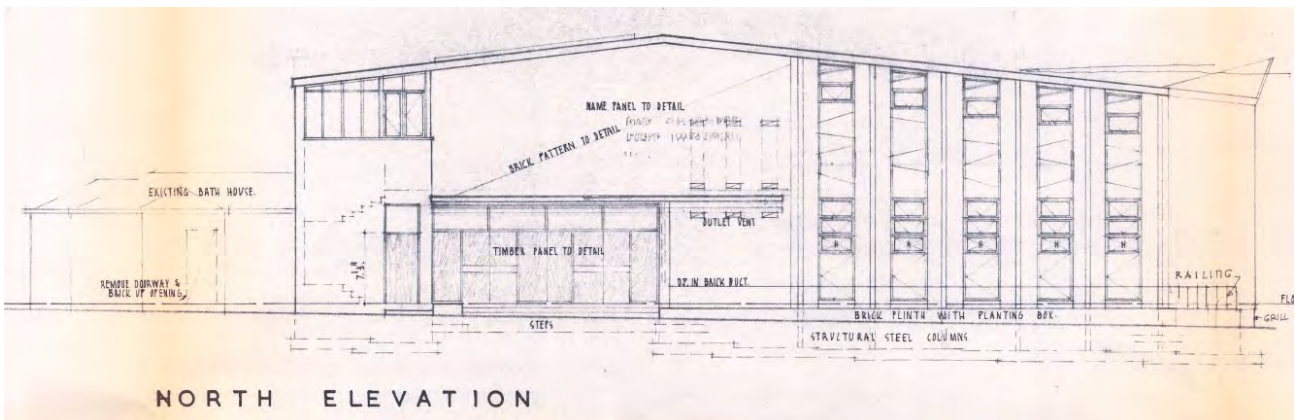


Figure 7 - Drawing dated November 1964, (Dr. Ernest Fooks), showing north elevation. Stamped 13 December 1964 in relation to permit no. 602. (Source: Council Building File)

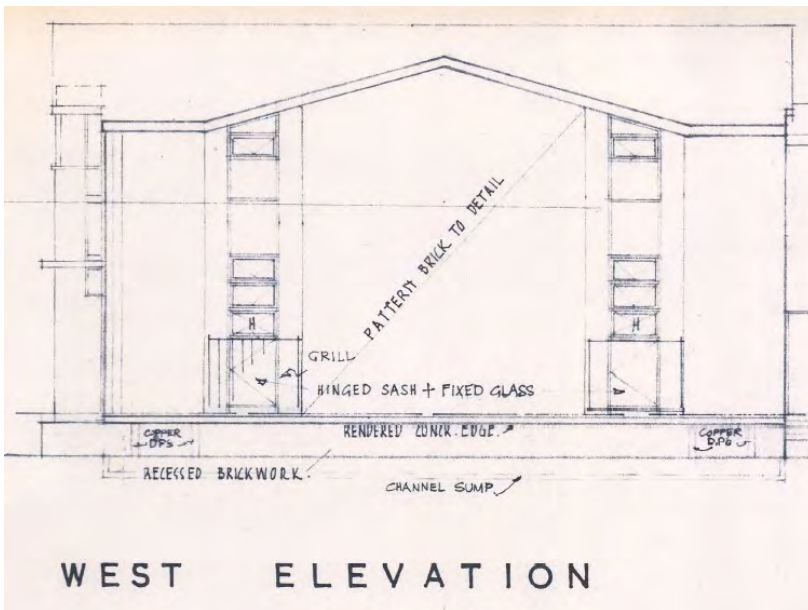
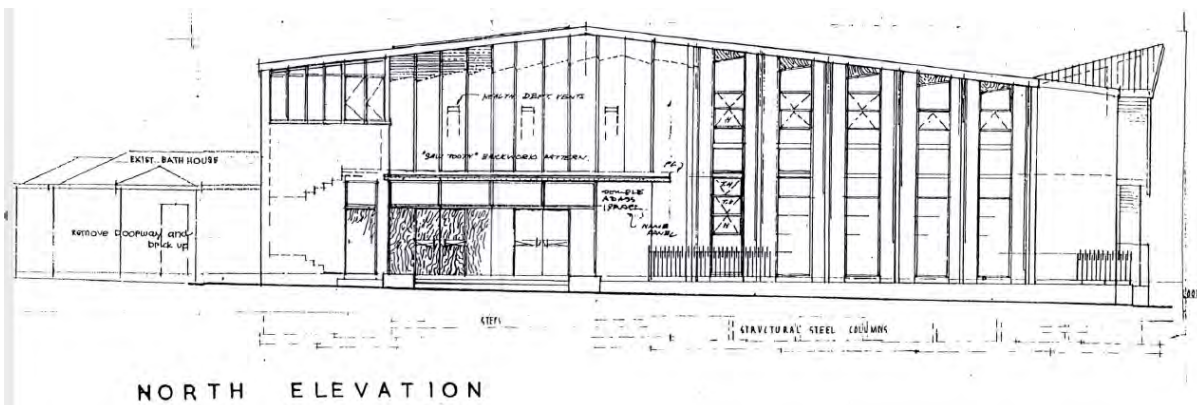
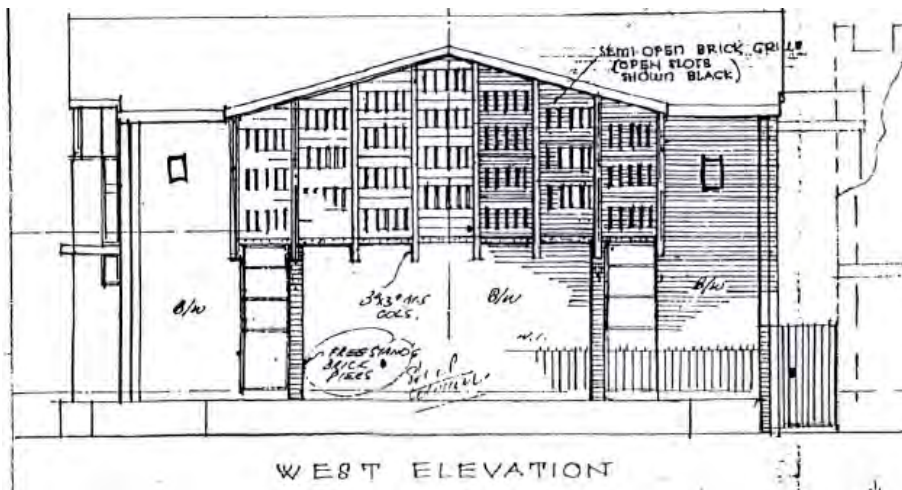


Figure 8 - Drawing dated November 1964, (Dr. Ernest Fooks), showing west elevation. Stamped 13 December 1964 in relation to permit no. 602). (Source: Council Building File)

The drawings show the main entrance on the north side as recessed, whereas it is now in line with the façade (it is unclear when this was changed). Also, the doors are shown as timber with highlight windows.

It appears that Fooks resolved some details of the design post-permit which had been left blank on the stamped permit drawings. A presumed post-permit drawing (Figure 9 & 10) shows the oriel bay with patterned and perforated brickwork on the west side (which had not previously been shown as a projecting element although the stamped permit plans indicated some decorative brickwork was envisaged) as well as the fanned brickwork above the entrance on the north side.





Figures 9 & 10 - North and west elevations (Dr Ernest Fooks) presumably prepared post-permit. Showing oriel bay to west side and fanned brick detailing above entrance to north side. (Source: Council Building File B03471/1995/B/O)

Construction was undertaken in 1965 by Phillip Ernst, master builder, of 1 Downshire Road Elsternwick. The adjacent two-storey Federation period shop was apparently employed as a temporary hall while the new building was being constructed. In September 1965, ownership of the subject site was transferred to the trustees for the Congregation Adass Israel Trust.

Between the late 1960s and early 1980s, the adjoining six shop sites to the south on Glen Eira Avenue were progressively acquired by the congregation (CT). In 1984, a multipurpose hall was built on the former shop sites. In December 1984, approval was granted to consolidate all the land to create an approximately 1932m² parcel with a frontage of 48.7m to Glen Eira Avenue.

On New Year's Day in 1995, the synagogue was the target of an arson attack. The damage was estimated at more than \$200,000 and described by police as 'severe but localised'. The Ark (Aron Hakodesh) was destroyed in the fire, but the Torah scrolls were able to be saved (*Australian Jewish News* 6 Jan 1995 p3).

Following the fire, a building permit was issued on 2 May 1995 for reinstatement works. The works, which were estimated to cost \$100,000, were overseen by architect Erwin L Kaldor and included the replacement of glazing and doors amongst other repairs.

The following year, a planning permit was issued by City of Port Phillip on 15 March 1996 for an addition to the synagogue. A building permit was subsequently issued 31 May 1996. The works were estimated to cost \$1.26 million. Architectural practice Forward Viney Woollan, who had offices in Hobart and Melbourne, prepared the drawings in February 1996 (Figure 11). The new two storey addition was built on the eastern part of the site. As part of the works, the 1950 mikvah and a short section of the 1960s building to the east of the entrance were demolished. Also, the main entrance doors to the 1965 building were replaced with copper sheeted doors surrounded by square framed glazing.

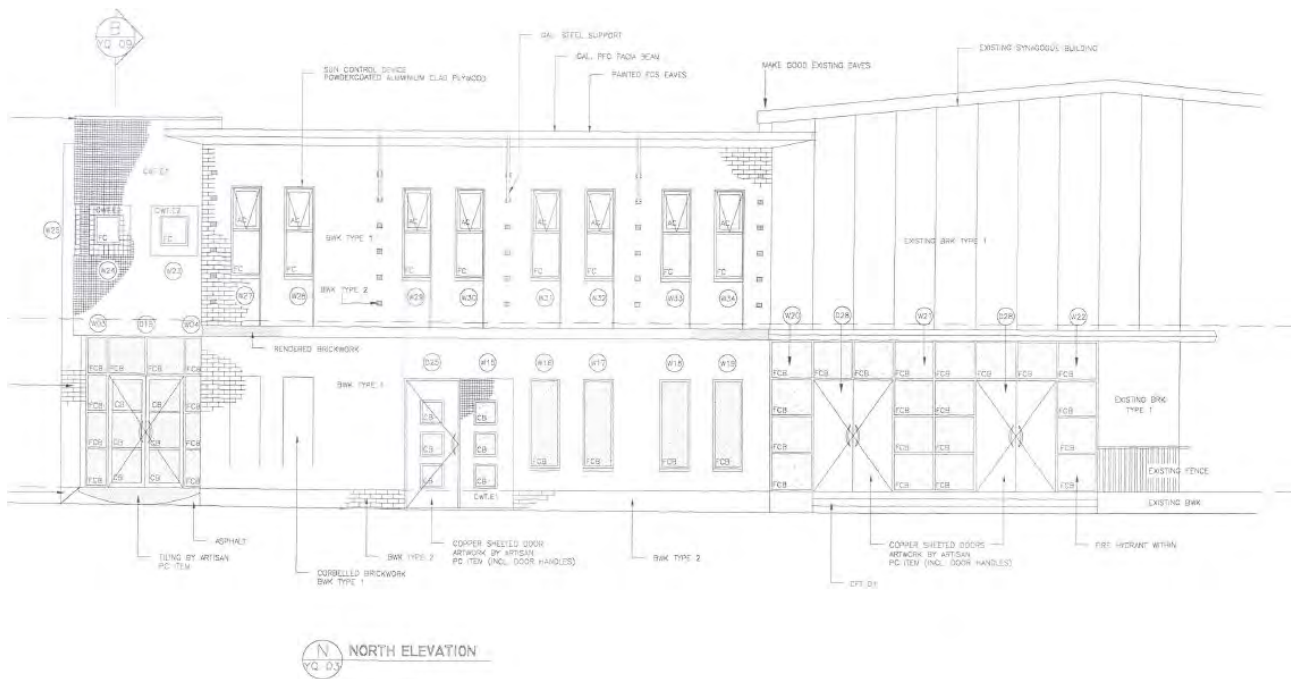


Figure 11 - Drawing of northern elevation dated February 1996, Forward Viney Woollan (Source: Council Building File, B0364/1996/P/0-01)

Adass Israel Congregation

The following history of the Adass Israel Congregation between 1939 and 1999 is from *The Spirit of St Kilda: Places of Worship in St Kilda*, by Janette Bomford. It also provides some additional information regarding the subject site (underlined):

The history of the Adass Israel Congregation dates to 1939-40 when some members of the Elwood Talmud Torah became dissatisfied with the level of observance and decided to establish their own congregation. Known as Kehilla Kedosha Beis Haknesses Ahawah Zion, it was established at 391 High Street, St Kilda, in a small shuttered shopfront. This building was later demolished when the road was widened. In 1943, Leo and Michael Newman and their father Peretz, who was originally from Vienna, left Elwood Talmud Torah over dissatisfaction with procedures they believed contravened Orthodox Jewish lore. Soon after joining the new group, they took over its management and the group moved to 15a Brighton Road. Ephraim Pollak, one of the founders, died in 1943 and the minyan was renamed Beth Ephraim in his honour.

The Newman brothers brought a Viennese influence to the congregation. This attracted Orthodox Jews arriving from Germany and Austria during and after the war. Some of these were the boys and men who were sent to Australia by the British aboard the Dunera in 1941. This group of about 3000 Austrian, German and Italian men and boys over the age of sixteen had been interned in Britain as enemy aliens after the outbreak of war. In fact, a majority of them supported the Allies. Many were Jewish, but not all were refugees. Some were interned at Tatura in country Victoria, where Leo Newman visited them and arranged for additional religious requisites to be provided and for some of the younger ones to be released. Erwin Lamm was also released from Tatura in order to become minister of Beth Ephraim after Joseph Weinern left. In 1944 Rabbi Ehrentreu, who had also arrived on the Dunera, presented the first Shabbos Hagadol Droshe at Beth Ephraim. Rabbinical assistance was also given by Rabbi Wyshkowsky, who had escaped with his son from the Nazis via Singapore and Japan.

In 1944 the congregation affiliated with the London Adass Yisroel movement. Congregations were required to include in their constitutions that the congregation would be conducted in the Orthodox way, according to the law of Moses and Israel, and that no-one who desecrates the Sabbath or partakes of forbidden food can be elected to the governing body. The name Adass Israel was adopted at a special meeting on 20 August 1950. Many congregations had adopted this name, modelled on the one in Berlin; it was also the name of the one in Vienna, which many saw as their model.

Post-war immigration laid the foundation for the Adass community. The congregation quickly outgrew the Brighton Road premises. A house at 24 Glen Eira Avenue was bought in 1950 and used as a shule and classrooms. In December 1950 the foundation stone for a mikvah (ritual bath) was laid at the rear of the property, which took two years to complete. In the meantime, many people used a private mikvah at the home of Yechiel Binet in Gardenvale.

The first Rov was Rav Yitzchok Ya'akov Neumann. He arrived from Antwerp on 23 April 1952. He was displeased that the children were attending state schools and a Hebrew school was opened in May 1952. It was a Government-recognised primary school and only the second such Jewish school in Melbourne. He also arranged that Neumann and Schwartz, at 251 Inkerman Street, St Kilda, would provide kosher meat under his supervision. The fees gained from this arrangement made the Adass establishment sounder and enabled expansion, especially in the education area. Rav Neumann stayed only briefly and it was two years before a new Rov, Rabbi Bezalel Stern, arrived in 1955. Rabbi Stern oversaw great developments and expansion of the Adass Israel congregation.

The new school campus opened soon after and Rabbi Stern's daughter Miriam began teaching there, thus enabling the inclusion of girls at the day school. With a new influx of migrants after the Hungarian Revolution, the congregation needed larger premises. In 1959 the adjoining property was bought and an Adass Israel War Memorial Synagogue Building fund established. It was created as a war memorial for the purpose of tax deductibility for donations but was considered an appropriate designation given the background of so many congregants. Priority was given to the school building and it opened on 25 October 1964, the night before the foundation stone for the synagogue was laid. Building began in 1965 and opened on 19 September that year. It was designed to seat 300 men and 250 women. Subsequently adjoining sites were also bought as the membership continued to grow.

Rabbi Stern was succeeded by Rabbi Elimelech Ashkenazi whose leadership saw the congregation continue to expand and more building undertaken. A multipurpose hall built in 1984 was later named the Adass Gutnick Hall after an endowment by Rabbi Joseph and Stera Gutnick in memory of his mother, Reebetzin Raizel Gutnick. Rabbi Ashkenazi's successor was Rabbi Avraham Zvi Beck, who was appointed in 1987. He placed great emphasis on the development of the Yeshiva, where young adults devoted their time to study and teaching. Another initiative was the building of the Caulfield Mikvah on the corner of Furneaux Road and McWhae Street. Named in memory of Mrs Malkah Sarah Jager, it opened in 1993. A new men's mikvah was opened at the synagogue premises in 1997.

The shule (synagogue) was severely damaged in an arson attack on 1 January 1995. A rebuilding appeal was launched and there was wide support for it. The architect was Erwin Kaldor and the contractors were the Pomeroy Bros. Interior decoration was undertaken by Dario Zuroff. The new work was consecrated on 17 September 1995. The congregation continued to grow and extensions were carried out in 1997. Rabbi Gutnick also assisted the purchase of the building on the corner of Hotham Street and Glen Eira Road, which was redeveloped in 1999 and now houses the Yeshiva Ketana.

Ernest Fooks - Architect

Born during 1906 in Bratislava, Czechoslovakia, Ernest Fuchs was educated in Vienna, where he completed a degree in architecture in 1929 and subsequently a doctorate in town planning in 1932. He started his own practice at that time but in 1939 fled the rising anti-Semitism in Europe, marrying Latvian-born Noemi Matusevic in Canada en route to Australia (Edquist, 2012).

In Melbourne, he became assistant town planner for the Housing Commission of Victoria for nearly a decade (until 1948) working on projects across the State. During this time, he wrote extensively, and lectured, on town planning issues leading to his appointment in 1944 as the first lecturer of town planning at the Melbourne Technical College (now RMIT). In 1946, he outlined his ideas and solutions to planning in Melbourne in *X-Ray the City!: the Density Diagram, Basis for Urban Planning*.

On becoming an Australian citizen in 1945, he changed his surname to Fooks. From 1948, he established a successful architectural practice, drawing much of his clientele from Melbourne's thriving post-WW2 European émigré community.

Fooks' practice specialised in 'own your own' flats for developers completing over forty blocks of flats in St Kilda, Caulfield, Toorak, South Yarra and Hawthorn. In 1955, he self-developed an office with four bachelor flats attached at 1 Woonsocket Court, St Kilda (extant but much altered). Fooks also designed numerous single-family residences, beginning with modest-scale examples in the austerity driven period of the late 1940s and early 1950s but evolving as prosperity increased to more ambitiously scaled and detailed

examples subsequently. In this sphere, he was influenced by courtyard focused precedents and the use of Japanese-inspired screens, culminating in his own-famed house in Caulfield (1966). Other projects included some commercial (such as shops) and educational buildings (e.g. Mt Scopus Memorial College, Burwood), as well as two notable community facilities – the B'nai B'rith in Hotham Street, Balaclava in 1959 and the National Jewish Memorial Centre and Community Facility in Canberra, completed in 1971. The B'nai B'rith commission is said to stem from Noemi's encouragement to be involved with local community affairs (Edquist, 2012).

Fooks passed in 1985. Despite the coverage in magazines such as *Australian House and Garden* and extensive output of both built work and in publishing, his work has only recently become more widely acknowledged in general architectural circles (Peterson, 2009).

References

Bomford, Janette, *The Spirit of St Kilda: Places of Worship in St Kilda*, 2003

Cartographic material (CM) held by State library of Victoria: 'East St Kilda Estate' (undated, from the Vale Collection); 'East St Kilda Estate' (1888, published by L C Cunningham, from the Haughton Collection).

Certificates of Title (CT) relating to subject site: Vol. 2135 Fol. 891; Vol. 2301 Fol. 103; Vol. 2464 Fol. 603; Vol. 3339 Fol. 727; Vol. 3360 Fol. 807; Vol. 7441 Fol. 107.

Certificates of Title (CT) relating to adjacent land: Vol. 3713 Fol. 546; Vol. 3923 Fol. 435; Vol. 4355 Fol. 819; Vol. 8079 Fol. 932; Vol. 8102 Fol. 275; Vol. 8256 Fol. 007; Vol. 9580 Fol. 355.

Edquist, Harriet (2012), 'Fooks, Ernest', P Goad & J Willis, *The Encyclopedia of Australian Architecture*, Melbourne, pp258-259

Elwood Shule website: http://www.elwoodshule.org/templates/articlecco_cdo/aid/1266584/jewish/Our-History.htm (accessed 16 May 2018)

Newspaper articles

Peterson, Richard (2009, 2nd ed. [2005]), 'Edgewater Towers' (chpt. 43) in *A Place of Sensuous Resort: Buildings of St Kilda and their people*.

Parish Plan - at Elwood, Parish of Prahran, P81-13 (PP)

Port Phillip Thematic Environmental History (TEH), February 2021

Public Building File held by Public Record Office Victoria, VPRS 7882, P1, Unit 1511, Item 12839. Containing drawings dated 1950 and 1955 and correspondence with the Department of Health.

Sands and McDougall's street directories (SM)

St Kilda Council building permit files held by Port Phillip City Council. Containing drawings dated 1955, 1961, 1964, 1995 and 1996, permits, applications for permits, and correspondence. (BP)

Townsend, Catherine, 'Making Modern Jewish Melbourne: Schools, Synagogues, Aged Care Facilities and Community Buildings 1938-1979' (paper), 2018

Description

The synagogue is located at the corner of Glen Eira Avenue and Oak Grove. The eastern side is bounded by a basalt paved lane. It occupies the northern part of a larger site occupied by the Adass Israel Congregation. The synagogue is composed of two sections: the 1965 building to the west and the later 1996 addition to the east. Both sections are two-storey and in a similar coloured brown brick.

The 1965 section is in the Modernist idiom. It has a broad asymmetric gable roof with a wide stained timber soffit. The primary façade to the north is highly articulated with strong repetitive vertical emphases. It is broken into an entry bay and fenestrated bay. Steps lead up to the entrance which has two sets of

copper sheeted double doors set in a multipaned glazed bank. There is a cantilevered masonry canopy over the entrance that provides a contrasting horizontal element. Featured at first floor above the entrance is unusual, fanned brick detailing. The fenestrated bay is comprised of pilaster-like elements with triangular cross sections and central recesses housing structural steel columns, which alternate with vertical window units made up of timber-framed windows (awning and fixed parts), spandrel panels and upper highlights divided by angled glazing bars. The southern elevation is articulated in a similar manner to the northern elevation but is obscured by the adjacent 1980s hall. The western elevation has a symmetrical composition dominated by a rectangular oriel bay with a prow-like gable roof. The oriel bay has intricately detailed perforated brickwork (reminiscent of a Middle Eastern Mashrabiya) divided by framing members and is supported by a pair of fin-like brick piers. Centrally positioned beneath the oriel bay is a niche-like element with a concave profile clad in copper coloured mosaic tiles (this is likely to be a later addition, but it is unclear when it was introduced). There are also a pair of tall timber framed glazed doors.

The 1996 addition has a flat roof, with a wide soffit and a girder-like fascia, that tucks beneath the gabled roof of the 1965 section. The design of the addition, while adopting a Postmodern expression, takes cues from its host building such that they form a cohesive whole. The walls are brown brick with a plinth of glazed dark brown bricks. Narrow rectangular windows and two blind niches, which are aligned at ground and first floor, serve to perpetuate the vertical emphasis. At first floor the windows have tapering metal hoods. A horizontal rendered band extends from the line of the entrance canopy to the 1965 building, dividing the façade. At the corner is a prominent circular oriel bay with square recessed windows fully clad in copper coloured mosaic tiles. Beneath the oriel bay there is a recessed entrance with a concave side wall clad in blue mosaic tiles which has a multipaned glazed door and surround. A second entrance on the north side has a copper sheeted door with an accompanying panel to the side clad in copper coloured mosaic tiles. The eastern elevation to the lane is comparatively plain and has staggered sections of glass bricks.

The 1965 section has narrow setbacks and is surrounded by a low brick retaining wall, inverted at the corner, atop which is a metal palisade fence. The 1996 section is built to the boundary. Like the short section of the 1965 building it replaced, the addition is built to the boundary.

Comparative analysis

The Adass Israel synagogue is one of many institutional buildings (schools, community centres, memorials, aged care facilities etc.) constructed in Melbourne during the 1950s, 60s and 70s in response to the massive population growth within the Jewish community following WWII. It is one of about twelve sizable synagogues built in Melbourne between 1950 and 1979. Unlike earlier synagogues in Melbourne which were principally places of worship, the Post-war synagogues were also intended to function as community centres around which social and cultural life revolved like precedents from Eastern Europe and the United States.

The architects commissioned were often Jewish émigrés themselves who brought with them detailed knowledge and experience of European Modernism. While their formative training always remained dominant, their work inevitably absorbed some influence from their new home. Dr Ernest Fooks, who was educated in Vienna before immigrating in 1939, emerged as one of the preeminent Jewish émigré architects practicing in Melbourne during the Post-war period.

The Adass Israel synagogue is in the Modernist idiom. Although built in 1965, the design had been largely settled four years earlier in 1961. While unconfirmed, it is quite possible that building was originally conceived in cream brick, a colour widely associated with the 1950s and early 1960s and which Fooks had recently employed at the B'nai B'rith community facility in Balaclava in 1959. Dark brown bricks became popular in the latter part of the 1960s and 1970s, and as such the decision to use them may have been made around the time of the build date. The broad gable roof with wide eaves is suggestive of the Post-war Melbourne Regional Style. Like at many Jewish community buildings, an artwork/sculpture was originally intended to be mounted above the entrance, however it does not appear to have eventuated.

In her paper 'Making Modern Jewish Melbourne', University of Melbourne scholar Catherine Townsend observes that the design of the Adass Israel synagogue is reminiscent of Percival Goodman's work in the United States. Some relevant examples by Goodman include Temple Emanuel in Colorado (c.1956) and Temple Beth El in Massachusetts (1953) which make bold use of triangular forms, prow-like gable roofs, and fanned effects, characteristics Fooks incorporated at the subject site albeit in a more subtle manner.

The Adass Israel synagogue is one of a few synagogues in the broader St Kilda area. Two developed before WWII include the St Kilda Synagogue at 12 Charnwood Crescent built in 1926 and designed by Joseph Plottel which is included on the Victorian Heritage Register (H1968), and the Temple Beth Israel at 76 Alma Road built in 1937 which is much altered and not included in the Heritage Overlay.

The most readily comparable example is the Elwood Shule at 39 Dickens Street, Elwood which was originally built 1956-57 but extensively remodelled 1971-73. It was designed by émigré architect Kurt Popper who like Fooks trained in Vienna. The remodelled building, built some eight years after the Adass Israel synagogue, has a distinctive monumental character. It has been recommended for inclusion in the Heritage Overlay.

Dr. Ernest Fooks designed at least two other buildings in the municipality for the Jewish community. These include the B'nai B'rith House, a former community facility, at 99 Hotham Street Balaclava built in 1959 (Citation 2018, HO337), and the Melbourne Chevra Kadisha, a Jewish mortuary and funeral home, 115-119 Inkerman Street, St Kilda, built in 1979 (not included in the Heritage Overlay).

Assessment

This place has been assessed in accordance with the processes and guidelines outlined in the Australia ICOMOS *Charter for Places of Cultural Heritage Significance* (The Burra Charter) 2013, using the Hercon criteria.

Recommendations

Transfer from HO7 to a new individual HO (on the basis it does not logically form part of either of the proposed adjacent new precincts Ripponlea Commercial precinct or Ripponlea Residential precinct). Exclude the 1980s multipurpose hall on the south side from the extent of the HO.

Apply fence controls in the Schedule to the Heritage Overlay (original fence).

Primary source

RBA Architects & Conservation Consultants, *HO7 Elwood St Kilda Balaclava Ripponlea Precinct heritage review Stage 2*, 2021

Other studies

Andrew Ward & Associates, *Port Phillip Heritage Review*, 1998

Other images





North Elevation, 1965 section



West Elevation



North Elevation, 1996 addition

City of Port Phillip Heritage Review

Place name: Chapel Lodge
Other names: Flats

Citation No:
2425



Address: 16A Chapel Street, St Kilda

Category: Residential: Flats

Style: Functionalist

Constructed: c.1950

Designer: Bernard Evans

Amendment: C206port

Comment: New citation

Heritage Precinct: Not applicable

Heritage Overlay: HO540

Graded as: Significant

Victorian Heritage Register: No

Significance

What is significant?

Chapel Lodge at 16A Chapel Street St Kilda, designed by Bernard Evans and constructed c.1950 by Norman Adderley, is significant.

Chapel Lodge is a five-storey red brick, but currently overpainted, building with a cruciform footprint. It has a flat roof that is predominantly concealed behind a parapet though projects slightly forward over the terraces on the south side (Argyle Street) relating to the two penthouses. There are two short chimney breasts, one each to the west and east elevation, below which are two circular recesses. There are balconies to each of the four wings, paired to the large east and west wings, with concrete decks/canopies and the original windows are steel-framed. To the rear/east wing, there is undercroft car parking.

The low brick fence to the front boundaries also contributes to the significance of the place.

Alterations and additions are not significant. The current paint colour scheme is not significant.

How is it significant?

Chapel Lodge at 16A Chapel Street, St Kilda is of local historic and aesthetic significance to the City of Port Phillip.

Why is it significant?

Chapel Lodge is historically significant as an early example of a multi-storey flat development, which at the time of its construction (completed 1950) was among the tallest buildings in the municipality. There was a dire need for housing during the late 1940s due to the downturn of construction activity during World War II, when residential construction was severely curtailed by government decree. The site is also significant for its associations with the architect, Bernard Evans, who was responsible for many significant flat buildings in the municipality and an influential figure in this sphere, as he was oft quoted in contemporary newspapers regarding flat development. There are also distinctive or unusual aspects about Chapel Lodge's historical development, in that by contrast to most Post-World War II flats, which typically replaced Victorian period houses or mansions, it was constructed on a rare piece of undeveloped land, though part of the extensive holdings which had been associated with the nearby mansion, Aldourie, at the corner of Alma Road. Furthermore, projects of this scale typically received considerable press however Chapel Lodge surprisingly did not, likely because in addition to much of the building being employed for serviced/rented flats, there was a purpose-built, clandestine SP bookie operation to the uppermost level, run by the owner, former St Kilda councillor Norman Adderley until police raided it in 1956. (Criterion A)

Chapel Lodge is of aesthetic significance as a prominent and early example of the Functionalist style, which was employed for much of the progressive contemporary flat design through to the mid-1950s. The rigorous volumetric and horizontal expression in face brick with balconies and steel-framed windows in discrete configurations but with an unusual cruciform plan to optimise views and privacy, is unique at this time in the municipality (as most examples had more varied massing and were on more constrained sites) and is a forerunner to the wider adoption of the International style. (Criterion E)

Thematic context

Victoria's framework of historical themes

6. Building towns, cities and the garden state: 6.3 Shaping the suburbs, 6.7 Making homes for Victorians

Port Phillip thematic environmental history

5. Buildings and cultural landscapes: 5.2 Shaping the suburbs (5.2.2 Private development), 5.3 Diverse Housing (5.3.5 Higher-density housing)

History

Contextual history

The early twentieth century saw a marked decline in the viability of large mansions across Melbourne's suburbs in general, but it was particularly felt in the more affluent inner southern suburbs such as St Kilda and Brighton, where land was highly sought-after by a new generation of homebuilders seeking smaller detached dwellings, duplexes or flats. The trend toward higher-density living in St Kilda began with the conversion of mansions and terrace houses into boarding houses in the early 1900s and continued with the first purpose-built flats that appeared at the beginning of World War I. A 1919 newspaper article noted:

It was held to be no longer necessary to labour with a house and all the domestic drudgery that entailed when by borrowing Continental ideas, people who could afford it could live in flats... Land has become so valuable the villa of the Victorian days, in a crowded thoroughfare, no longer shows anything like an adequate return of interest on the land's present capital value. It is more profitable to pull the house erected thereon down, and to erect flats. When the flat became popular in England the experiment was made in St Kilda, and it did not take long to discover there was a genuine demand for flats (Prahran Telegraph, 18 October 1919, p.4)

Higher-density housing in the form of boarding houses paved the way to flat development. Flats first appeared in Melbourne around 1906 and slowly spread to the suburbs. They followed a strong pattern of development, appearing close to transport routes, particularly along or within walking distance of tram routes, to allow easy travel to the city. With their proximity to the beach and parklands, good public transport networks and seaside character, the suburbs of St Kilda and Elwood were especially popular locations for flats. Flats became a dominant characteristic of St Kilda and Elwood, and still make up a high percentage of dwellings in those areas. They include some of the earliest surviving flats in Melbourne, some of the best examples of architectural styles and types of flats, and as a group demonstrate the increasing popularity of the lifestyle of flat living from the early twentieth century (TEH).

There was huge growth in flat development in St Kilda and Elwood in the 1920 and 1930s, attracting migrants, single people, and people of diverse sexuality. In 1920 there were 527 purpose-built flats in 92 blocks in St Kilda municipality. By 1925 this had increased to 884 flats in 164 blocks, including large complexes such as the Ardoch flats in Dandenong Road. By 1935, despite a slowing of development due to the Great Depression, there were more than 2,800 flats in over 500 blocks. A further 2,000 flats were added by 1940; however, the onset of World War II slowed development. Nonetheless, by 1947 St Kilda contained 5,500 purpose-built flats, a quarter of all flats in Melbourne (TEH).

Another boom in flat-building began in the mid-1950s. This was fuelled by population growth and a housing shortage after World War II, changes to building codes and the introduction of company title (and later stratum and strata-title) that enabled flats to be sold individually as 'own your own' units. Between 1961 and 1971, flats increased from 38% to 62% of all dwellings in St Kilda. The boom in flat building saw St Kilda's population increase by 10,000 people at a time when the populations of other inner-city suburbs were declining (TEH).

Early History

The site forms part of Crown Allotment 139A in the Parish of Prahran at St Kilda. The five-acre allotment was sold at land sales held during the late 1850s and acquired by the Scottish-born Alexander Fraser (1802-1888), businessman and politician born in Aldourie, Scotland. He emigrated to Australia in 1832 and was a St Kilda councillor and mayor (ADB). He was a member of the firm of Fraser & Cohen, auctioneers, and was also a member of the Legislative Council of Victoria, 1858 to 1881. He has been said to loom 'large in the history of St. Kilda' (JBC). Fraser was living on Alma Road as early as 1856 (ER) but resided west of Chapel Street at least until 1863 (SM).

On the 1855 Kearney plan (Figure 1), the Crown Allotment is evident and was undeveloped. Opposite on Chapel Street however, six houses had been erected.

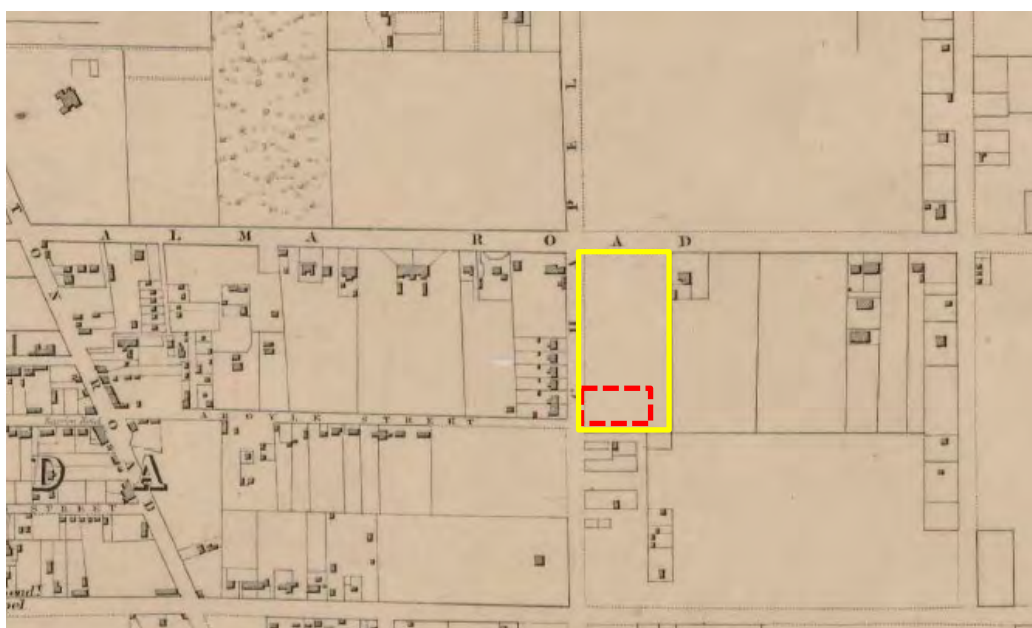


Figure 1 - 1855 Kearney Plan, showing CA 139A and location of subject site (Source: State Library of Victoria)

By 1864, as evidenced on the Cox Plan (Figure 2), a house (*Aldourie*) had been constructed at the corner of Alma and Chapel streets, and part of whose holdings the subject site remained for another 80 years. *Aldourie* was constructed about the time the Cox plan was prepared as the land was undeveloped in 1864 (RB) and first listed in 1865 directory (SM). In 1866, the brick house was described as having nine rooms and NAV of £120 (RB).



Figure 2 - 1864 Cox Plan, showing *Aldourie* (arrow) and location of subject site (Source: SLV)

By 1873, the house may have been enlarged according to the more defined footprint outlined on the Vardy plan (Figure 3).

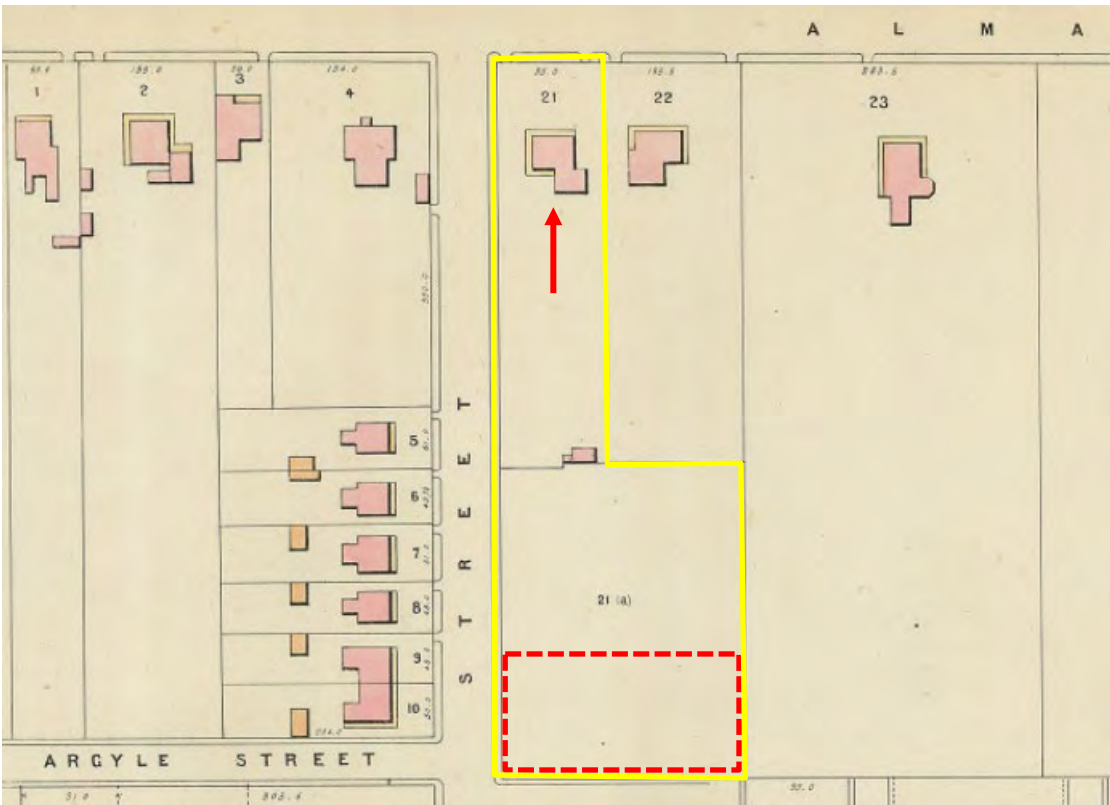


Figure 3 - 1873 Vardy Plan, North Ward no.6, showing approximate location of subject site (dashed) and Aldourie (arrow), and the extent of Fraser's holdings (yellow)

Fraser retained the western half of these holdings until 1882, when the first Torrens title was issued (CT v1339 f637). In that year, the large holding of about 2½ acres passed to the Hebden family in whose ownership it was retained unsubdivided until 1942 (CT v1344 f691; v3768 f456; v3811, f114).

By 1897, according to the MMBW plan, the subject site formed part of a large paddock at the southern end of the Hebden family's holdings. *Aldourie*, then 87 Alma Road, is not named on the drawing. The house had a return verandah and was set in extensive gardens with paths that terminated at a fernery.

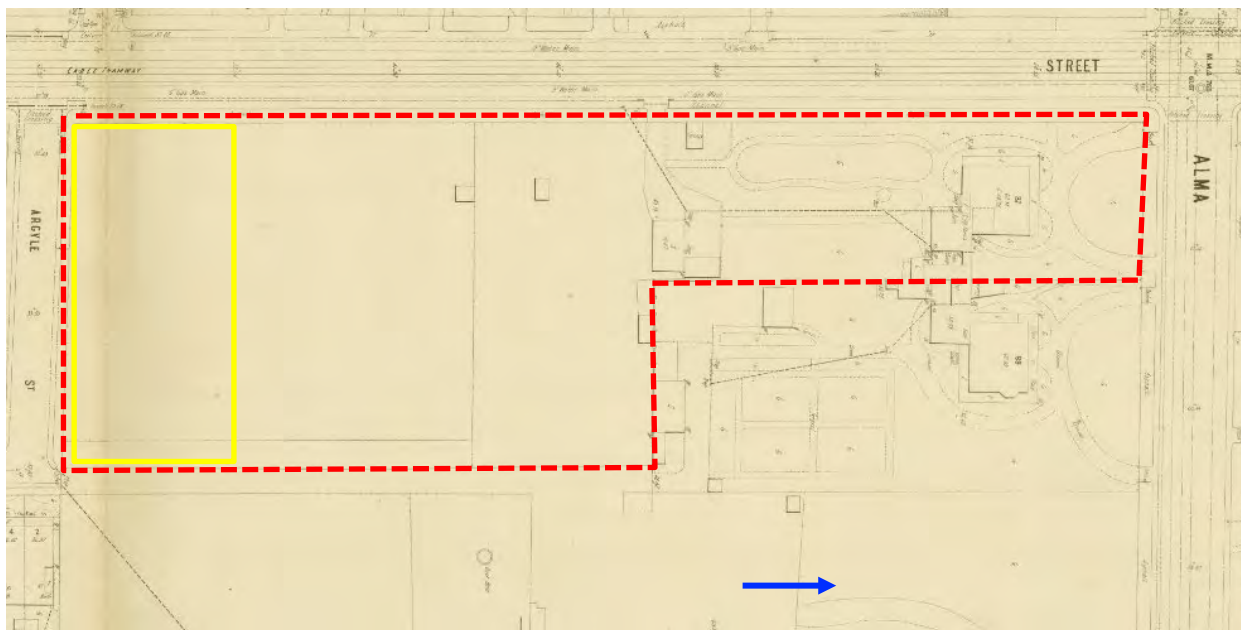


Figure 4 - MMBW detail plan no. 1423, showing the extent of the Hebden family's holdings in relation to the subject site, NB north is to the right (Source: SLV)

The site remained undeveloped throughout the early part of the 20th century and there was planting/trees to Chapel Street boundary by 1931 (A). When sold in October 1942, *Aldourie* was described as a 'cemented brick 2-storey residence' (*Herald* 21 Oct 1942 p5). The land was eventually subdivided after it was acquired by a local family of motor garage proprietors, the Greaves. From early 1943, for the ongoing duration of WWII, *Aldourie* was loaned by G R Greaves to the committee of RAAF auxiliaries as a home for children whose fathers were serving in the Air Force and whose mothers were temporarily affected by illness (*Age* 07 Jan 1943 p3).

A 1945 aerial photograph (Figure 5) shows that there was no fence to the southern paddock so that criss-cross pattern of informal paths had been established and only a few trees or bushes to the Chapel Street boundary.



Figure 5 - 1945 aerial showing the approximate location of subject site. (Source: Landata, Project No 5, Run 17E, Frame 58013)

Chapel Lodge, 16A Chapel Street

The electrification of the cable tram route along Chapel Street in 1926 encouraged the building of flats and between 1930 and 1940 fifteen blocks were erected along its length. Flat development continued in the post-war era. The subdivision of the Aldourie estate yielded sites for four large flat blocks, which were constructed from c.1947 to c.1955. The boom in flat building during the 1960s eventually saw the entire block between Alma Road and Argyle Street occupied by flats.

The southern paddock of Aldourie was subdivided into six large allotments, which were sold in double lots during late 1948, when the subject site was acquired by the Tudor Estates P/L on 10 December 1948 (CT v3811 f114). Treasury approval had been required for construction on the six large allotments in June 1947, each 60 x 180ft (*Argus* 26 Jun 1947 p13). The site was immediately transferred to the Southern Investments P/L, who retained ownership until 1972 and it was not until 1984 that individual flats were sold to separate owners (CT v7247 f219).

Chapel Lodge was constructed c.1948-c.1950 on the southernmost portion of the Aldourie Estate, at the corner of Argyle Street. Building approval was granted in 1948 to builder (and St Kilda Councillor) Norman Adderley for a seven-storey apartment building designed by Bernard Evans (BP no. U.584 issued 30 August 1948). However, in the end only a five-storey building was constructed. Oddly, the elevator only reached the fourth floor, with the two fifth level apartments reached by stairs from the level below. Changes were also made to the elevational treatment shown on the original plans, although the floor layout remained the same (BP).

The reason for this odd internal arrangement was investigated by a former resident who discovered that the building was conceived, designed and built (by a consortium of unknown people with Adderley as front man) for the sole purpose of running an illegal SP bookmaking business from the two rooftop apartments. How this occurred was the subject of a Royal Commission, which found that following completion most of the apartments were kept vacant. This allowed Adderley to obtain approval for 45 phone lines, which were in fact all connected to the two rooftop apartments, whereas many people worked answering the phones, ensuring a turnover estimated at £3000 a day. The elaborate scheme, arguably one of the largest illegal SP bookmaking rackets in Australia, finally came to an end in May 1956 when it was uncovered following the then biggest ever raid in police history in Victoria. For his trouble, Adderley received a thousand pound fine and continued to 'tenant' apartment 49 until 1960 (Hewitt). A steel door was battered and some of the brickwork near the lock was removed on the fourth floor by police seeking to infiltrate the operations. In response, Adderley said: 'if I was building this place again I would make it concrete so you could never get in' (Argus 15 Jul 1956 p3).

It is telling that this project seemed not to have attracted any articles in the daily newspapers, when other similarly scaled, contemporary flat projects by Bernard Evans were well publicised, for example those at 53 Balaclava Road, East St Kilda (1949) and *Sheridan Close* at 485 St Kilda Road, Melbourne (1950). At this time, Evans was regularly commenting on the need for 'many more large blocks of flats in the inner suburbs' noting however the contemporary challenges – the reluctance of many investors, rising building costs, and uniform building by-laws, 'which had greatly reduced the potential of property in the inner suburbs' (Age 18 July 1947 p4).

Council retains the drawings for the original seven storey proposal, which are generally similar to the extant building. The main drawings (9 in total) do not have a title block however on the five prepared by the consulting engineers J L & E M Daly for the concrete elements (footings, floor slabs, stairs, etc.), Bernard Evans is noted as the architect. These drawings are labelled 'Modern Service Apartments, Chapel Street, St Kilda' and dated 12.7.47, being updated on 16.08.48 (BP). The name/entity for whom the drawings were prepared has been concealed but is known to be Norman Adderley. The 1950 directory entry was for 'flats being built and in 1955, Chapel Lodge was listed as no. 14 with V E Adderley noted but by 1960 is identified as no. 16 (SM).

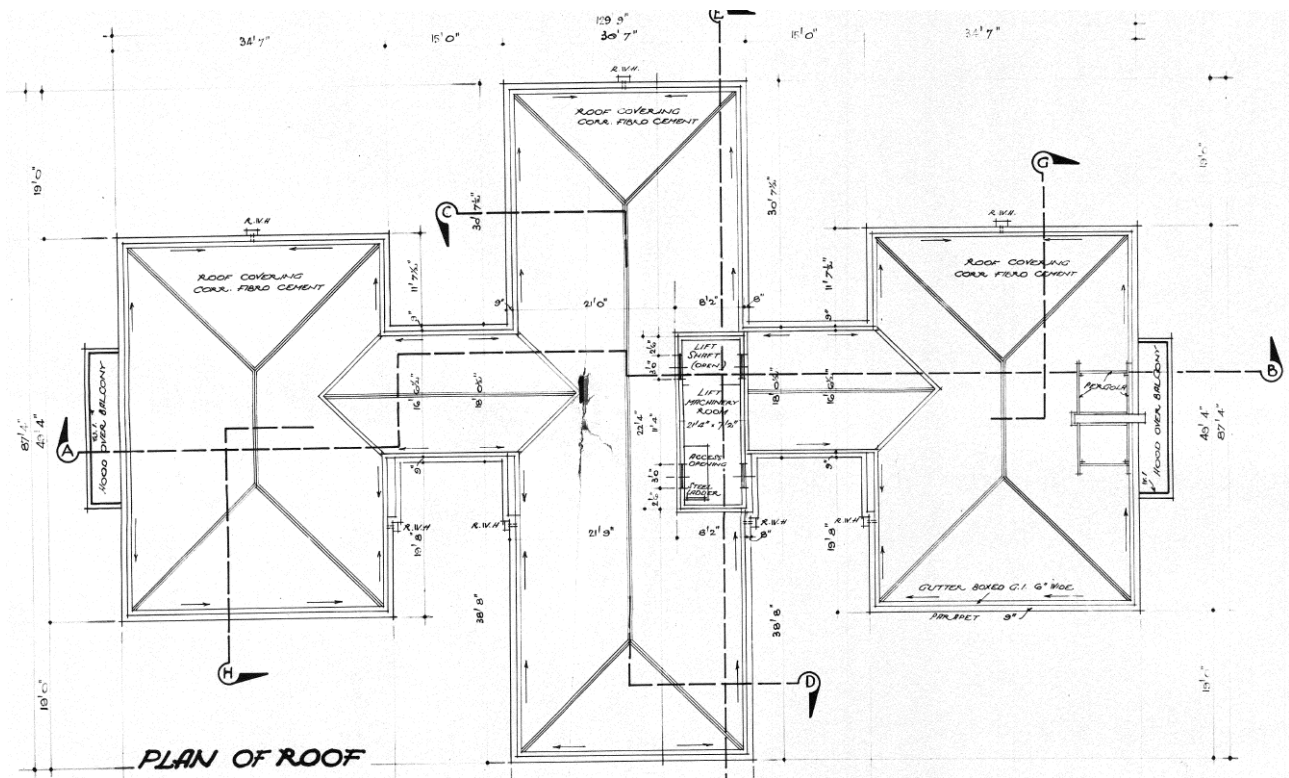


Figure 6 – drawing for original seven storey design – roof plan (Source: BP, sheet 4)



Some of the principal differences with the extant building are that the roofs were to be hipped and clad in corrugated fibro-cement, though would have been largely concealed by the parapet. The balconies to the southern wing were to be larger and be wrap around (i.e. located at the southern corners rather than the middle of the relevant elevations). Multi-paned windows and decorative railing was to be employed to many of the balconies. The drawings of the elevations also suggest that concrete lintels were envisaged to the larger windows but in the building as constructed they are brick.

There are eight flats for each of the lower four levels – a mixture of two-bedroom flats to the wider east and west wings and single bedroom flats to the narrower north and south wings. The fifth floor has two penthouses, the only flats with a fireplace.

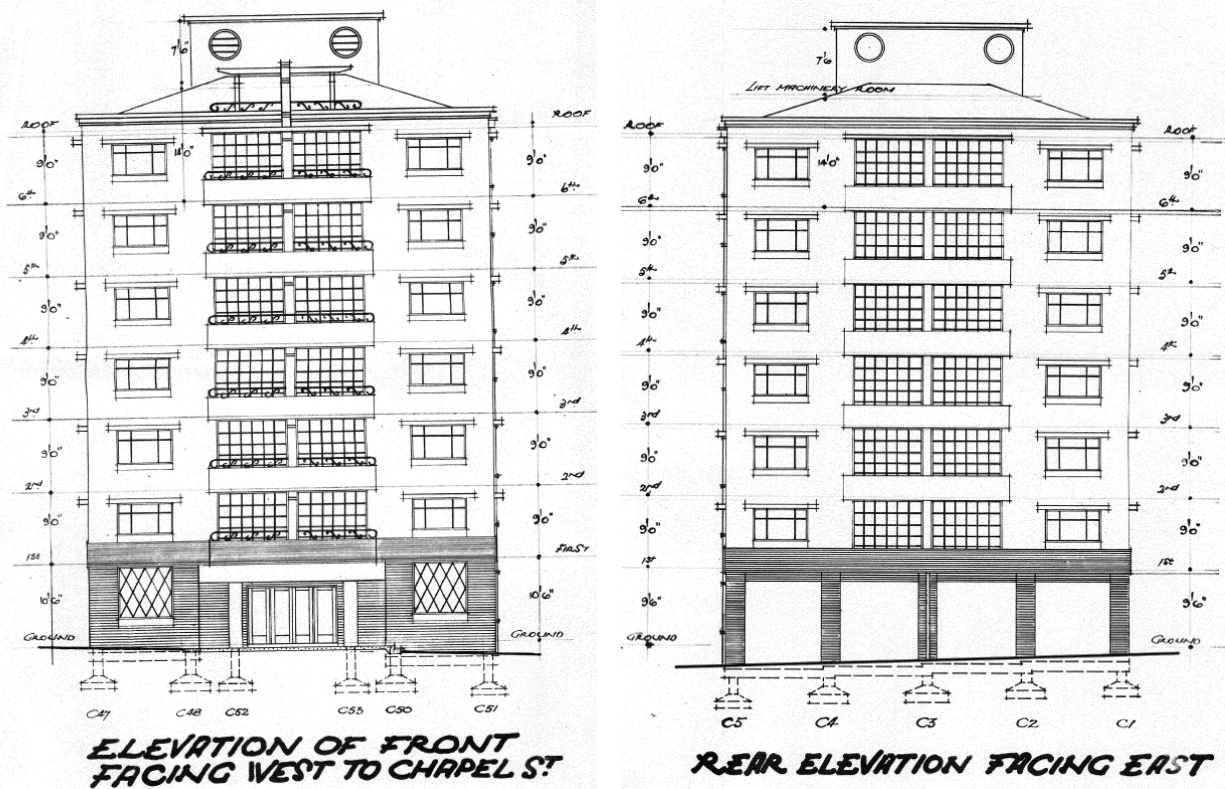


Figure 7 – drawings for original 7 storey design – front (west) and rear (east) elevations (Source: BP, sheets 7 +8)

Chapel Lodge initially played host to many new immigrants and during the mid-1950s (especially 1953 and 1954), many residents applied for naturalisation – after five years of residency. These residents were mostly born in eastern Europe – e.g. Austria, (then) Czechoslovakia , Hungary and Romania – or Israel (various newspapers public notices).

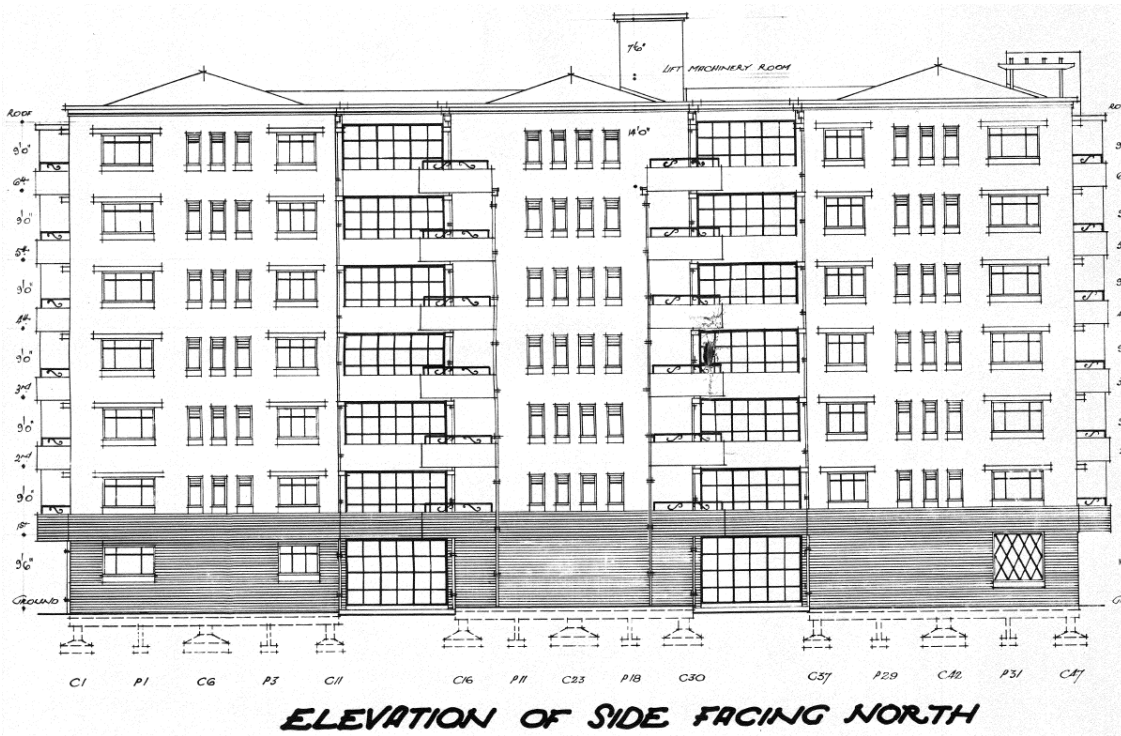


Figure 8 – drawing for original seven storey design – south elevation (Source: BP, sheet 10)



Figure 9 – 1980s showing the original red brick and an earlier addition on the top of the southern wing (Source: Council Building File)

Bernard Evans

Bernard Evans was born at Manchester, England in 1908 and was the son of builder, Isaac Evans. In 1913 the family emigrated to Australia, settling at St Kilda. Bernard completed his secondary education at Prahran Technical School and studied architectural drawing at the Working Men's College (now RMIT University) in the evenings, while also assisting his father. Evans subsequently worked as a designer and builder for timber merchant, Albert Weston at Box Hill (Dunstan, 2012).

In 1928 Evans established Hampton Timber and Hardware Pty Ltd and the Premier Building Co. and began building speculative villas at Brighton and Hampton. One of his earliest works included a bungalow in about 1930 for his father-in-law which was designed in the Arts and Crafts style (Bunyip Lodge). After spending much of the Depression in Perth, Bernard and his father were contracted by mining magnate Claude Albo de Bernales from 1935 to replace decrepit mansions in Melbourne with Moderne or revival style flats (Dunstan, 2012).

In 1938 Bernard was appointed lieutenant colonel where he commanded the 57th/60th Infantry Battalion. Following several years in service, he registered as an architect in Victoria in 1940 and formed Bernard Evans & Associates, one of Victoria's largest architectural firms. After WWII, the company developed 'shared ownership buildings and the own-your own concept in flats' with some key early examples being the (Greyfriars) flats at 53 Balaclava Road, St Kilda East (1949) and Sheriden Close on St Kilda Road (1950). During the 1950s and 1960s, the firm was responsible for several International style, multi-storey office buildings in central Melbourne, some since demolished, and high-rise projects for the Housing Commission of Victoria (Dunstan, 2012).

Evans served as a Melbourne city councillor from 1949-1973, held the position of chairman of building and town planning (1956-8, 1964, 1966-70) and was twice elected lord mayor (1950, 1960). Evans was knighted in 1962 and died in 1981 (Dunstan, 2012).

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Port Phillip Thematic Environmental History (TEH), February 2021

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St Kilda Council rate books (RB): 1864, entry 1594-95; 1866, entry no. 788

Sands & McDougall Directories (SM), various

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Vardy, John (1873) 'Plan of the Borough of St Kilda' [maps], NW6

Description

The large site has an area of over 2000m² and the terrain slopes about a metre across the width of the site. There are three street boundaries – Chapel Street to the west, Argyle Street to the south, and Phillips Street to the east.

The perimeter fence consists of timber paling between brick piers. The low, retaining wall sections to Chapel and Argyle streets might be original, whilst the taller piers are likely later alterations. All brickwork to the fence is currently painted. There is some perimeter planting shrubs and silver birch trees, including a hedge along the south side, as well as a few palm trees to the south-west corner.

The landmark building has a cruciform footprint that is centrally located on the site. Much of the surrounding land is hard paved with carparking mainly to the rear, including to the undercroft of the east arm of the building. There is also a small pool in south-west corner, introduced during the late 20th century.

The roof is flat and mostly clad in metal sheeting however projects to south side over a recessed deck to the two wider wings - west and east. The latter's soffit has exposed rafter ends and is timber lined. There are also larger roof top decks to the north and south wings.

The red brick is stretcher bond, currently overpainted, with a projecting band demarcating the shift in levels. There are small, paired circular/porthole recesses to the uppermost level of the west and east wings, either side of narrow capped projection in the parapet, which is a chimney.

The wider west and east wings have central, paired balconies with a central concrete dividing wall and concrete deck. Balconies to the narrower wings – north and south - are single, with one to each longer elevation (west and east).

The windows are predominantly steel-framed windows - mostly in large tripartite configurations with side casements, but there are also paired and single windows. The openings are all organised consistently across the elevations. A few original windows or openings have been replaced and have wider muntins, etc.

Comparative analysis

Until the 1940s most apartment blocks in Melbourne were two or three storeys, with a smaller number of four or five storey blocks, many within the central city. A notable exception was 'Alcaston House', a seven-storey apartment block built in 1929 at the corner of Collins and Spring streets in Melbourne. Designed by the prominent architects, A & K Henderson, it remained the tallest apartment block in Melbourne until the post-war era.

In the 1920s and 1930s there were several schemes for flats of six storeys or more in St Kilda, but none came to fruition. Until World War II, the tallest apartment blocks in Port Phillip were of five storeys: the 'Majestic' (1913-14) and 'Ritz Mansions' (1927), both in Fitzroy Street where a 1926 scheme for a seven-storey block did not eventuate. Another unrealized scheme dating from 1936 would have seen an eleven-storey block containing over 200 flats constructed at the corner of Acland and Robe streets.

A significant development in multi-level flat design came in 1939 when the five-storey *Newburn* flats were built in Queens Road, designed by renowned émigré architect, Frederick Romberg (in association with Mary Turner Shaw and Richard Hocking) they were the precursor to the much larger *Stanhill* apartments, also in Queens Road, that rose to nine levels. Designed by Romberg in 1942, but not completed until 1950, *Stanhill* remained the tallest apartment building in Port Phillip (and Melbourne) until the completion of *Edgewater Towers*, designed by another émigré architect, Mordecai Benshemesh, in 1960.

Flats were seen as one means of solving the post-war housing shortage and at the same time that *Stanhill* was completed there were several schemes for six and seven level apartment blocks in Chapel Street between Alma Road and Argyle Street, but only one, *Chapel Lodge*, was built. Designed by Bernard Evans, the approved plans were for seven storeys, but in the end only a five-storey building was built.

Upon completion, *Edgewater Towers* took over from *Stanhill* as Melbourne's tallest private apartment block until Robin Boyd's twenty-level *Domain Park* was completed in 1962.

Chapel Lodge was constructed during the early phase of the Postwar period, during the late 1940s and early 1950s, when the Functionalist style held sway. This form of Modernism is readily identified by clear volumetric expression (usually rectilinear or cuboid), parapets (concealing the roof), and steel-framed windows. Concrete framing was often employed to the openings. This machine-like aesthetic had clear connotations with progress. Whilst cream brick was favoured at this time, there was still some use of red brick which were cheaper (for instance, in 1948 cream bricks were about 15% more expensive than red bricks, which would add considerably to the costs of large blocks of flats (Age 13 Oct 1948 p4)).

Cream brick continued to be favoured during the latter phase of the Post-war period, that is the mid to late 1950s into the early 1960s, however whilst roofs were typically flat, they were usually expressed with soffits, often deep, and openings were typically timber-framed. Some decorative elements crept into the palette such as coloured spandrel panels, ceramic tiles, and balustrading with geometric patterns, partly as a reaction to the often codified and simplified approach to Modernism that was evolving, especially in the realm of the speculative developer (where it offered the opportunity for a cheaper build).

Several other blocks of flats designed by Bernard Evans have been recognized within the heritage overlay. Most pre-date *Chapel Lodge*, being constructed late Interwar period (mid to late 1930s), and reflect one of the contemporary styles, especially the Moderne and/or Art Deco. At this time, Evans consistently employed render externally, though often with some face brickwork and the buildings were either two or three storey.

The four examples constructed in the immediate post-WWII period by Evans are all cream face brickwork but of varying character. The flats at 169 Ormond Road and 91 Ormond Esplanade but subsequent to Chapel Lodge are also indicative of the Functionalist style and are broadly comparable to *Chapel Lodge* but have some varying detailing.

- *Deansgate*, 9 Southey Street, built 1949 (Contributory within St Kilda Botanical Gardens & Environs Precinct). Three storey, Georgian Revival style bachelor/studio flats, variegated cream brick, parapet with dogtooth cornice, multi-paned windows, curved bay with lozenge windows.
- Flats, 169 Ormond Road, Elwood, built 1951 (Contributory within HO8 precinct). Functionalist style, three storey, cream brick, parapet to front and hip roof to the rear, built around an enclosed courtyard. Bank of windows to upper two levels set in concrete frame, timber-framed windows with horizontal glazing bars.
- Pine Gate, 91 Ormond Esplanade, Elwood, 1952-53. Main frontage to Pine Avenue (that to Ormond Esplanade contains a path only) Three storey, variegated cream brick, hipped roof, tile clad. Large windows with horizontal glazing bars but timber-framed and with brown brick sills. U-shaped footprint around central courtyard.
- Flats, 1-7 Newton Court, St Kilda 1953 (Contributory within HO5 precinct). These single storey flats with a continuous, tiled hipped roof and timber-framed openings are largely concealed from the public domain. They were built using a prefabricated construction system.

The few other early post-war flat comparisons, reflect a less pure expression of the Functionalist style:

- Flats, 40 Southey Street, Elwood, built 1941 & 1946, and 44 Southey Street, built c.1946 (Contributory within St Kilda Botanical Gardens & Environs Precinct). Designed by Harry R. Johnson, possibly with the involvement of Mordecai Benshemesh, who was employed in his office during this time. This pair of three-storey flats which frame the entry to Southey Court are similar to each other. Both are cream

brick with steel-framed openings and represent a Moderne/Functionalist hybrid with their prominent curved corner balconies, either partly or fully rendered, and rendered bands.

- Flats, 45 Spray Street, Elwood, built 1950-51. Built by Norman Adderley Three storey, clinker brick and render, large steel-framed openings, broadly Functionalist style but with a projecting flat roof.
- Duplex, 23 Eildon Road, St Kilda, built 1953-54 (Contributory within HO5). Constructed by Norman Adderley. Two storey, variegated salmon brick, timber-framed openings, broadly Functionalist style but with a projecting flat roof.

A few early examples by émigré architects, who became active in the area, are good examples of the Functionalist style but post-date *Chapel Lodge* and have some different detailing. All are largely/fully cream brick externally and three storey.

- The Palestinian born Mordecai Benshemesh: *Burnett Lodge* at 9-11 Burnett Street, St Kilda, 1951 (Citation 4450, Contributory within HO5) and *Barkly Lodge*, 289 Barkly Street, St Kilda, 1956 (Citation 24, HO35). Both are overtly Functionalist in their cuboid volumetric expression with a taller, separate circulation zones (stairs and galleries), parapeted roofs, and steel-framed windows. The glazing to the circulation tower of the former has a horizontal emphasis whereas that to the latter has a strongly contrasting vertical emphasis.
- Viennese born Kurt Popper. Adjacent block of flats at 124-126 Alma Road (1954) + 47 Westbury Street, St Kilda (1956) (both Contributory within HO6). Similar, adjacent blocks in a Functionalist mode. Cream brick (one on a red brick plinth), with parapeted roof, steel-framed windows, some with concrete framing, and separate balconies with concrete decks and metal railing,

Assessment

This place has been assessed in accordance with the processes and guidelines outlined in the Australia ICOMOS *Charter for Places of Cultural Heritage Significance* (The Burra Charter) 2013, using the Hercon criteria.

Recommendations

Add to the Heritage Overlay as an individual place.

In the Schedule to the Heritage Overlay apply:

- external paint controls (to ensure complementary colour schemes are employed and/or encourage paint removal from brickwork).
- fence controls (original front fence)

Primary source

RBA Architects & Conservation Consultants, *HO7 Elwood St Kilda Balaclava Ripponlea Precinct heritage review Stage 2*, 2021

Other studies

Andrew Ward & Associates, *Port Phillip Heritage Review*, 1998



Other images



Front (Chapel Street)



South Elevation – west end (Argyle Street)



South Elevation – east end (Argyle Street)



Rear/east elevation (Queen Street)

Area to be included in HO



City of Port Phillip Heritage Review

Place name: Elbe
Other names: House

Citation No:
2437



Address: 22 Blenheim Street, Balaclava

Heritage Precinct: Not applicable

Category: Residential: House

Heritage Overlay: HO55I

Style: Victorian

Graded as: Significant

Constructed: 1872, additions 1890s

Victorian Heritage Register: No

Designer: Unknown

Amendment: C206port

Comment: New citation

Significance

What is significant?

Elbe at 22 Blenheim Street, Balaclava, built 1872 for gardener John (Johannes) Sprunkel and wife Anne and added to during the 1890s for subsequent owners John and Margaret Maher, is significant.

The freestanding single storey weatherboard house is comprised of the original 1872 'L-shaped' three-roomed house and the later 1890s additions on the south side. The roof, clad in corrugated sheet metal, is a transverse gable to the front with a perpendicular gable wing and a section of skillion roof behind. There are two brick chimneys with corbelled caps and a dogtooth course. The full width front verandah (dating from the 1890s, although a shorter version may have previously existed) has a hipped roof with an ogee profile and is supported by non-original square timber posts. Although the façade was originally symmetrical (windows either side of central door) the 1890s addition has created an asymmetrical composition. The windows are all timber framed double hung sashes (single pane) with moulded timber architraves. There is a highlight above the door.

The 20th century additions to the rear are not significant. The current paint colour scheme is not significant.

How is it significant?

Elbe at 22 Blenheim Street, Balaclava, is of local historical and representative significance to the City of Port Phillip.

Why is it significant?

Elbe is historically significant for its association with an early phase of development in the Balaclava area which accelerated following the 1859 introduction of the railway. Throughout the 19th century modest timber cottages proliferated in pockets of St Kilda East and Balaclava, particularly on the lower lying land known as the 'Balaclava Flats', contrasting with more substantial houses on nearby surrounding higher ground. *Elbe* is amongst the earliest surviving houses in Balaclava/St Kilda East and one of only a comparatively small number dating from pre-1880. (Criterion A)

Elbe is of representative significance as an uncommon example of a modest pre-1880 timber house in the municipality, of which many were built (particularly in the St Kilda East/Balaclava area) but few survive. Although altered (as early surviving timber cottages almost invariably are) the original 1872 'L' shaped extent has been fully retained and the 1890s additions have been made in the manner of the original by extruding the transverse gable roof form and replicating detailing (window and chimney). The transverse gable roof is highly indicative of the 1860/70s. The front verandah was not part of the house initially, although such a feature was common in the 1870s and one may well have been introduced prior to the 1890s when it is confirmed to have existed. The ogee profile of the verandah is relatively uncommon. (Criterion D)

Thematic context

Victoria's framework of historical themes

6. Building towns, cities and the garden state: 6.3 Shaping the suburbs, 6.7 Making homes for Victorians

Port Phillip thematic environmental history

5. Buildings and cultural landscapes: 5.1 Early dwellings, 5.2 Shaping the suburbs (5.2.2 Private development), 5.3 Diverse Housing (5.3.2 Workers and artisan housing)

History

Contextual history

The development of St Kilda began following the first land sales in 1842 and by 1854 there were over two hundred houses. The plan compiled in 1855 by James Kearney shows that most of these were situated to the west of Brighton Road (later High Street and now St Kilda Road). The St Kilda East and Balaclava areas by comparison, were largely undeveloped, particularly east of Chapel Street.

In 1859, the railway to Brighton was opened, spurring subdivision and development in the St Kilda East and Balaclava areas. Throughout the 19th century, modest timber cottages proliferated in pockets of St Kilda East and Balaclava, particularly on the lower lying land known as the 'Balaclava Flats', contrasting with more substantial houses on nearby surrounding higher ground.

22 Blenheim Street

The subject site formed part of Crown portion 146B, Parish of Prahran, County of Bourke. The approximately three-and-a-half-acre allotment (which relates to the northern half of Blenheim Street) was purchased in November 1853 by the Robinson brothers (PP).

The Kearney plan of 1855 (Figure 1) shows that Blenheim Street was not yet in existence and there was no development in the vicinity. By 1859, at least the southern part of Blenheim Street (Crown portion 147B) had been formed when it was subdivided into 26 40ft allotments (RB 1859 nos 1317-1336). The 1864 Cox

plan (Figure 2) shows Blenheim Street extending between Inkerman and Carlisle streets, albeit in a straight alignment (without a bend at the north end), with some limited development in the southern half and none in the northern half. Both plans show the subject site vacant.



Figure 1 - Plan dated 1855 'Melbourne and its suburbs' compiled by James Kearney.

Figure 2 - Plan dated 1864 'Hobson Bay and River Yarra leading to Melbourne' surveyed by Henry L Cox. (Source: State Library of Victoria)

The northern part of Blenheim Street (i.e. Crown portion 146B) was subdivided in the early 1870s, by the then owners Andrew Bridges White, merchant of Geelong, and Samuel Sextus Ritchie, meat preserver of Queen Street Melbourne (CT Vol.456 Fol.180).

The subject site was transferred to John Sprunkel in December 1871 (CT Vol. 463 Fol. 531). Sprunkel had recently rented nearby houses in Sebastapol Street (RB Jan 1872 no. 747) and Blenheim Street (RB 1870 no. 1329). The November 1872 rate book lists John Sprunkel, gardener, as the owner and occupier of a 3-roomed weatherboard house with a NAV of £13 (RB no.1564). The 1873 rate book records that Sprunkel was one of five gardeners living in Blenheim Street at that time, some of whom may have been employed at George Brunning's nearby nursery in Inkerman Street (RB Jan 1872 no.1414).

The 1873 Vardy plan (Figure 3) shows the subject house had an 'L'-shaped footprint (no front verandah) and there was a brick outbuilding to the rear on the north boundary. The subject house was one of four adjacent weatherboard houses on the east side of the street, including one with a similar footprint. The north part of Blenheim Street was dominated by the 8-roomed brick residence *Alderstead* set in approximately 1 acre of grounds on the east corner of Inkerman Street. This plan shows the north part of Blenheim Street according to its current alignment.

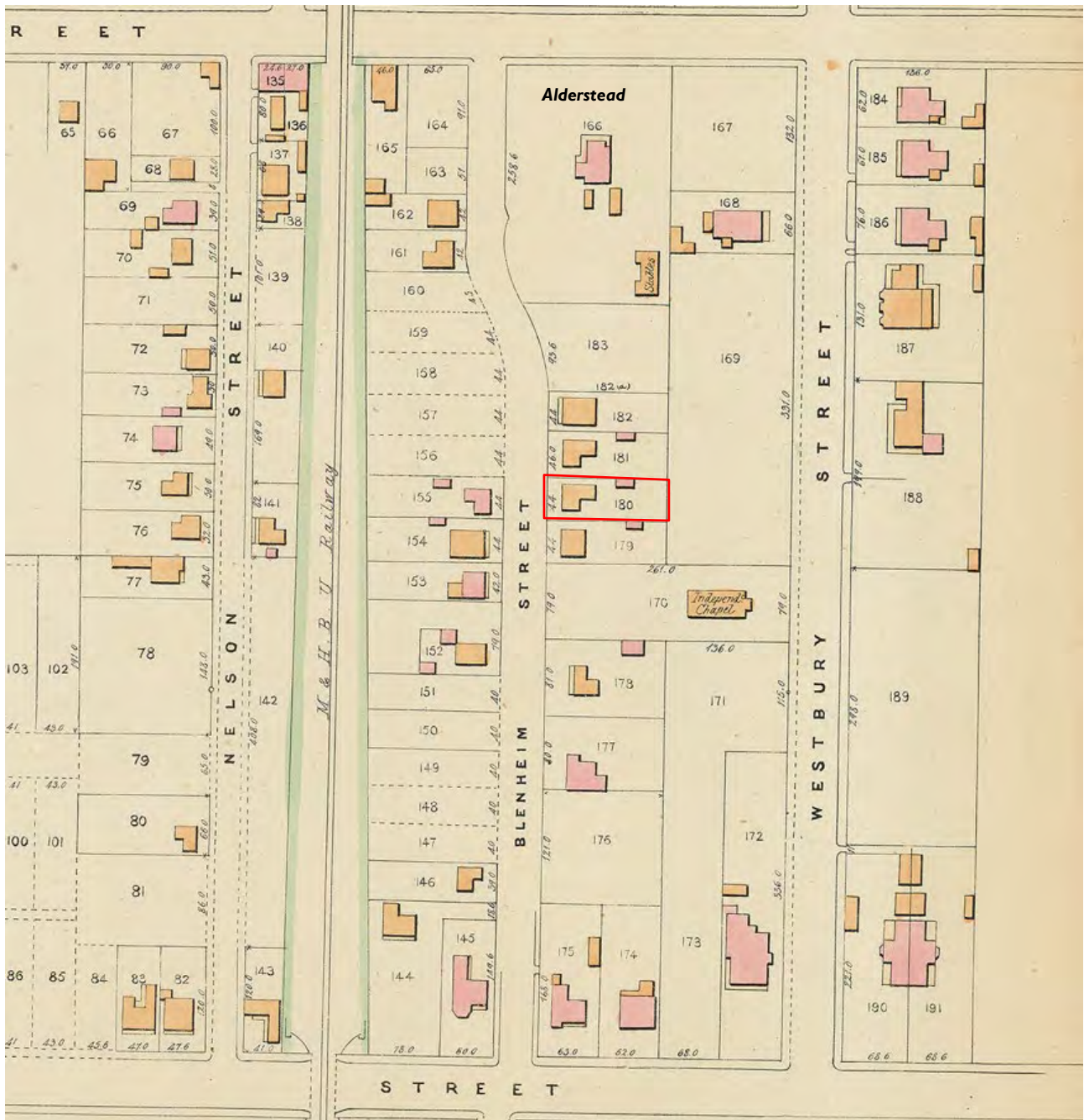


Figure 3 - Plan of the Borough of St Kilda, South Ward No. 2 (J.E.S. Vardy, 1873). The subject site is outlined. Timber buildings are shaded orange and brick buildings are shaded pink. (Source: St Kilda Historical Society)

John (Johannes) Sprunkel and his wife Anne (married in 1866) lived at the subject house they named *Elbe* until their deaths. ‘Elbe’ probably references the Elbe River, one of the major rivers of central Europe which arises in the Czech Republic and traverses north-eastern Germany to the North Sea. John died in 1888 aged 53 years (Age 26 Oct 1888 p5) and Anne in 1892 aged 64 (Age 10 Mar 1892 p1). The couple had three children who had died in infancy (St Kilda cemetery records).

The house was subsequently owned by John Maher, a machinist. John and his wife Margaret had a young growing family and they soon expanded the house, apparently in stages. The 1894 rate book records 5 rooms (RB no. 2990) and the 1897 rate book records 8 rooms with a NAV of £25 (RB no. 3014).

The 1898 MMBW plan (Figure 4) shows the footprint of the subject house after it had been expanded by



the Maher family. It shows that additional rooms were introduced on the south side and at the rear, and that there were also verandahs to the front and rear. An asphalt path led to the main entry, but there was also a second path along the southern boundary. The MMBW plan also shows that by this time, Blenheim Street was almost fully developed, mostly with weatherboard houses.

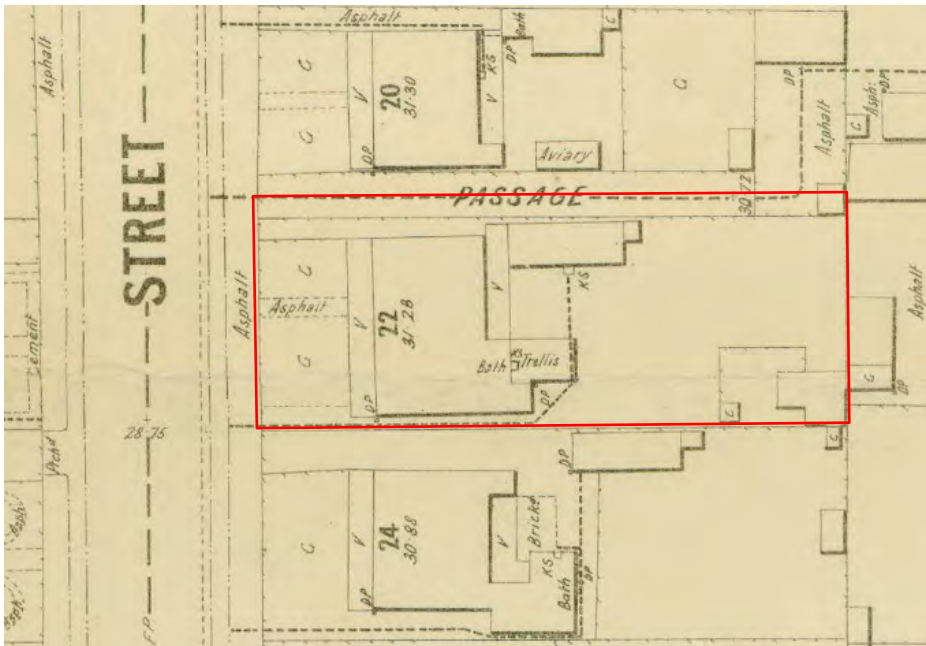


Figure 4 - MMBW Detail Plan No. 1425 (dated 1898) (Source: State Library of Victoria)

John Maher lived at the house until his death in 1921 (Herald 11 Aug 1921 p20) and Margaret Maher until her death in 1933 (SM; BDM). The 1945 aerial photograph shows the footprint of the subject house consistent with the earlier MMBW plan. The roofing appears to be slate to the original section, with corrugated sheet metal to rear parts and outbuilding.



Figure 5 - Aerial photograph dated 1945, showing the subject house. (Source: Landata, Proj No 5, Run 17E, Frame 58014)

During the late 20th century, further rear additions were introduced to the house. The earlier brick outbuilding on the north boundary has been removed.

References

Certificates of Title (CT): Vol. 7448 Fol.536; Vol. 463 Fol. 531; Vol. 456 Fol. 180; Vol. 339 Fol. 749.

Cooper, J.B., 1931, *The History of St Kilda. From its settlement to a city and after. 1840 to 1930*, Volume 2

Melbourne and Metropolitan Board of Works plan, scale 160 feet to 1 inch. no. 45, Prahran & St Kilda (dated 1896)

Newspapers: *Age*, *Herald*

Parish Plan - at Elwood, Parish of Prahran, P81-13 (PP)

Port Phillip Thematic Environmental History (TEH), February 2021

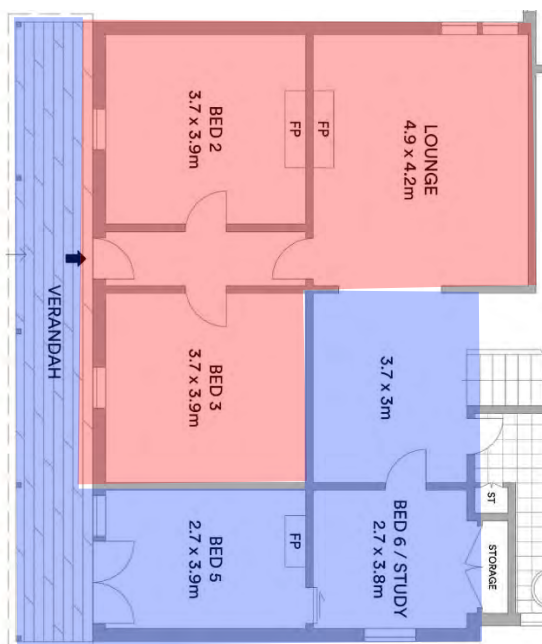
Sands and McDougall's street directories (SM)

St Kilda Rate Books (RB) 1859-1900 viewed at Ancestry.com

Description

The site is rectangular and located on the east side of Blenheim Street. The freestanding single storey weatherboard house is set back a few metres from the front boundary and is partly obscured by plantings.

The building footprint to the front largely survives consistent with the 1898 MMBW plan. It is comprised of the original 1872 three-roomed house and the later 1890s additions on the south side. The front verandah also dates to the 1890s, however it is possible that a shorter one may have been constructed earlier (that is after 1872 but prior to the 1890s). Refer Figures 6 and 7. At the rear of the 19th century house is a late 20th century part one, part two storey addition.



Figures 6 & 7 - Floor plan (left) and recent aerial photograph showing the front part of the house. The original extent of the three-roomed 1872 cottage is shaded red, and the 1890s additions are shaded blue. (Source: McGrath Real Estate and Nearmap)

The roof is a transverse gable to the front with a perpendicular gable wing behind forming an L-shaped footprint and a section of skillion roof. The roof is clad in corrugated sheet metal. Two brick chimneys survive with corbelled caps and a dogtooth course. Although the chimneys relate to different phases of development (north chimney 1872, south chimney 1890s) they have a similar design.

The walls are clad in horizontally orientated weatherboards. The full width front verandah is supported by non-original square timber posts. The hipped verandah roof is clad in corrugated sheet metal and has an ogee profile. The deck is timber.

Although the façade was originally symmetrical (windows either side of central door) the 1890s addition on the south side has resulted in an asymmetrical composition. The additional room has French doors onto the verandah and may have been a 'stranger's room' or a room that was leased out (i.e. a room without internal access). The windows are all timber framed double hung sashes (single pane) with moulded timber architraves, although the south window is not as tall. The front door is obscured. There is a highlight above the door.

The front garden has various plantings including trees and bushes. The timber picket front fence is neither original nor early.

Comparative analysis

The subject house is an example of a modest 1870s timber house in the St Kilda East/Balaclava area, of which many were built but few survive. Such houses were commonly replaced with brick from the latter part of the 19th century onwards.

While there are comparatively many modest timber cottages dating from the late 1880s and early 1890s represented in the Heritage Overlay, examples from pre-1880 are much rarer. Other surviving examples of comparable pre-1880 single storey timber houses within the St Kilda East/Balaclava area include:

- 34 Young Street, St Kilda East (1870). (Citation 2309, HO401). Double fronted, symmetrical, full width straight-roofed verandah built to the front boundary with timber frieze, transverse gable roof, short brick chimney.
- 16 Balston Street, Balaclava (c.1863). (Citation 2303, HO395). Double fronted, symmetrical, full width bullnose verandah with non-original timber posts and cast iron, transverse gable roof, brick chimney to gable end, altered windows.
- 62 Octavia Street, St Kilda (c.1862). (Citation 2389, HO6 precinct). Double fronted, symmetrical, full width verandah with straight roof with timber frieze and cast-iron bracket (possibly not original), transverse slate-clad gable roof, brick chimney.
- 41 Rosamond Street, Balaclava (thought to be pre-1873). (Contributory within HO439). Double fronted, symmetrical, full width verandah with early 20th century type of cast iron frieze, hipped roof, brick chimney, windows possibly altered.
- 149 & 151 Argyle Street (1872) and 1 Queen Street (1876) (Citation 2418). An attached pair and a freestanding house, built by the same owner builder. Symmetrical/mirrored façade compositions, transverse gable roofs, brick chimneys and full width front verandahs. 149 & 151 Argyle Street are an unusual early (pre-1880) paired example that share an undivided gable roof.
- 2 and 4 Queen Street, St Kilda East (1878) (Citation 2442). Attached pair with mirrored façade compositions, transverse gable roofs, brick chimney (one surviving) and full width front verandahs.
- 51-57 Leslie Street, St Kilda East. No. 53 thought to be built in 1873 and nos 51+55 in 1875. The date for no. 57 is unclear. (Not in heritage overlay). Double fronted, symmetrical, full width verandahs, transverse gable roofs, some with brick chimneys.

The subject house and the examples listed above have all undergone some level of change, as almost invariably occurs with early timber cottages. Importantly however, they retain original building formats, and where fabric has been replaced it has generally been in a similar manner or in keeping with the original character/period. Despite the 1890s additions to the subject house, the full extent of the original 1872 'L'

shaped house remains intact, and the additions have been made in the manner of the original 1870s house by extruding the transverse gable roof form and replicating detailing (window and chimney). The transverse gable roof remains highly indicative of the 1860/70s (by the 1890s hipped roofs were prevalent). While the house did not initially have a front verandah, such a feature was common in the 1870s and one may well have been introduced prior to the 1890s when it is confirmed to have existed. The ogee profile of the verandah is uncommon.

Assessment

This place has been assessed in accordance with the processes and guidelines outlined in the Australia ICOMOS *Charter for Places of Cultural Heritage Significance (The Burra Charter) 2013*, using the Hercon criteria.

Recommendations

Add to the Heritage Overlay as an individual place.

Apply external paint controls in the Schedule to the Heritage Overlay (to ensure complementary colour schemes are employed).

Primary source

RBA Architects & Conservation Consultants, *H07 Elwood St Kilda Balaclava Ripponlea Precinct Heritage Review Stage 2, 2021*

Other studies

Andrew Ward & Associates, *Port Phillip Heritage Review, 1998*

Other images



Area to be included in HO



City of Port Phillip Heritage Review

Place name: Elwood Talmud Torah Congregation Complex
Other names: Elwood Synagogue, Elwood Shule

Citation No:
2434



Address: 37-39 Dickens Street, Elwood
Category: Religion: Synagogue and Education
Style: Postwar + Late 20th century: Modernist
Constructed: c.1908, 1956-57, 1957, 1960-61, 1973
Designer: Kurt Popper, Karl Duldig
Amendment: C206port
Comment: New citation

Heritage Precinct: Not applicable
Heritage Overlay: HO556
Graded as: Significant
Victorian Heritage Register: No

Significance

What is significant?

The Elwood Talmud Torah Congregation Complex at 37-39 Dickens Street, Elwood is significant.

In 1908 Samuel Allen purchased this property and built a brick house and stables. In 1949 the Elwood Talmud Torah Congregation acquired the property and converted the house to a kindergarten. From 1956 to the 1980s the congregation built a complex of buildings on the property, replacing the former house.

The contributory buildings are:

- The c.1908 former stables is red brick with a slate clad gable roof. There is a red brick chimney at the north end. There is a taller central loft component with a separate gable roof from which a beam with a hook extends. Although the opening to the loft has been partly bricked in it retains its basalt sill.
- The two-storey synagogue, designed by Kurt Popper, is comprised of the partially retained original 1956-57 synagogue at the rear, 1960 upper-level extension on the west side, and the substantial 1973 addition at the front. The façade is comprised of blank cream brick walls with recessed, blue-tiled panels, and narrow bands of windows concealed in alcoves. The angled roof has a wide eave overhang at the front. The recessed entrance has a cantilevered canopy and double doors featuring Star of David motifs. Above the entrance is a copper sculpture by Karl Duldig also featuring the Star of David. At the sides, there are narrow vertical bands of windows, the tops of which are angled in line with the roof.

- The college building, designed by Kurt Popper and built in 1960-61, is a two-storey cream brick building with a flat roof and a wide eave overhang at the front. The upper part of each floor features timber-framed banks of windows with a consistent configuration of fixed and awning lights. There is a concrete canopy over the ground floor windows, similar in width to the eaves overhang above the upper floor windows. At the east end is a full height projecting component with a recessed panel of dark grey, textured concrete bricks.
- The kindergarten at the rear of the site, designed by Kurt Popper and built in 1957.

Alterations and additions post 1980, including the assembly hall constructed in 1980, the post-1980s building to the rear of the synagogue, and the altered cream brick fence to Dickens Street, are not significant.

How is it significant?

The Elwood Talmud Torah Congregation Complex, is of local historical, rarity, representative, aesthetic and social significance to the City of Port Phillip.

Why is it significant?

It is historically significant as a complex built between the mid-1950s and 1973 in response to a period of massive growth for Melbourne's Jewish community during and following World War II. It is demonstrative of the large Jewish community that was established in the broader St Kilda area and the formation of various congregations. The complex is specifically associated with the Elwood Talmud Torah Congregation which was formed in about 1932, and like many Post-war congregations they initially met in adapted buildings, including a Federation period house in nearby Avoca Street, before building a dedicated synagogue at the site in 1956-57. The staged development of the complex, which includes the synagogue and educational facilities, indicates the strong continuing growth of the congregation into the late 20th century. (Criterion A)

It is of aesthetic significance as an intact and distinctive group of Post-war religious buildings in the Modernist idiom designed by prominent Jewish émigré architect Kurt Popper. Although built over a period of some seventeen years and representing different streams of Modernism they have a consistent cream brick materiality. The bold monolithic composition of the remodelled synagogue is reflective of Brutalism, however the atypical palette of cream brick and blue tiles results in an unusually soft expression. The façade is complemented by a copper sculpture by Karl Duldig. The college building reflects the restrained Modernism characteristic of the time and has strong contrasting vertical and horizontal emphases. (Criterion E)

It is of social significance for its strong association and continuum of use by the Elwood Talmud Torah Congregation since their acquisition of the site in 1949. (Criterion G)

The Federation period stables are of historical significance as a remnant of the former residential occupation of the site by the Allen family. It is rare surviving example, especially from the 20th century, of a once common outbuilding type of which few now survive in St Kilda. It has a distinctive form and retains a slate clad roof. (Criteria A, B and D)

Thematic context

Victoria's framework of historical themes

2. Peopling Victoria's places and landscapes: 2.4 Arriving in a new land, 2.5 Migrating and making a home, 2.6 Maintaining distinctive cultures; 8. Building community life: 8.1 Maintaining spiritual life

Port Phillip thematic environmental history

3. People: 3.5 Expressing identity and culture; 8. Community life: 8.1 Spiritual life

History

Contextual history

Residential Development

Private development in the City of Port Phillip began from the time of the first sales of Crown land in the 1840s and 1850s.

Mansion estates – large detached homes on generous allotments – defined early, permanent housing in Elwood and St Kilda, in the mid-nineteenth century. The estates were located in four distinct clusters: St Kilda Hill; the semi-rural estates occupying the high ground on the south side of Dandenong Road from the Nepean Road (now St Kilda Road) to Orrong Road; those surrounding the St Kilda Botanical Gardens and along Brighton Road; and the remote ‘sea-side’ estates along Ormond Esplanade. (TEH).

As demand for housing grew, mansion estate subdivisions commenced as early as the 1870s when part of the Charnwood Estate in St Kilda was subdivided to create Charnwood Crescent and Charnwood Grove, where detached villas were erected. The original mansion often survived the first two rounds of subdivision, only to be demolished by the interwar or post-war periods. Those that were retained on much smaller blocks of land were rarely used as single dwellings. Instead, many were converted into boarding houses or flats and this often ensured their survival (TEH).

Most of the development that occurred during the Federation period occurred on subdivisions laid out during the 1880s boom period, as well as in the continuing subdivision of mansion estates in St Kilda, Elwood, Balaclava and Ripponlea. (TEH).

Jewish Congregations

The strong Jewish community in St Kilda and Elwood today is largely a result of post-World War II migration. However, there has been a Jewish congregation in the area since the late 1800s. The St Kilda Hebrew Congregation was established in 1871 and built its first synagogue on part of the former Charnwood estate the following year. The congregation grew and by the early 1920s, it needed a larger synagogue. The new St Kilda Hebrew Congregation Synagogue was built almost directly opposite the original building and was consecrated in 1927. Designed by Joseph Plottel, the synagogue is built in Byzantine Revival style.

The first Australian Temple Beth Israel was founded in Melbourne in 1930 by Ada Phillips. It promoted a progressive form of Judaism that was more relevant and appealing to younger Jews. Services were held at Wickliffe House on the St Kilda Esplanade, the St Kilda Town Hall and the Christ Church hall. A synagogue was purpose-built at 76-82 Alma Road, St Kilda in 1937. But by the end of World War II, with 1,600 people attending on High Holidays, some services had to be held at the St Kilda Town Hall. By the late 1950s, the congregation had grown to become the largest single Jewish congregation in Australia.

The Elwood Talmud Torah congregation was founded in the 1930s to serve the increasing number of Jewish migrants escaping growing anti-Semitism and persecution in Europe. The congregation, like so many others in the study area, began meeting in private homes before raising enough funds to purchase land and build a synagogue. Kurt Popper, a Viennese modernist architect, designed the Elwood Talmud Torah. It opened its doors in 1957. Part of the community broke away in 1939-1940 to form the Adass Israel Congregation, which established a synagogue at 24 Glen Eira Road, Ripponlea in 1950. In December 1950, the foundation stone for a mikvah – a ritual bathhouse – was laid behind the main building. The community continued to expand its synagogue to surrounding sites from the 1960s, to accommodate its growth.

The Sephardi Jewish community also arrived in the area during the huge wave of post-war migration in the 1950s. They worked hard to establish a place of worship of their own, and in 1994 former Australian Governor Sir Zelman Cohen opened the Sassoon Yehuda Sephardi Synagogue on Hotham Street, East St Kilda.

These synagogues are still in regular use. The range of congregations demonstrates the diversity and strength of the Jewish community in the City of Port Phillip (TEH).

Place History

Early development

The subject site formed part of Crown portion 99 Parish of Prahran, a two-acre allotment on the south side of Dickens Street which was purchased 1 September 1853 by Joseph Sutherland (PP).

The development of the St Kilda Botanical Gardens from c.1860 led to the surrounding streets becoming a desirable residential area. By the end of the nineteenth century Blessington, Tennyson, Dickens and Herbert streets were lined with substantial villas, and mansions set in large grounds.

During the 19th century, the subject site became at least partly included in the extensive grounds of the Ascog estate which was originally developed in the 1850s for William Kaye. The 1904 MMBW plan (Figure 1) shows the site undeveloped, save for an outbuilding on the southern boundary. It also shows that Bayview Street had been created.

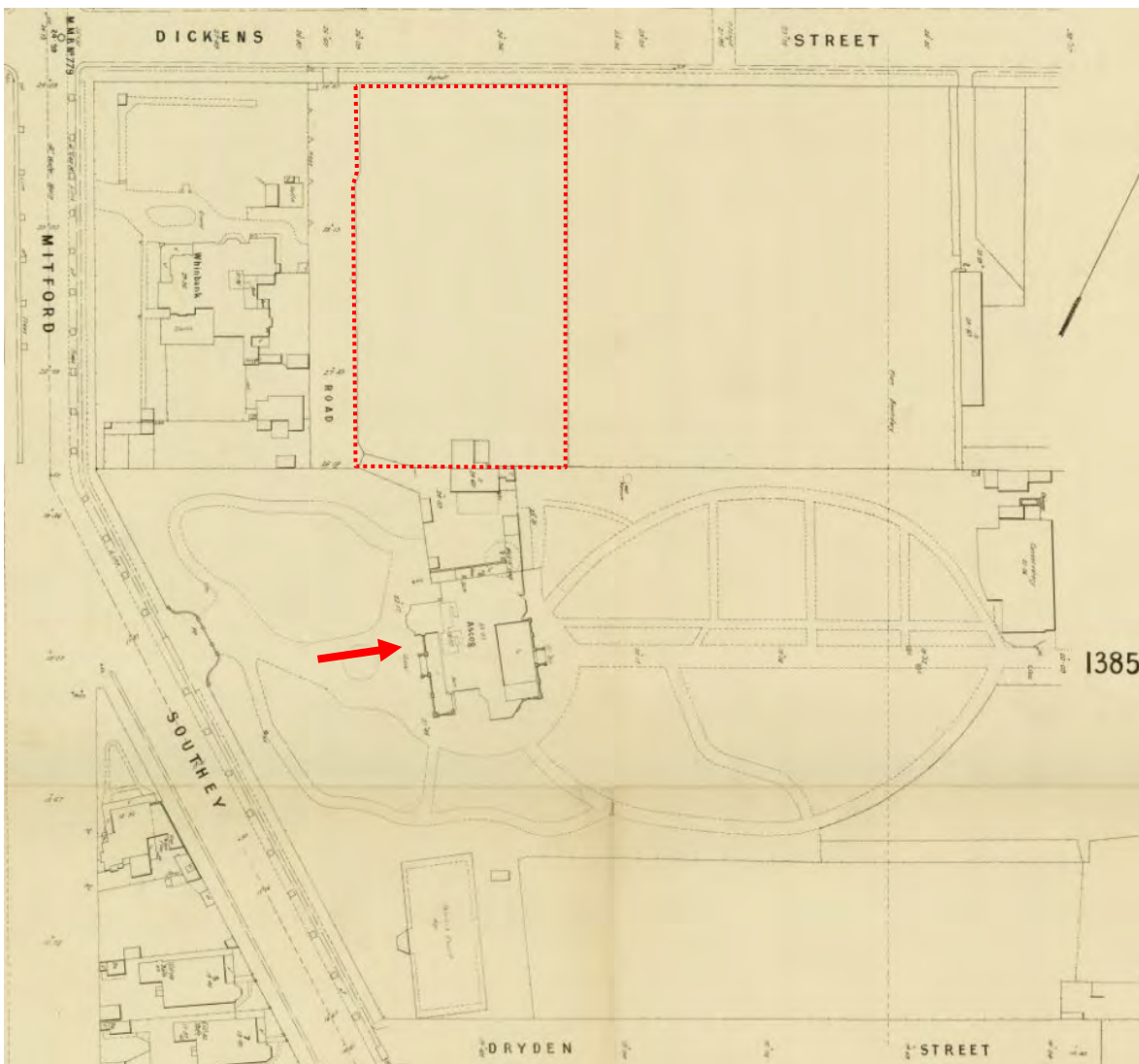


Figure 1 - MMBW detail plan no.1386, dated 1904. The subject site is outlined. 'Ascog' is indicated with an arrow. (Source: State Library of Victoria)

By the early 20th century, the subject site was fully included in the grounds of Ascog. In 1907, the Ascog estate was subdivided creating allotments to Tennyson Street and Avoca Street (the latter initially proposed to be called Ascog Street).

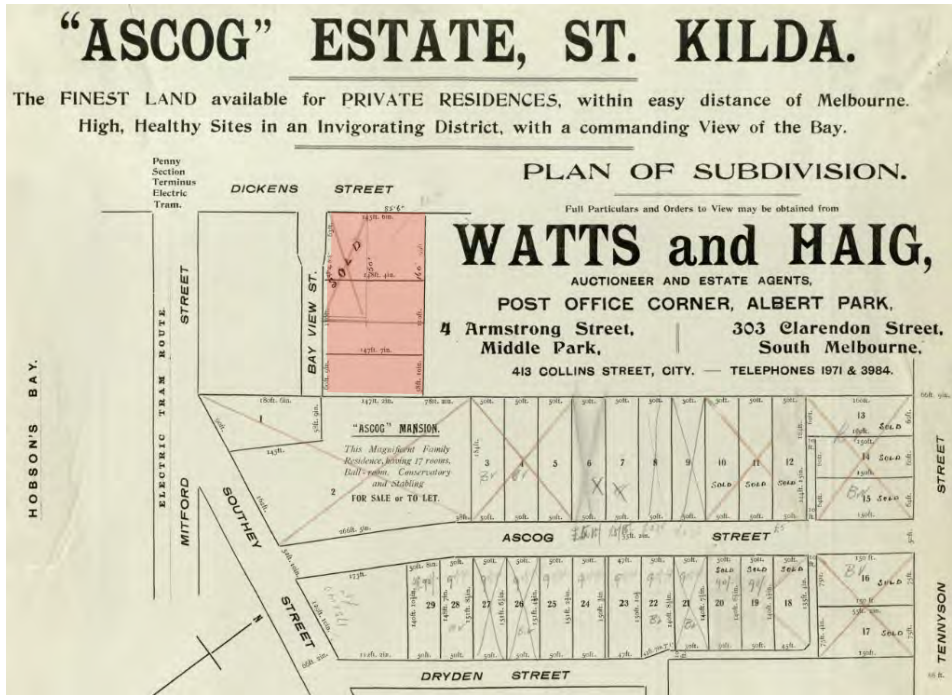


Figure 2 - Subdivision plan for Ascog Estate. Subject site shaded red. Undated, but assumed to be 1907. (Source: State Library of Victoria)

The subject land, totaling almost one acre, was purchased by Samuel Allen, a bookmaker, and transferred in parts in April and May 1908 (CT v.3199 f.686; v.3255 f.914). In July of the same year, Council issued a building permit (no. 687) to Allen for a two-storey brick residence, which was built soon after. The 1910 Sands and McDougall’s street directory lists Samuel Allen on the south side of Dickens Street. A brick stables on the west boundary was presumably built around the same time as the house. Samuel Allen died in 1930, but the property stayed in the Allen family for the next two decades.

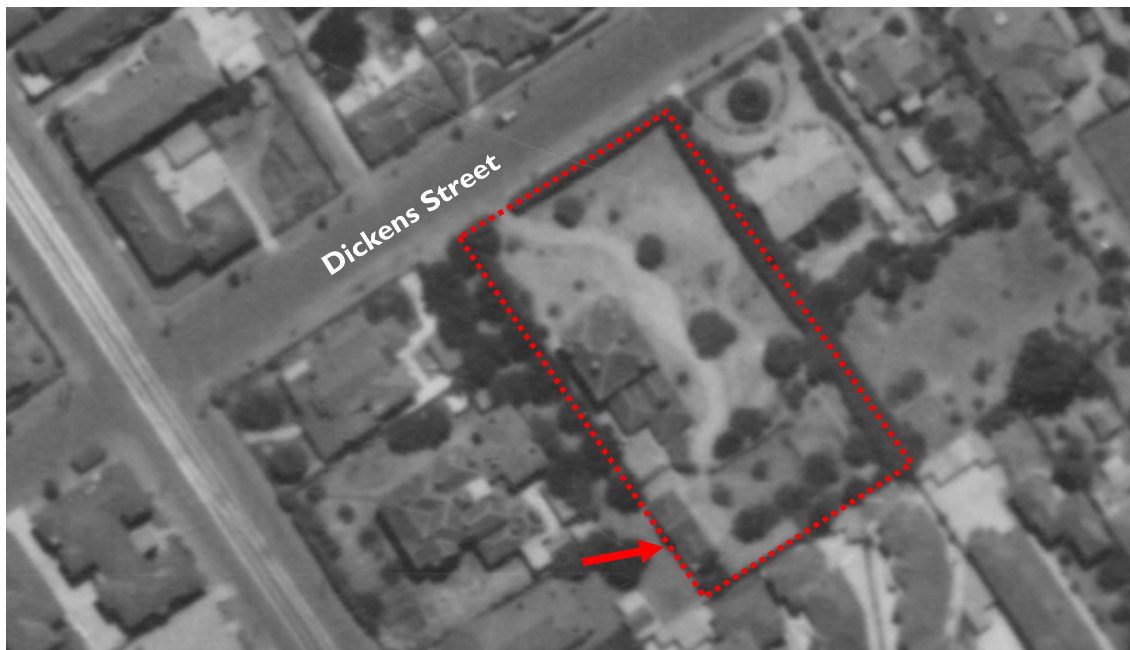


Figure 3 - Aerial photograph, dated 1945. The subject site is outlined, and the stables building on the western boundary is indicated. (Source: Landata, Proj No 5, Run 16, Frame 57850)

Elwood Talmud Torah (Elwood Shule)

In March 1949, the subject site was purchased by members of the Elwood Talmud Torah Congregation, specifically Abraham Sicree (president), Judah Slonim, Moses Hirsh and Bernard Harrison (CT v.3269 f.716 1st edition). At the same time, two adjoining parcels of land to the east were also purchased to create an 'L' shaped site (CT v.7315 f.987; v.7315 f.988). The site was purchased to enable expansion of the congregation's facilities, as their premises at 26 Avoca Avenue, a converted Federation period house, had become too small. In about 1951, the former Allen family residence at the subject site was converted for use as a kindergarten for the congregation (Figure 4).



Figure 4 - Photograph early 1950s, showing the former Allen family residence on the site following its conversion to a kindergarten. (Source: Elwood Shule website)

In February 1956, the foundation stone for the new synagogue was laid, however it was not until October 1956, that Council issued a building permit (BP 2980). The plans, which are undated, were prepared by architect Kurt Popper of 128 Jolimont Road, East Melbourne. The building was estimated to cost £32,000. In January 1957, the proposed synagogue was also approved by the Department of Health, following some amendments to the plans.

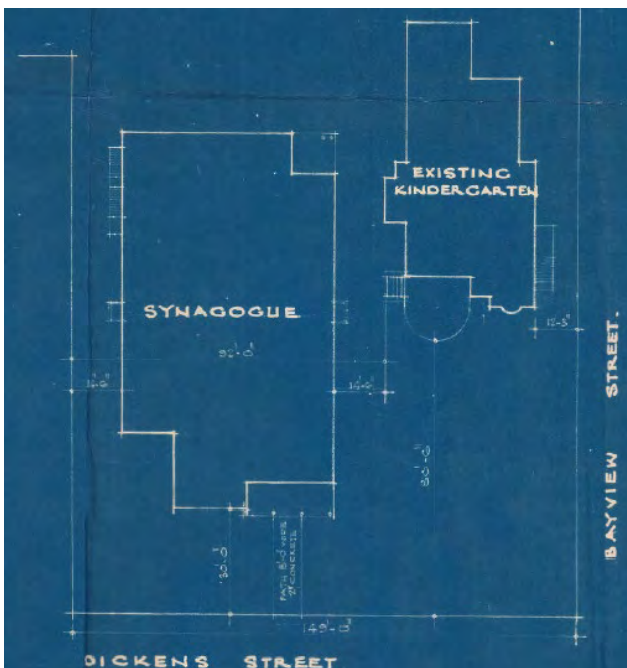


Figure 5 - Building permit 2980 drawings (K Popper, undated). Site plan showing footprints of the kindergarten (former Allen residence) and the proposed new synagogue. Dickens Street is at the bottom. (Source: Council Building File)

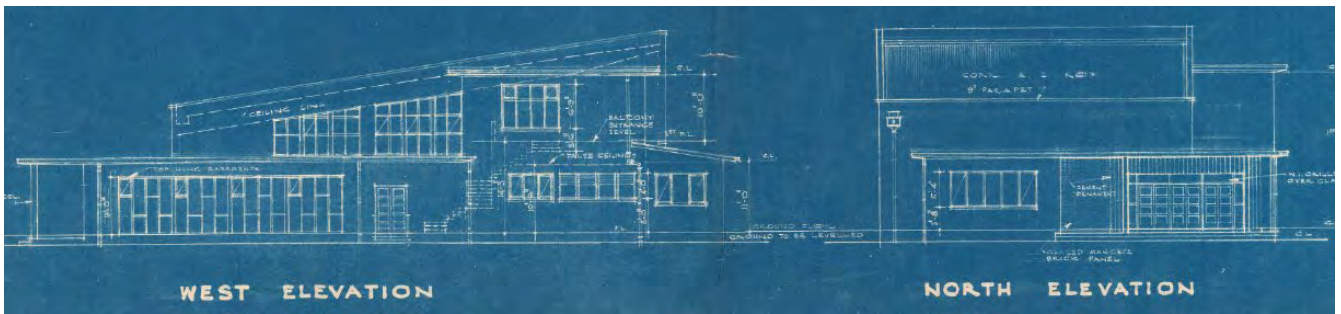


Figure 6 - Drawings relating to building permit 2980 (K Popper, undated). North and west elevations of the proposed new synagogue. (Source: Council Building File)

The synagogue was constructed by builder L U Simon of 8 Longstaff Street, East Ivanhoe. This was one of the earliest commissions for L U Simon who are now established as a leading Victorian building company (Note: LU Simon also constructed B'nai B'rith House in Hotham Street in 1959). The cream brick building was comprised of a single storey flat-roofed section containing the entrance lobby wrapping around a two-storey skillion-roofed section containing the synagogue and gallery set back from the front. The furniture was designed by Peter Danby (Townsend, 2019). It was designed to hold 427 men and 213 women, the imbalance reflective of social attitudes at the time of construction (Aron in *Spirit of St Kilda*). The new synagogue was opened in September 1957.



Figure 7 - The newly completed synagogue c.1957. (Source: Elwood Shule website)

In May 1957, a building permit was issued for new kindergarten rooms to be located on the rear boundary (BP 3552). Again, Kurt Popper prepared the plans and the builder was L U Simon. The estimated cost was £4,900. In June 1957, the plans were amended to include a small cloak room addition (BP 3622).

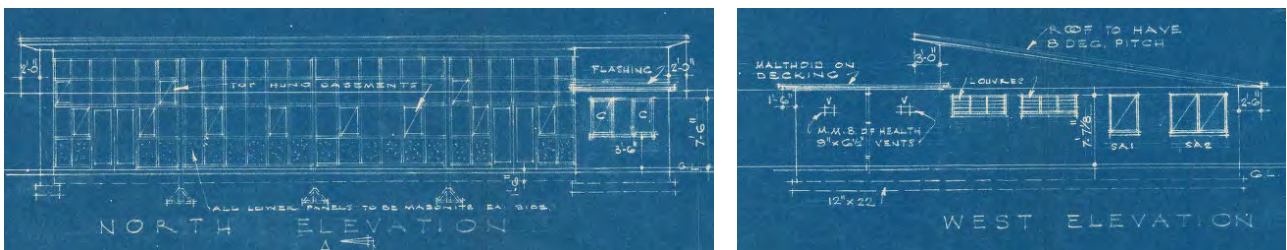


Figure 8 - Drawings relating to building permits 3552 and 3622 (K Popper, undated). North and west elevations of the proposed kindergarten rooms. (Source: Council Building File)

In May 1959, a building permit was issued for some alterations (mainly internal) to the former Allen family residence, amounting to £300 (BP 57/724).

In June 1960, a building permit was issued for an upper storey brick addition to the west side of the synagogue containing an extension to the women's gallery (BP 57/1339). Kurt Popper prepared the plans and the builder was L U Simon. The estimated cost was £2,500.

In December 1960 a building permit was issued for a new building for Moriah College (BP 57/1612). The estimated cost was £9,500. Kurt Popper prepared the plans and the builder was L U Simon. The two-storey cream brick building containing six classrooms was erected in the north-west corner of the site, in front of the former Allen family residence.

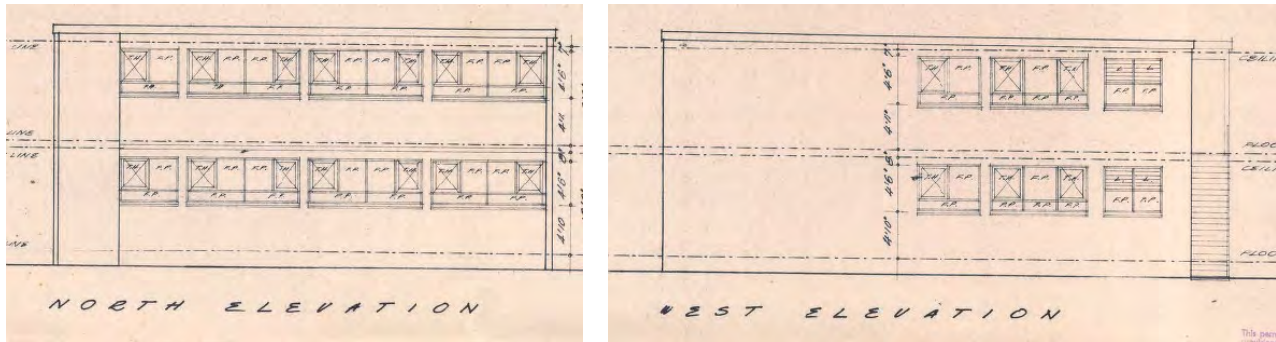


Figure 9 - Drawings relating to building permit 57/1612 (K Popper, Oct. 1960). North and west elevations of the proposed new college building. (Source: Council Building File)

The continued growth of the congregation meant that by the early 1970s, a major remodeling and expansion of the synagogue was required. In January 1973, a building permit was issued for an addition to the synagogue (BP 4609). Again, Kurt Popper prepared the plans, and the builder was L U Simon. The estimated cost was \$110,000. The scheme involved the retention of much of the 1957 synagogue with a substantial two-storey addition to the front. Karl Duldig was commissioned to design a sculpture for the façade. Internally, stained glass windows were painted by Adele Shaw, and the Ark was designed by Kurt Popper in teak timber (*Australian Jewish News* 21 Sep 1973 p2). The new synagogue provided seating for 538 men and 530 women (Aron in *Spirit of St Kilda*) and was opened on 23 September 1973 (*Australian Jewish News* 14 Sep 1973 p23).

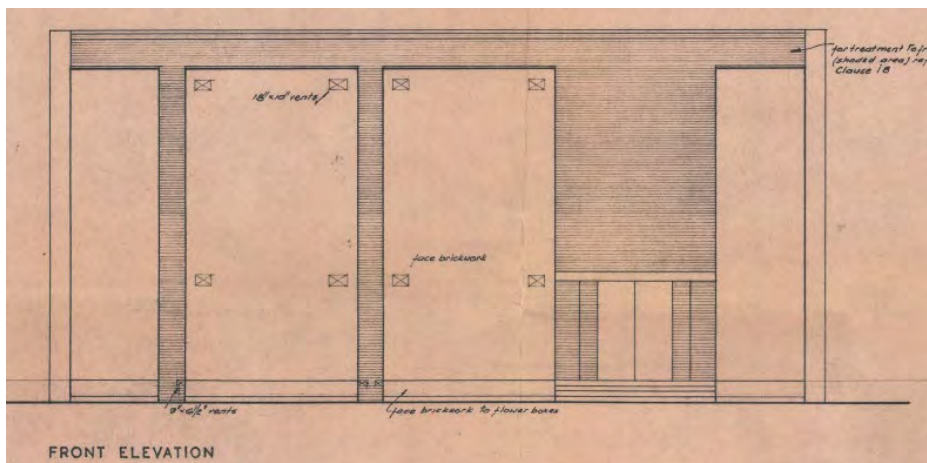


Figure 10 - Drawing related to building permit 4609. Proposed front elevation (K Popper, Nov. 1972) (Source: Council Building File)

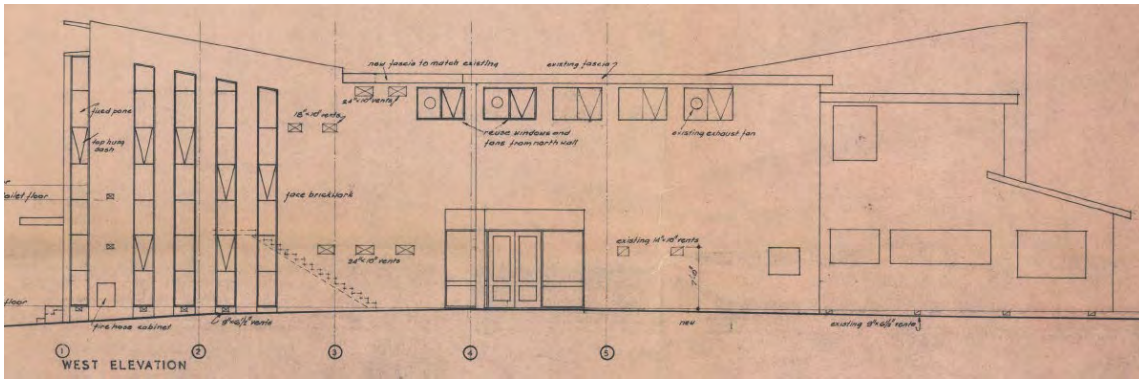


Figure 11 - Drawing related to building permit 4609. Proposed west elevation (K Popper, Nov. 1972) (Source: Council Building File)

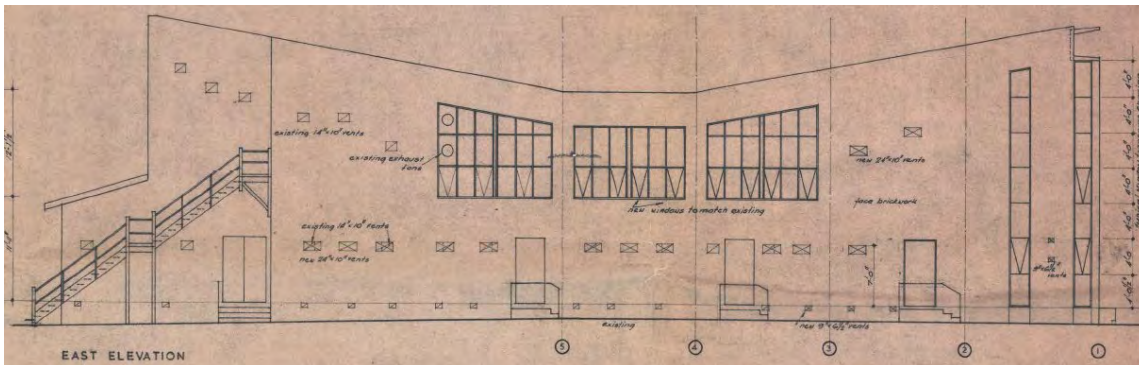


Figure 12 - Drawing related to building permit 4609. Proposed east elevation (K Popper, Nov. 1972) (Source: Council Building File)

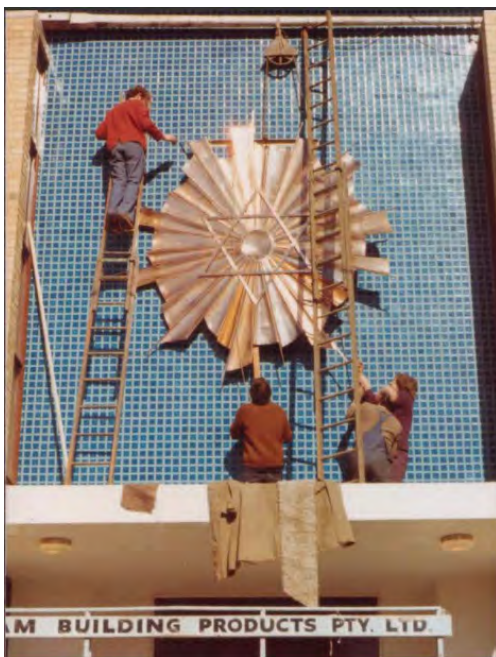


Figure 13 - Installing Karl Duldig's copper Star of David sculpture, 1973 (Source: Elwood Shule website)



Figure 14 - The newly completed synagogue in 1973. (Source: Elwood Shule website)

In December 1979 permission was given to demolish the former Allen residence (BP 7767) and in February 1980 a permit was issued for a new assembly hall in its place (BP 7845). In a departure from previous commissions, Nicholas Katris & Associates prepared the plans and the builder was Florida Building Company. The estimated cost was \$130,000.

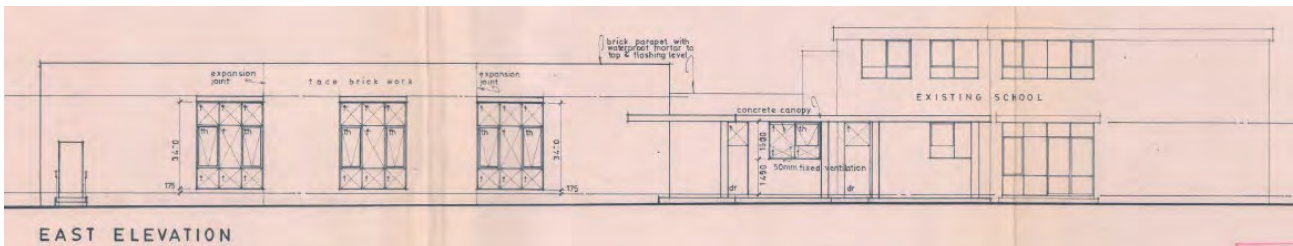


Figure 15 - Drawing related to building permit 7845. Proposed east elevation (Nicholas Katris & Assoc. June 1979) (Source: Council Building File)

The site plan (Figure 16) shows the configuration of buildings in 1980. It indicates that the 1908 stables building on the west boundary was being used as a caretaker's residence.

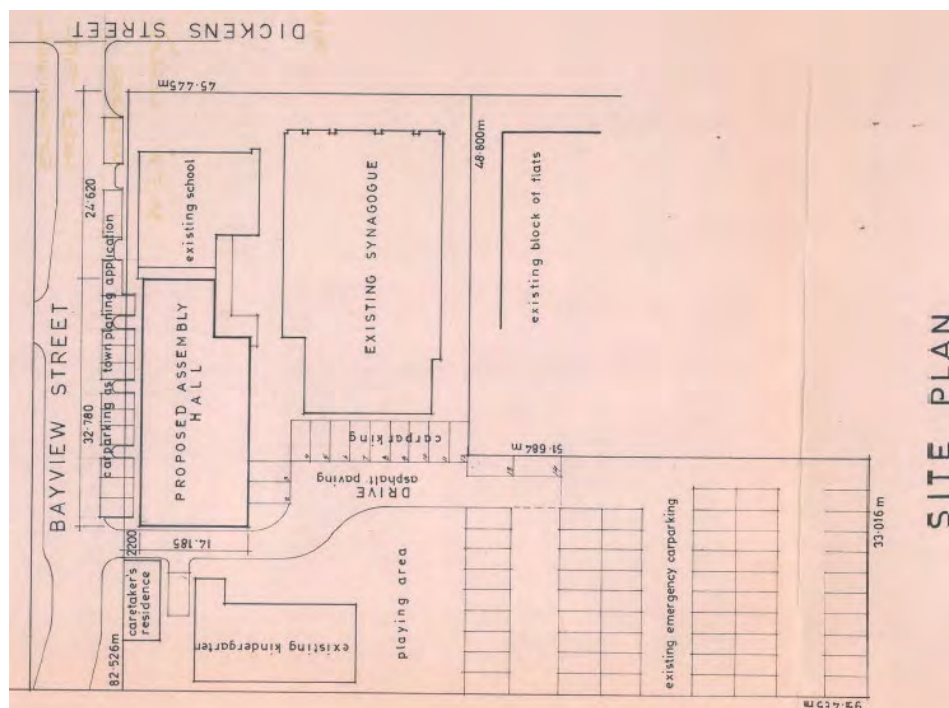


Figure 16 - Drawing related to building permit 7845. Site plan (Nicholas Katris & Assoc. June 1979) (Source: Council Building File)

Sometime between 1986 and 2009 another building, which is visible on recent aerial photographs, was constructed to the rear of the synagogue.

Elwood Talmud Torah Congregation

The following early history of the Elwood Talmud Torah Congregation, prepared by Yossi Aron, is from *The Spirit of St Kilda*:

The congregation began with a private Minyan (prayer service) held in the home of Joseph Fisher from about 1932. In 1938 premises were found at 40 Mitford Street, where services were held and a part-time Talmud Torah school provided after school and Sunday morning instruction in the Jewish religion. At peak times, services took place in halls in Acland Street, St Kilda, and Hennessy Avenue, Elwood. Permanent premises were acquired at 26 Avoca Avenue in 1942. The existing house was renovated to serve as a home for the congregation through the turbulent post-war years until the further increase in numbers led to another move.

Kurt Popper (1910-2008)

Popper belonged to a small number of émigré designers, generally Jewish, who left Vienna for Melbourne and Sydney from the late inter-war years; a relocation precipitated by Austria's annexation by Nazi Germany in 1938. While part of an influx of Europeans conversant in modernism who arrived as part of Australia's post-war non-British immigration drive, the specific cultural influences of the Viennese immigrants proved influential. (Edquist, 2019, passim).

Born in Vienna, at the tail end of the *Wiener Moderne* cultural era, Popper attended the *Kunstgewerbeschule Wien*, an art and craft school, in his late teens before completing his education at the *Akademie der bildenden Künste Wien* (Academy of Fine Arts Vienna). Steeped in the principles of an academic modernism, Popper carried out a handful of commercial commissions and theatre set designs in Vienna before fleeing in the face of the *Anschluss*. Within a year he disembarked in Adelaide, after time in France, Switzerland and London. Architectural work in the office of Evans, Bruer & Hall and a stint as a wartime engineer for the Allied Works Council followed (Edquist, 2002, p 11).

By 1945, Popper had married and was in Melbourne, having taken up a design position at the Housing Commission of Victoria. However, when the *Australian Home Beautiful* published the plans of his first private Melbourne engagement – a flat-roofed courtyard dwelling in East Malvern (*Shermann House*) – on the cover of its April 1946 edition, the ensuing publicity enabled Popper (then in his mid-30s) to launch a solo practice (Edquist, 2002, p12).

Throughout the 1950s and 1960s, Popper's reputation as a gifted modernist architect flourished, fueled in a large part by the commissions of Jewish clients in St Kilda, Toorak, Caulfield, and South Yarra. His output was chiefly domestic, ranging from high-end detached homes (about 30 in number) to flats and high-rise apartments (over 80). In the design of the latter, Popper was considered an early expert. He was also closely involved in the development of several Jewish institutional sites. Popper lived at 61-63 Gordon Street, Elsternwick – personally designed – from 1956. He retired in 1975 (Edquist, 2002, p12).

References

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Newspaper Articles: *Australian Jewish News*

Parish Plan - at Elwood, Parish of Prahran, P81-13 (PP)

Port Phillip Thematic Environmental History (TEH), February 2021

Public Building File held by Public Record Office Victoria, VPRS 7882, P1, Unit 1293. Containing drawings and correspondence with the Department of Health.

St Kilda Council building permits (BP)

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Townsend, Catherine, 'A story of migration, refuge and reconstruction: Elwood Talmud Torah', 2019. Published on ARCHITECTUREAU website, accessed July 2021. <https://architectureau.com/articles/a-story-of-migration-refuge-and-reconstruction-elwood-talmud-torah/>

Description

The Elwood Talmud Torah Congregation Complex is located at the corner of Dickens Street and Bayview Street. The subject site is limited to the main rectangular parcel containing the buildings, although land adjacent to the east containing a playground is also owned by the congregation. The fence on the Dickens Street boundary is cream brick with an upper rowlock course and has been partly reconfigured from the original 1950s format. The metal palisade component of the fence is later.

The complex is comprised of several buildings, most of which were built between 1956 and 1973 for the Elwood Talmud Torah Congregation (labelled B, C, D, E and F on the diagram below). The oldest building

on the site is the c.1908 stables building which is a remnant of the earlier residential phase (labelled A). There are also two post-1980 buildings (labelled G and H) which are not identified as significant.

Only the parts of the buildings that are visible from the public realm are described below. The kindergarten at the rear of the site is fully concealed, so there is no description for it.



Figure 17 - A: Stables (c.1908), B: Original section of synagogue (1956-57), C: Kindergarten (1957), D: Upper level extension to women's gallery (1960), E: College Building (1960-61), F: Extension to the synagogue (1973), G: Assembly Hall (1980), H: Unknown use built sometime between 1986 and 2009 (Source: Nearnmap, April 2021)

The synagogue is two storey and was built in stages: at the rear is the partially retained original 1956-57 synagogue (B), on the west side is a 1960 upper-level extension to the women's gallery (D), and at the front is the 1973 addition (F). Only the front 1973 section is visible from the public realm. The façade has a monolithic fortress-like appearance comprised of blank cream brick walls with recessed, blue-tiled panels. Narrow bands of windows are concealed in alcoves. The roof is angled and there is a wide eave overhang at the front. The recessed entrance has a cantilevered canopy and double doors featuring Star of David motifs. Above the entrance is a copper sculpture also featuring the Star of David. At the sides, there are narrow vertical bands of windows, the tops of which are angled in line with the roof. Lettering on the front spells 'Elwood Talmud Torah Congregation', also in Hebrew, and 'Erdi Family Centre' (this lettering is not apparent in early photographs, and it is not known when it was introduced).

The college building (E), built in 1960-61, is a two-storey cream brick building. It has a flat roof with a wide eave overhang at the front. The upper part of each floor features timber-framed banks of windows with a consistent configuration of fixed and awning lights. There is a concrete canopy over the ground floor windows, similar in width to the eaves overhang above the upper floor windows. At the east end is a full height projecting component with a recessed panel of dark grey, textured concrete bricks. The fenestration pattern to the west elevation (Bayview Street) is more varied with some louvred lights.

The c.1908 former stable (A) is the only surviving remnant of the former Allen family residence. The walls are red brick in stretcher bond and it has a slate clad gable roof with a red brick chimney at the north end. There is a taller central loft component with a separate gable roof from which a beam with a hook extends. The opening to the loft has been partly bricked in but it retains its basalt sill.

Comparative analysis

The Elwood Talmud Torah complex is among many institutional buildings (schools, community centres, memorials, aged care facilities etc.) constructed in Melbourne during the 1950s, 60s and 70s in response to the massive population growth within the Jewish community following WWII. It is one of about twelve sizable synagogues built in Melbourne between 1950 and 1979. Unlike earlier synagogues in Melbourne which were principally places of worship, the Post-war synagogues were also intended to function as community centres around which social and cultural life revolved like precedents from Eastern Europe and the United States.

The architects commissioned were often Jewish émigrés themselves who brought with them detailed knowledge and experience of European Modernism. Their work inevitably absorbed some influence from their new home, while remaining conscious of international trends. Kurt Popper, who was born and educated in Vienna, undertook many commissions for Jewish community buildings.

The synagogue was originally built 1956-57 and extensively remodelled in 1971-73, dramatically altering the aesthetic of the building. The remodelled design has a distinctive monumental character influenced by Brutalism, but does not employ a typical palette, that is, cream brick was used for the 1970s remodeling (presumably to tie in with the retained portion of the 1950s building) such that the effect is softened. Dark brown bricks or concrete are more strongly associated with Brutalism and the latter part of the 1960s and 1970s generally. Like at many Jewish community buildings, an artwork/sculpture was mounted on the façade.

The college building was built in 1960 and is expressed in the restrained Modernism characteristic of that time with banks of windows and contrasting horizontal and vertical elements.

As observed by Catherine Townsend (University of Melbourne scholar), Erich Mendelsohn's 1946-50 synagogue B'nai Amoona in St Louis Missouri may have been a potential influence on the original 1956-57 synagogue and the 1960 college building, with its cream brick walls, angled roof component, wide eave overhangs and band of windows. The remodelled 1973 synagogue evokes the brick monumentality of Louis Kahn's later works, who adopted a less intimidating version of Brutalism, such as the First Unitarian Church in Rochester New York.

The Elwood Talmud Torah is one of a few synagogues in the broader St Kilda area. Two developed before WWII include the St Kilda Synagogue at 12 Charnwood Crescent built in 1926 and designed by Joseph Plottel which is included on the Victorian Heritage Register (H1968), and the Temple Beth Israel at 76 Alma Road built in 1937 which is much altered and not included in the HO.

The most readily comparable example is the Adass Israel Synagogue, 12-24 Glen Eira Avenue, Ripponlea, which was built in 1965, although the design had been largely settled four years earlier in 1961. It was designed by émigré architect Dr Ernest Fooks who, like Popper, had trained in Vienna. Built some eight years before the Elwood Talmud Torah, it is in the Modernist idiom with fine façade articulation and a broad gable roof with wide eaves. It has been recommended for inclusion in the Heritage Overlay.

Another post-war Modernist Jewish community building in the municipality is the B'nai B'rith House at 99 Hotham Street Balaclava built in 1959 (Citation 2018, HO337) also designed by Dr Ernest Fooks.

The house used for the original Elwood Shule, and later by the 3rd St Kilda Scout Troop at 26 Avoca Avenue is also included in the Heritage Overlay (Citation 132, St Kilda Botanical Gardens & Environs precinct).

Stables

There are several examples of stables in St Kilda but overall surviving stables are relatively uncommon, especially 20th century examples, despite them having been a widespread outbuilding type during the 19th and early 20th century. A nearby example is the two storey brick stables at the rear of 55 Blessington Street (house formerly owned by Albert Tucker). One of the finest examples is at the rear of 39 Dalgety Street, originally part of Lansdowne Terrace which was constructed c.1870s or earlier (Citation 89). Others associated with mansions or large villas include those at Eildon 51 Grey St (Citation 158), 71 Grey Street (Citation 159), Oberwyl 33-35 Burnett Street (Citation 72), Halcyon 53 Acland St (Citation 57), and at the rear of 3 Charnwood Crescent.

Assessment

This place has been assessed in accordance with the processes and guidelines outlined in the Australia ICOMOS *Charter for Places of Cultural Heritage Significance* (The Burra Charter) 2013, using the Hercon criteria.

Recommendations

Transfer from HO7 to a new individual HO (on the basis that as a community building it does not logically form part of the St Kilda Botanical Gardens & Environs precinct which is predominantly residential). Exclude the playground area on the east side from the extent of the HO.

Inspect the kindergarten building, which is at the rear of the site and not visible from the public realm, to determine its significance, and review and update the statement of significance and description sections of this citation as required.

Primary source

RBA Architects & Conservation Consultants, *HO7 Elwood St Kilda Balaclava Ripponlea Precinct Heritage Review Stage 2*, 2021

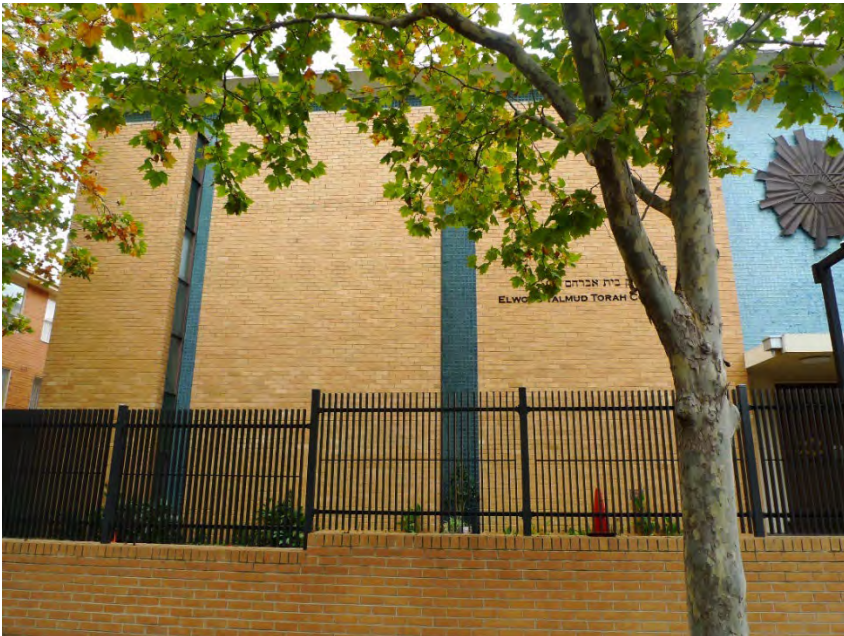
Other studies

Andrew Ward & Associates, *Port Phillip Heritage Review*, 1998

Other images



Synagogue, front part (1973)



Synagogue, front part (1973)



College building (1960-61)



Former stables (c.1908) on Bayview Street

Area to be included in HO



City of Port Phillip Heritage Review

Place name: House
Other names: -

Citation No:
2422



Address: 50 Westbury Street, St Kilda East

Heritage Precinct: Not applicable

Category: Residential: House

Heritage Overlay: HO548

Style: Early Interwar: Arts & Crafts

Graded as: Significant

Constructed: 1918-19

Victorian Heritage Register: No

Designer: Unknown

Amendment: C206port

Comment: New citation

Significance

What is significant?

The house at 50 Westbury Street, St Kilda East, constructed by and for George J T Towers in 1918-19, is significant.

Contributory features include the transverse gable roof, projecting gabled porch, bargeboard boards and brackets, rear skillion roof, clinker-brick chimneys, and roughcast rendered walls. As well as timber-framed windows, including double-hung sashes and multipaned windows, bow bays, piers to the porch, recessed entry and doors, and timber shingling/skirting.

Alterations and additions are not significant. The current paint colour scheme is not significant.

How is it significant?

The house at 50 Westbury Street, St Kilda is of local historical and aesthetic significance to the City of Port Phillip.

Why is it significant?

The house is historically significant as representative of the intensive phase of development that occurred in St Kilda/St Kilda East in the early part of the 20th century in the context of local population expansion. The well-resolved, high-quality nature of the house built by locally-based professional contractor George Towers, reflects a marked shift in the locale's character, as the exclusive landscape of mid-to-late 19th-

century mansions and villas transformed into a more densely populated ‘respectable’ middle-class suburb. (Criterion A)

The house is of aesthetic significance as a fine, intact and substantial example of an early Interwar period Arts & Crafts attic-storey house. This idiom, indicative of both popular and professional tastes across early 20th-century Melbourne, is indicated by the steep, protective quality of the dwelling’s gabled roof and porch as well as the textured, handworked character of its roughcast walls and decorative timber elements. Distinguishing this house from others of its ilk in the municipality is the symmetry of the design – an aspect particularly discernible in its employment of piers – and crafted response to the corner siting, in which the treatment of the side (north/Westbury Grove) elevation ensures a prominence commensurate with the façade. (Criterion E)

Thematic context

Victoria’s framework of historical themes

6. Building towns, cities and the garden state: 6.3 Shaping the suburbs, 6.7 Making homes for Victorians

Port Phillip thematic environmental history

5. Buildings and cultural landscapes: 5.2 Shaping the suburbs (5.2.2 Private development), 5.3 Diverse Housing (5.3.3 Suburban bungalows)

History

Contextual history

The development of St Kilda began following the first land sales in 1842 and by 1854 there were over two hundred houses. The plans compiled in 1855 by James Kearney shows that most of these were situated to the west of Brighton Road (later High Street and now St Kilda Road). The St Kilda East area, by comparison, was largely undeveloped and most buildings were located within the block bounded by Brighton Road, Wellington Street, Chapel Street, and Alma Road. Improvements to public transport including the opening of the railway station at Carlisle Street, and the establishment in the late 1880s of cable tram routes along High Street (St Kilda Road) and Chapel Street encouraged development during the land boom, however, this remained sporadic and ground to halt during the economic depression of the 1890s.

There was almost no increase in St Kilda’s population in the decade from 1891 to 1901. However, as development recovered in the early twentieth century the number of residents in St Kilda almost doubled between 1901 and 1921 rising from 20,500 to 38,500 as land was highly sought-after by a new generation of homebuilders seeking smaller detached dwellings, duplexes or flats. Whole new streets of neat brick cottages and villas appeared, however, in St Kilda East this largely remained a period of consolidation and infill on vacant land within the established residential areas, rather than expansion into the still largely undeveloped areas east of Hotham Street, although development did begin to creep along the length of Dandenong Road, following the route of the new electric tram introduced in 1911.

House, 50 Westbury Street

The subject land – part of a belt described as ‘open heath’ in its initial survey – derives from Crown portion 150A of the Parish of Prahran at East St Kilda. The approximately five-acre allotment was purchased in November 1853 by Thomas Fulton, Lauchlan Mackinnon and Frederick James Sargood, trustees of the newly established Victoria Freehold Land Society and purchasers of a number of Crown portions in the St Kilda area (including 151A adjacent to the south). Fulton was a foundry owner, the first deacon of the Congregational Church in Victoria, a leading advocate of the temperance movement, and later a Melbourne city councillor (1854-59). Sargood was a Melbourne soft goods merchant (Sargood, King & Company) and a

member of the Legislative Council for Melbourne (1853-56). MacKinnon was a prominent pastoralist, partner in the Argus newspaper, and former member of the Legislative Council for Warrnambool and Belfast (1852-1853).

This holding was subdivided in a piecemeal fashion over the ensuing decades. The Vardy plan shows that by the early 1870s, the stretch of Westbury Street between Alma Road (north) and Inkerman Street (south) – then the outer suburban fringe of St Kilda – was relatively developed, characterised by an array of freestanding residences, some substantial, in garden settings (VP). The subject land, at this stage, formed part of the formally laid out grounds of a villa (since demolished) on the east side of Westbury (north of the yet laid Westbury Grove). This situation is shown as relatively unchanged in the 1897 MMBW map (Figure 1).

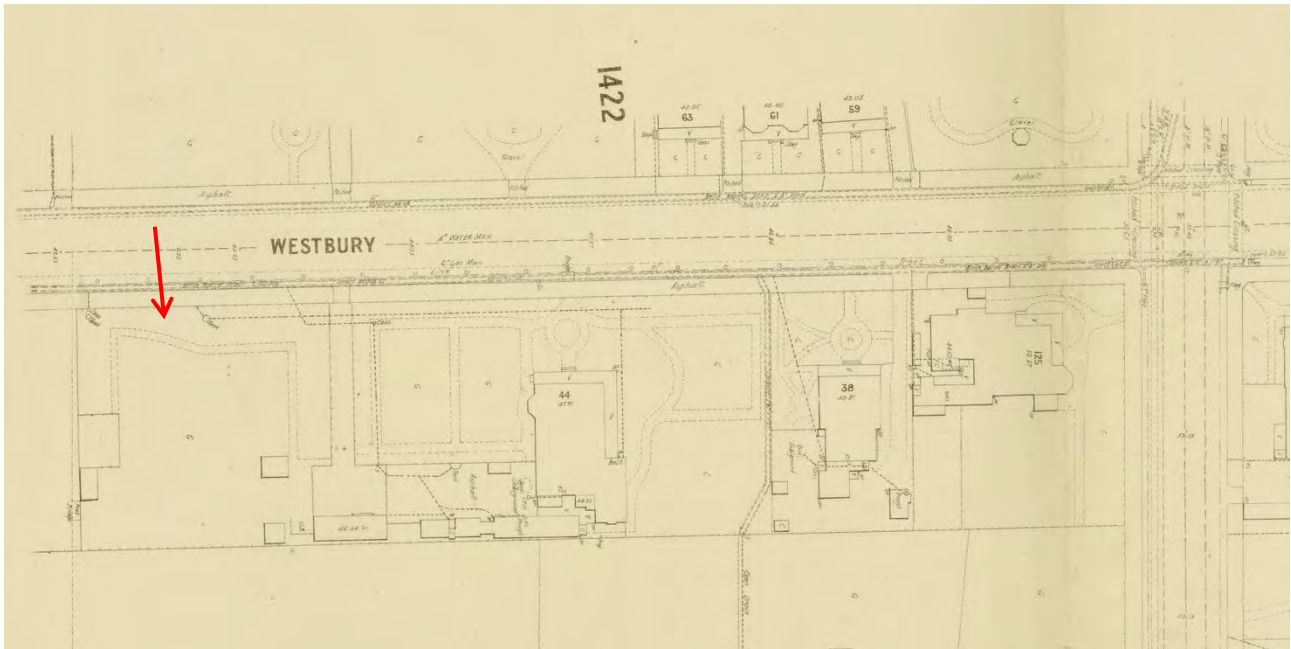


Figure 1 - Extract from MMBW Detail Plan No. 1408 (1897) showing development on the east side of Westbury Street. The arrow indicates the approximate location of 50 Westbury Street.

About 1.6 hectares of land on the east side of Westbury Street was purchased in October 1918 by a small group headed by the widow Susan L Smith (CT Vol. 4159 Fol. 756). Their subdivision, mostly of former gardens, included the establishment of the western half of Westbury Grove and southern half Ravens Grove.

The lots offered sold rapidly, including the subject site in February 1919, procured by 39-year-old builder George James Archibald Towers (CT Vol. 4195 Fol. 853). Evidently, Towers had prior knowledge of the sales having previously tendered a building permit to the City of St Kilda in May 1918 for the corner allotment. The submitted drawing (Figure 2) depicts a then traditional footprint (central hall, rear situated kitchen, free of servant quarters) and section drawing for a sizable bungalow, its cost estimated at £1,000 (BP).

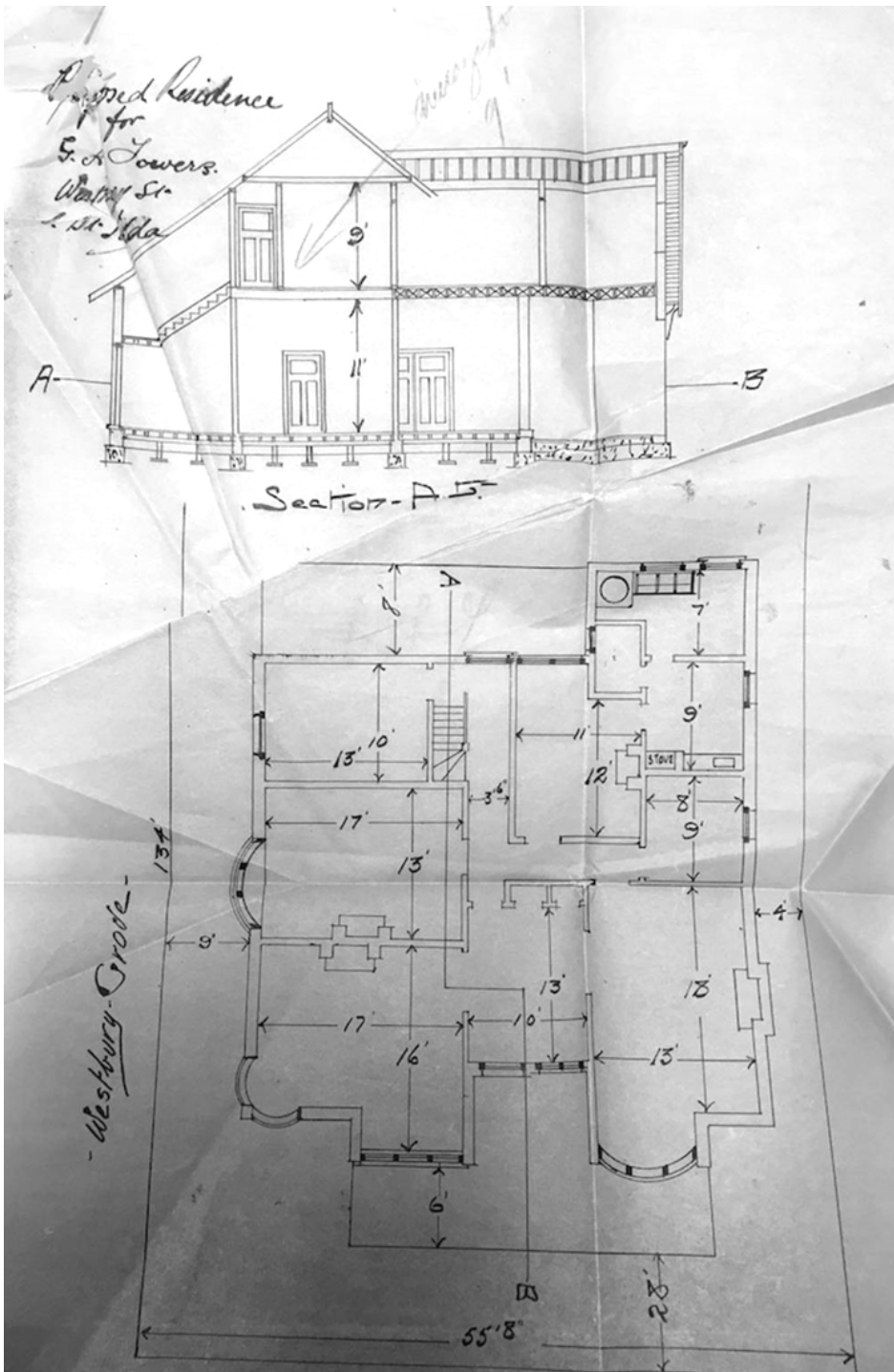


Figure 2 – Plan for proposed residence (Source: St Kilda Council Building Permit, No. 3596 dated 4 May 1918).

Born in St Kilda to English and Scottish parents, Towers (1880-1931) relocated to Christchurch, New Zealand in his early twenties, where he completed an apprenticeship as a joiner and married into a family of local builders. Around 1914, Towers returned to Melbourne, commencing a career as a professional builder. He was also noted as a founding director in several 1920s building supply firms, including Westernport Firebrick, Percydale Slate Quarries, and Builders Roofing & Trading (*Herald* 'New Companies' 22 Dec 1921 p3; *Daily Commercial News* 'Companies Registered' 3 May 1922 p5).

Tower's activities as a contractor are relatively unknown. The *Australian Architectural Index* records a spate of his housing projects around 1920 in the City of St Kilda, and family lore has it that Tower's is the

namesake for Towers Street in Beaumaris, a reflection of his construction activity in the immediate area (C).

Towers appears to have belonged to the middle ranks of Melbourne's early 20th-century speculative builders. Of enough status to be called upon to give evidence at a 1918 inquiry into the cost of building (*Age* 'The cost of timber' 13 June 1918 p5), but primarily concerned with the traditional mode of small-scale speculative development – the purchase of land, construction of a cost-effective or fashionable abode (dependent on the intended audience) and post-erection sale.

The Sands & McDougall's Directory first lists 'Geo. A. Towers' as the occupant of the subject place in its 1920 edition (SM). Listings typically lagged a year or so behind construction activity, suggesting a building date of 1918-19. Towers remained at the residence until around 1922, when the property was sold (CT Vol. 4195 Fol. 853).

Aerial photographs from 1931 and 1945 (Figures 3 and 4), depict the footprint and roof profile of the house. The latter shows a front garden of lawn with a curved path and rear yard characterised by a small shed and some plantings, elements that have not survived.



Figure 3 – Aerial photograph dated 1931, with the subject place indicated by the red arrow. (Source: Landata, Maldon Prison, Run 15, Frame 2750)



Figure 4 – Aerial photograph dated 1945, with the subject place indicated by the red arrow. (Source: Landata, Melbourne and Metropolitan Area Project, Run 17E, Frame 58014)

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Australian Dictionary of Biography: entries for Lauchlan Mackinnon (by Jaqueline Templeton, 1974), Thomas Fulton (by Roslyn Brereton, 1972) and Frederick Thomas Sargood (John Rickard, 1976). Available online.

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Certificates of title (CT)

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Parish Plan - at Elwood, Parish of Prahran, P81-13 (PP)

Port Phillip Thematic Environmental History (TEH), February 2021

Rules and regulations of the Victoria Freehold Land Society, 1854

St Kilda Council Building Permit (BP) No. 3596, dated 4 May 1918

Vardy Plan 1873 (VP), *Alma-Chapel-Inkerman-Raglan-Railway-Westbury*, NW6, St Kilda Historical Society (online)

Description

The large-scale freestanding attic-storey house occupies a medium-sized corner allotment. It is set back a moderate distance from Westbury Street and close to the side property boundaries. The primary roof is a high-pitched transverse gable with a projecting gabled porch (west elevation). Both are clad in unglazed

terracotta tiles. Terracotta ridge cresting is apparent to both. Three tapered clinker-brick chimneys with rendered caps are also evident to the roof. The pair of skylights (east roof plane) are contemporary.

To the rear is an original skillion roof, clad in later addition metal and translucent sheeting, that covers a small rear wing (south), porch and corner wall (north). The latter is not detailed on the 1918 footprint (Figure 2) but based on its shared finishes may have formed part of the original construction or been an early addition.

The residence is constructed of roughcast rendered brick, overpainted. The gable ends feature timber bargeboards and shingles, both painted though the latter may have originally been stained. The extent of the shingling is greater to the side elevations, which also display decorative timber brackets.

Defining the façade (west elevation) is the gabled street-projecting porch with recessed entry. Its large plane is divided into three bays by four engaged piers, creating a distinctive composition. The inside piers end at the upper section of the wall, terminated by a smooth rendered coping. The outer piers join with the soffit. The central bay is characterised by a fan-shaped opening, half of which rises above the framing piers. Initially, the room behind was likely a recessed balcony and open. It is now enclosed with a timber-framed window. Between this opening and the timber fascia of the porch is an extent of timber skirting with an inset geometric pattern to the top course. The porch deck is raised and possibly of red brick. Initially open, the porch has been enclosed by a metal security grille.

To the porch wall (south end) is a quadripartite bow bay. In line with other bay windows at the building, it has timber-framed, double-hung sash windows with restrained geometric leadlighting to both planes.

The front door and ensemble are elaborate, their collective shape mirroring the fan-shaped opening above. The door is timber with three glazed panels of frosted glass and floral/geometric leadlighting. This composition is repeated to the side windows.

The north elevation, facing Westbury Grove, is highly visible from the public realm. At the ground floor, it incorporates a quadripartite bow window, surmounted by a shingled skirt. Above of which is an opening – originally likely another recessed balcony – that has been enclosed by timber-framed windows. At the ground floor, to the north-west of the house, is another large ‘bow’ window, formed by the combination of two curved bays (each addressing different elevations) and separated by the corner of the wall (essentially a thick mullion). Surmounting this element is a rustic ‘canopy’ of exposed rafter ends and crossing beam. To the rear of the northern elevation is multipaned a square window.

The south elevation is partly obscured from the public domain due to the neighbouring flat. The attic-storey paired window appears original, although the two small frosted windows (either side of the chimney breast) at the lower level appear to be later additions. Another two ground floor windows are detailed on the early plans and appear present; however, an assessment of their intactness is not makeable from a street inspection.

To the rear elevation is a dado (projecting brick course). Openings here appear original, although some of the windows may have been replaced. Tiles to the deck are contemporary.

Fencing is non-original and consists of high timber pickets to the front portion and solid timber palings to the side and rear. Landscaping is well-established but appears the result of late 20th-century efforts. Parking is provided to the rear of the site by a recessed fenced-in section.

Comparative analysis

The house expresses an Arts & Crafts aesthetic, a popular idiom in Melbourne since the turn of the century, particularly so at the time of construction (1918-19), the early interwar period. This design mode, rooted in the English Arts & Crafts movement, resonated with domestic architects as it provided an alternative to the classical tradition or Gothic Revival, allowing instead for the exploration of inventive composition techniques and the Ruskinian-influenced valorisation of craft, labour and local precedent. In the preceding Federation period, the symbolic potential of Arts & Crafts architecture had become closely

associated with the vision of a virtuous suburban lifestyle and panacea to perceptions of unprecedented rates of change and as articulating a new British-Australian identity.

Arts & Crafts domestic designs typically adopted uncluttered exteriors and internal spaces and dominant roofs (attic-storeys were common) as well as including detailed artistry and 'natural' materials; roughcast and timber in this case. Such designs were meant to be viewed in the round within garden settings. In their emphasis on structural and material clarity, the Arts & Craft movement is considered by some as laying the groundwork for the gradual emergence of modernism later in the interwar period (Edquist, 2012 p46).

Generally, most Arts & Craft-houses revolved around asymmetrical compositions. Largely symmetrical arrangements, like the subject place, are rarer and cultivate a more formal presentation, albeit still overall informal and homely.

The municipality's early Interwar period residences which have heritage overlays are primarily bungalows, either transitional (Queen Anne/Californian bungalow) or American-influenced (Californian/Craftsman). A smaller number – like the subject place – are classifiable as large-scale attic-storey houses, some of which convey a varied but pronounced Arts & Crafts expression. Of these, the subject place presents as singular for its gesture to symmetry, recessed porch and entry, and the employment of piers in the façade.

Broadly comparable sites include:

- 29 Westbury Street, St Kilda East, built 1913 (Citation no. 956, HO6 precinct). A sizable late Federation period Arts & Craft-style house designed by a professional architect, Leonard J. Flanagan. Rendered in roughcast like the subject place, however, features a more complex roof clad in slate. Also displays an enclosed attic-storey balcony.
- 329 Barkly Street, Elwood, built 1916 (Citation 194, HO403 Precinct.). A large-scale corner-situated house. Walls of roughcast render with a multi-gable roof clad in terracotta tiles. Prominent projections characterised by tapered piers and side porch with balcony above. Similar ilk as 50 Westbury Street but drawing more from the then emergent Californian-bungalow style (tapered piers).
- 18 Normandy Road, Elwood, built 1919 (Citation 747, HO8 Precinct). Hefty early interwar period roughcast rendered bungalow with broad frontage, incorporating an arched porch and street-facing gabled wing and prominent hipped balcony (now enclosed). Designed by a speculative builder, Matthew Sherlock, albeit less resolved than the subject place.
- 69A Alma Road, St Kilda, built 1920, (Citation 144, HO6 Precinct). Early interwar period red-brick and roughcast rendered bungalow with high-pitched street-facing gabled roof defined by an oriel window. Designed by noteworthy architectural practice, Sydney Smith & Ogg.

Assessment

This place has been assessed in accordance with the processes and guidelines outlined in the Australia ICOMOS *Charter for Places of Cultural Heritage Significance* (The Burra Charter) 2013, using the Hercon criteria.

Recommendations

Add to the Heritage Overlay as an individual place.

Apply external paint controls in the Schedule to the Heritage Overlay (to ensure complementary colour schemes are employed and/or encourage restoration of the rendered finish and timber shingles).

Primary source

RBA Architects & Conservation Consultants, *H07 Elwood St Kilda Balaclava Ripponlea Precinct Heritage Review Stage 2, 2021*

Other studies

Andrew Ward & Associates, *Port Phillip Heritage Review, 1998*

Other images



Area to be included in HO



City of Port Phillip Heritage Review

Place name: Cambury & Lynton
Other names: -

Citation No:
2429



Address: 58 & 58A
Westbury Street,
St Kilda East

Heritage Precinct: Not applicable

Heritage Overlay: HO550

Category: Residential: Flats

Graded as: Significant

Style: Interwar: Moderne

Victorian Heritage Register: No

Constructed: 1938

Designer: A G Oliver
(builder)

Amendment: C206port

Comment: New citation

Significance

What is significant?

Cambury & Lynton, the pair of flats at 58 & 58A Westbury Street, St Kilda East, constructed in 1938 by builder A G Oliver for Robert L Rutter and William F Turner respectively are significant.

The two-storey flat buildings are a mirrored pair and are separated by central concrete driveways. Contributory features include the tile-clad hipped roofs, rendered chimneys, cream brick and rendered walls with clinker brick base, projecting balconies (no. 58A semi-circular and no. 58 rectangular with curved corners) with speedline detailing and some with metal hand railings, rounded corners, steel framed windows (faceted at the corners) with horizontal glazing bars, strong vertical elements at the fronts and internal sides with Art Deco detailing, glazed stairwell openings, and side entrances with cantilevered masonry canopies.

The low cream brick fence with metal gate at no. 58 and on the shared boundary, and the four brick garages at the rear with ridged metal doors are also significant elements.

Alterations and additions are not significant. The current paint colour scheme is not significant.

How is it significant?

Cambury & Lynton at 58 & 58A Westbury Street, St Kilda East are of local historical and aesthetic significance to the City of Port Phillip.

Why is it significant?

They are of historical significance as a pair of flats constructed during the latter part of the Interwar period. Huge growth in flat development characterised St Kilda and Elwood during the 1920s and 1930s as the transition from detached single family dwellings to flat living became increasingly popular. Despite being in different ownership, the two buildings were constructed as an almost identical mirrored pair by the same builder within a year of each other. (Criterion A)

They are of aesthetic significance as an intact pair of walkup flats in the Moderne style. The Moderne style, most prevalent in the 1930s and characterised by its interest in the expression of progress, readily aligned with St Kilda's progressive identity and continues to be a style that is strongly associated with this area. Indicative of the Moderne style, the flats express a horizontal emphasis balanced by strong vertical elements, curved balconies and corners, speed lines, Art Deco detailing, combination of render and face brick (cream and clinker) and faceted steel-framed corner windows. The flats are complemented by the surviving sections of low brick fencing and the brick garages to the rear. (Criterion E)

Thematic context

Victoria's framework of historical themes

6. Building towns, cities and the garden state: 6.3 Shaping the suburbs, 6.7 Making homes for Victorians

Port Phillip thematic environmental history

5. Buildings and cultural landscapes: 5.2 Shaping the suburbs (5.2.2 Private development), 5.3 Diverse Housing (5.3.5 Higher-density housing)

History

Contextual history

The early twentieth century saw a marked decline in the viability of large mansions across Melbourne's suburbs in general, but it was particularly felt in the more affluent inner southern suburbs such as St Kilda and Brighton, where land was highly sought-after by a new generation of homebuilders seeking smaller detached dwellings, duplexes or flats. The trend toward higher-density living in St Kilda began with the conversion of mansions and terrace houses into boarding houses in the early 1900s and continued with the first purpose-built flats that appeared at the beginning of World War I. A 1919 newspaper article noted:

It was held to be no longer necessary to labour with a house and all the domestic drudgery that entailed when by borrowing Continental ideas, people who could afford it could live in flats... Land has become so valuable the villa of the Victorian days, in a crowded thoroughfare, no longer shows anything like an adequate return of interest on the land's present capital value. It is more profitable to pull the house erected thereon down, and to erect flats. When the flat became popular in England the experiment was made in St Kilda, and it did not take long to discover there was a genuine demand for flats (Prahran Telegraph, 18 October 1919, p.4)

Higher-density housing in the form of boarding houses paved the way to flat development. Flats first appeared in Melbourne around 1906 and slowly spread to the suburbs. They followed a strong pattern of development, appearing close to transport routes, particularly along or within walking distance of tram

routes, to allow easy travel to the city. With their proximity to the beach and parklands, good public transport networks and seaside character, the suburbs of St Kilda and Elwood were especially popular locations for flats. Flats became a dominant characteristic of St Kilda and Elwood, and still make up a high percentage of dwellings in those areas. They include some of the earliest surviving flats in Melbourne, some of the best examples of architectural styles and types of flats, and as a group demonstrate the increasing popularity of the lifestyle of flat living from the early twentieth century (TEH).

There was huge growth in flat development in St Kilda and Elwood in the 1920 and 1930s, attracting migrants, single people, and people of diverse sexuality. In 1920 there were 527 purpose-built flats in 92 blocks in St Kilda municipality. By 1925 this had increased to 884 flats in 164 blocks, including large complexes such as the Ardoch flats in Dandenong Road. By 1935, despite a slowing of development due to the Great Depression, there were more than 2,800 flats in over 500 blocks. A further 2,000 flats were added by 1940; however, the onset of World War II slowed development. Nonetheless, by 1947 St Kilda contained 5,500 purpose-built flats, a quarter of all flats in Melbourne (TEH).

Westbury Street, with access to Alma Park, tram routes at either end, and close to Balaclava Railway Station, became a popular location for flats during the Interwar period. The first block, constructed in 1927 at the south end of the street (147 Westbury Close), was to remain the only flats until 1934, when a further three blocks were built. This was the start of a minor boom in flat building, which saw at least a further 12 blocks, including the subject pair, constructed in the five years from 1935 to 1940 (SM).

Cambury & Lynton, 58 & 58A Westbury Street

The subject sites formed part of Crown portion 151A, parish of Prahran at East St Kilda (PP). The approximately five-acre allotment was purchased in November 1853 by Thomas Fulton, Lauchlan Mackinnon and Frederick James Sargood, trustees of the newly established Victoria Freehold Land Society and purchasers of a number of Crown portions in the St Kilda area (including 150A adjacent to the north). Fulton was a foundry owner, the first deacon of the Congregational Church in Victoria, a leading advocate of the temperance movement, and later a Melbourne city councillor (1854-59). Sargood was a Melbourne soft goods merchant (Sargood, King & Company) and a member of the Legislative Council for Melbourne (1853-56). MacKinnon was a prominent pastoralist, partner in the *Argus* newspaper, and former member of the Legislative Council for Warrnambool and Belfast (1852-1853).

Westbury Street was originally known as Bull Street until 1865 when the name was changed at the request of the street's residents (*Herald* 30 March 1865 p3). A six-roomed brick villa was erected on the subject site in the mid to late 1860s (RB). In 1873, this villa was owned by Patrick Dowling and tenanted (RB 1873 entry no. 791). Between 1888 and 1924 the villa was owned by produce merchant Charles Wood (CT v.1964 f.754).

The 1873 Vardy plan (Figure 1) shows this part of Westbury Street (between Alma Road and Inkerman Street) largely developed with about twenty villas, most of which were brick, including the subject site. The 1873 rate book records the occupations of some of the people who lived in these villas, including banker, accountant, builder, merchant and engineer.

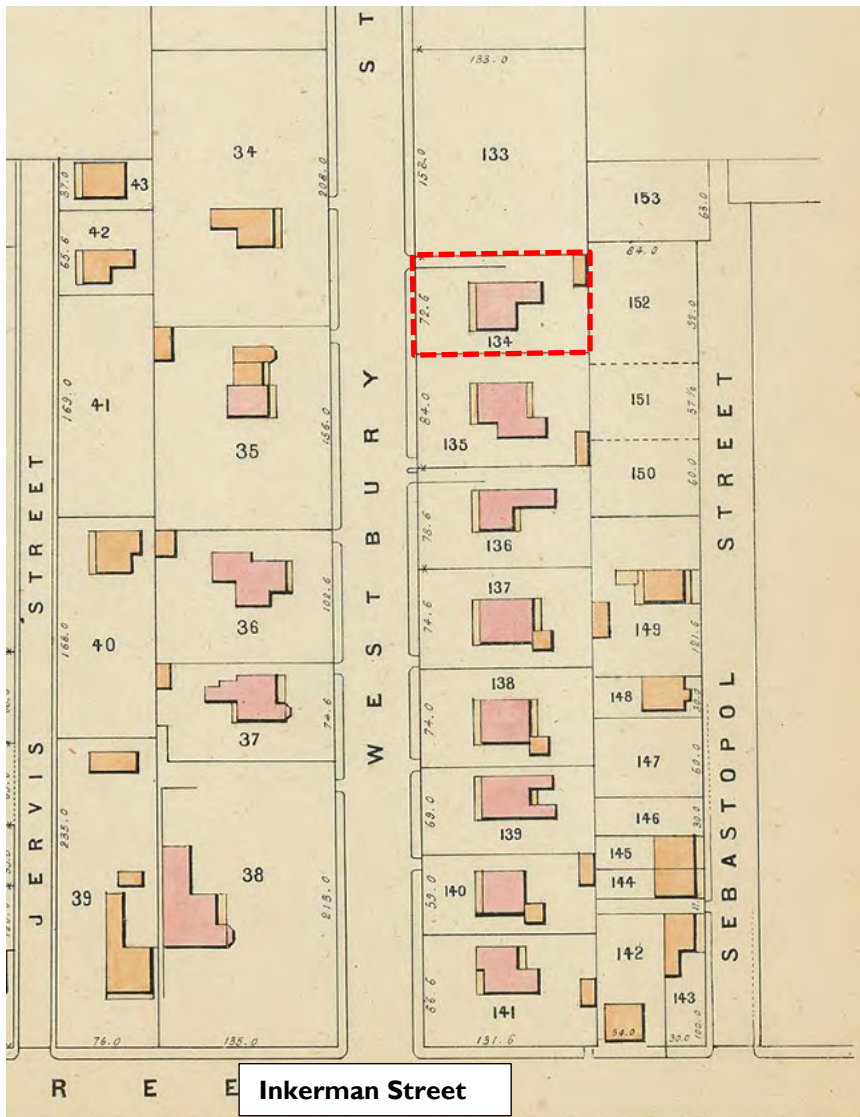


Figure 1 - Plan of the Borough of St Kilda, North Ward No. 6 (J.E.S. Vardy, 1873). (Source: St Kilda Historical Society)

In March 1937, the subject site was acquired by William Frederick Turner, bank official (CT v1964 f754). Turner subdivided the site equally lengthways, retaining the southern part (no. 58A) and selling the northern part (no. 58) to Robert Louis Rutter, director.

Rutter and Turner each had a block of brick flats erected on their land by master builder A G Oliver of 383 Wattletree Road, Malvern East (*Argus* 22 Jun 1938 p16 - reference to Oliver being a master builder). The building permit for Rutter’s building (no. 58) was issued first, in March 1938, with an estimated cost of £2,500 (BP 9917, 15 March). No. 58 had apparently been completed by early September when ‘attractive new ultra-mod flats’ were advertised in the newspaper (*Argus* 3 Sept 1938 p25). Subsequently, in November 1938, the building permit for Turner’s building (no. 58A) was issued, with an estimated cost of £2,440 (BP no. 320, 24 Nov). Two brick garages were also built at the rear of each property.

The drawings (Figure 2 and 3) submitted to Council bear A G Oliver’s name, indicating he was responsible for the design as well as the construction. Each block contained four flats and were almost identical in design, albeit with some façade variation. Both buildings are recorded in the 1940 Sands and McDougall’s directory, and identified as ‘Cambury’ (no. 58) and ‘Lynton’ (no. 58A).

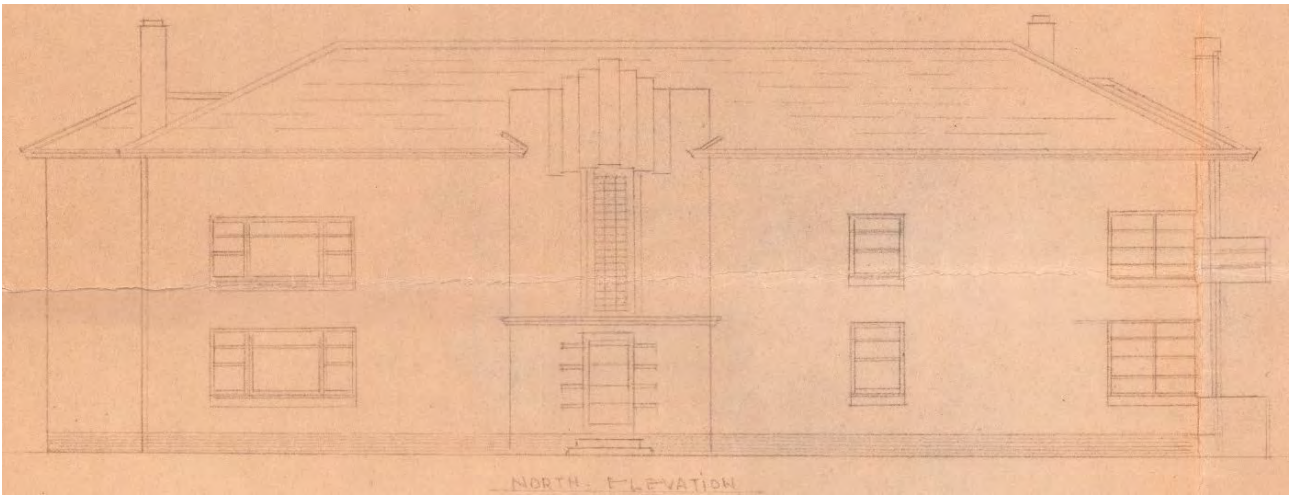


Figure 2 - Original drawing, north side elevation of 58A Westbury Street. (Source: Council building file)

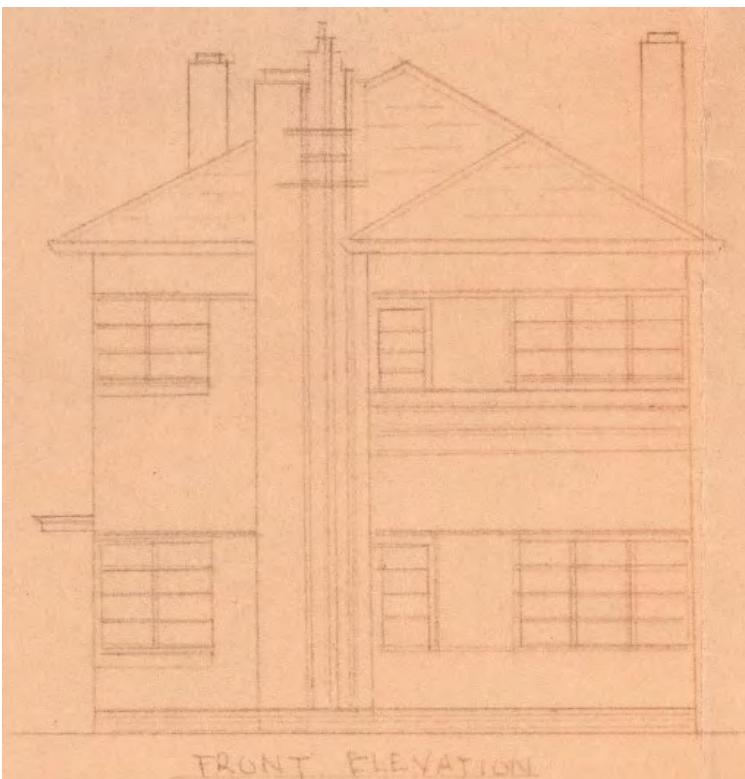


Figure 3 - Original drawing, front elevation of 58A Westbury Street. (Source: Council building file)



Figure 4 - Aerial photograph dated 1945. Subject site is outlined. (Source: Landata, Proj No 5, Melbourne and Metropolitan Area Project, Run 17E, Frame 58013)

In 1939, no. 58A was purchased by two women in equal shares, while no. 58 was sold to single purchasers in 1939 and again in 1940. (CT v1964 f754; v6223 f545; v6327 f383; v6455 f845; v6455 f846). It was not until 1970 that both properties changed hands again.

References

Australian Dictionary of Biography: entries for Lauchlan Mackinnon (by Jaqueline Templeton, 1974), Thomas Fulton (by Roslyn Brereton, 1972) and Frederick Thomas Sargood (John Rickard, 1976). Available online.

Certificates of Title (CT)

Council Building File for 58 Westbury Street St Kilda East

Goad, Philip and Julie Willis (eds), *The Encyclopedia of Australian Architecture*, 2012 (entry for 'Moderne', p. 462)

Newspapers, various

O'Hanlon, Seamus, 'Home together, Home apart: Boarding house, hostel and flat life in Melbourne c.1900-1940', PhD Thesis, History Department, Monash University

Parish Plan - at Elwood, Parish of Prahran, P81-13 (PP)

Port Phillip Thematic Environmental History (TEH), February 2021

Rate Books 1859-1900

Robert Peck von Hartel Trethowan, *St Kilda 20th Century Architectural Study Vol. 1*, 1992

Rules and regulations of the Victoria Freehold Land Society, 1854

St Kilda Council building permits (BP)

Sands & McDougall Directories (SM)

Sawyer, Terry, (1982) 'Residential flats in Melbourne: the development of a building type to 1950', Honours thesis, Faculty of Architecture, Building and Planning, The University of Melbourne

Description

The two subject sites are rectangular and located on the east side of Westbury Street. A pair of concrete driveways lead to the rear where there are original brick garages (two on each site) with original ridged metal tilt doors. The original low cream brick fence and metal gate survives at no. 58 and on the shared side boundary; the upper course features alternating header and rowlock bricks and the piers have gabled tops. The taller timber fence to no. 58A is more recent. Trees are planted in the front setbacks, partly obscuring the building façades.

The Moderne style pair of two storey flats have almost identical, mirrored designs. The primary difference between them is the shape of their balconies, with those to no. 58A being semi-circular and those to no. 58 being rectangular with curved corners.

The hipped roofs are clad in tiles and have eaves with timber lined soffits. Each building has a pair of rendered chimneys. The walls are part cream face brick and part rendered finish with a clinker brick base (although no. 58A has been overpainted). The balconies are detailed with 'speedlines' and some have metal hand railings. The building corners are rounded and have faceted steel-framed windows with horizontal glazing bars. At the front, narrow cream brick parapets pierce the eaves featuring Art Deco detailing in Roman bricks and channelled rendered piers.

The internal sides are reasonably visible given the double width of the central driveways. The side entrances openings have quoining-like indents at the corners and are covered by cantilevered masonry canopies. Above the canopies are tall, glazed openings for the stairwells and rendered parapets with stepped Art Deco motifs in low relief. Windows have fixed central panes with openable casements to the sides with horizontal glazing bars.

Comparative analysis

Cambury and Lynton are significant as a pair of intact Moderne style walkup flats of the late Interwar period. Flats in a variety of architectural styles proliferated in St Kilda in the 1920s and 1930s, many of which survive today strongly contributing to the built character of this part of the municipality. The Moderne style was particularly popular choice for flats in St Kilda as it readily aligned with the area's progressive identity. The Moderne style was most prevalent during the 1930s and was characterised by its interest in the expression of progress, the designs often referencing modern machines, with reductive detailing and simple bold forms.

Indicative of the Moderne style, the flats express a horizontal emphasis balanced by strong vertical elements, curved balconies and corners, speed lines, Art Deco detailing, and faceted steel-framed corner windows. Earlier examples of the Moderne style tended to be finished in white render, to emphasise their sleekness, while late Interwar period examples, were constructed of cream brick with contrasting dark bricks. The subject flats combine both render and face brick (cream and clinker). The use of steel-framed windows elevates the progressive image of the Moderne style. Although they are not strictly identical, reflective of their different ownership, they are similar to the extent that they can be considered a mirror image pair. The flats are complemented by the retention of original sections of brick fencing and original brick garages.

Other individually significant late Interwar period Moderne flats included in the HO in St Kilda and Elwood include:



- Avila, 15 Cowderoy Street, St Kilda West (1935) designed by Beedham & Wright (Citation 879, HO444 Precinct). Three storey, timber-framed windows, rendered façade with brick plinth and entrance piers, curved balconies, Art Deco detailing, original fence.
- La Rochelle, 1A Dickens Street, St Kilda (1935) designed by W H Merritt (Citation 892, St Kilda Botanical Gardens & Environs precinct). Three storey, rendered façade with tapestry brick plinth and vertical component, steel-framed windows, curved balconies and canopies.
- Windermere, 49 Broadway, Elwood (1936) designed by J Esmond Dorney (VHR H911). Predominantly rendered, curved corners, assortment of horizontal and vertical elements, steel-framed windows, original fence.
- Devon Court, 45-47 Chapel Street, St Kilda (1937) designed by Alder & Lacey (Citation 460, HO351). Two-storey mirror image pair, salmon brick with rendered banding, side entrances and prominent stairwell enclosures with glass blocks, some curved corners, timber-framed windows, speed lines, tiled hipped roofs, and original fence.
- 25 Dickens Street, Elwood (1938) designed by I G Anderson (Citation 894, St Kilda Botanical Gardens & Environs precinct). Three storey, clinker brick with darker Roman brick detailing and rendered banding, speed lines, strong vertical component, curved corner and balconies, timber-framed windows, original fence.
- Del Marie, 4 St Leonard's Avenue, St Kilda (1938) designed by Stuart Hall (Citation 221, HO5 precinct). Three storey, mostly rendered, curved balconies, parapeted, faceted steel-framed windows, vertical element at side (entrance and stairwell), original fence.
- Summerleigh, 13 Hughenden Road, St Kilda East (1940) (Citation 2022, HO6 precinct). Two-storey, 'U' shaped arrangement, curved corners, salmon brick and render with clinker brick base, steel-framed windows, tiled hipped roof, original fence.

Of these places, the most readily comparable is Devon Court, which is comprised of a mirror image pair with a similar site arrangement of a central driveway and resident access to the buildings via the internal sides. The brick and rendered banding are also similar. The subject pair are distinguished from this example by its steel-framed windows and inclusion of more prominent Art Deco detailing.

Examples of mirror image Moderne flats which are Contributory within HO6 precinct include 95 Alma Road, 119A & 121 Alma Road, and 43 & 45 Westbury Street, St Kilda (1939) designed by Archibald Ikin.

The builder A G Oliver was also responsible for two other flats in the municipality, both contemporary with the subject pair. Compared with these, the subject pair are a stronger design with more distinct vertical components:

- 24 Meredith Street, Elwood (1938) (Contributory within HO403 precinct). Moderne style, fully rendered façade, curved corner and balconies, timber-framed windows, speed lines, and tiled hipped roof.
- 25 Cardigan Street, St Kilda East (1939) (Not included in HO). Face brick, steel-framed windows, prominent rendered chimney and chimney breast, tiled hipped roof.

Assessment

This place has been assessed in accordance with the processes and guidelines outlined in the Australia ICOMOS *Charter for Places of Cultural Heritage Significance* (The Burra Charter) 2013, using the Hercon criteria.

Recommendations

Add to the Heritage Overlay as an individual place.

In the Schedule to the Heritage Overlay apply:



- external paint controls (to ensure complementary colour schemes are employed and/or encourage restoration of the rendered finish and face brickwork).
- fence controls for no. 58 and the shared boundary fence (original fences)
- outbuilding controls (original garages).

Primary source

RBA Architects & Conservation Consultants, *H07 Elwood St Kilda Balaclava Ripponlea Precinct heritage review Stage 2, 2022*

Other studies

Andrew Ward & Associates, *Port Phillip Heritage Review, 1998*

Other images



58 Westbury Street



58A Westbury Street





City of Port Phillip Heritage Review

Place name: Moruya
Other names: Surgery & residence

Citation No:
2432



Address: 70 & 70A Chapel Street, St Kilda

Category: Commercial: Surgery and residence

Style: Interwar

Constructed: 1923

Designer: Reginald V Courtney

Amendment: C206port

Comment: New citation

Heritage Precinct: Not applicable

Heritage Overlay: HO54I

Graded as: Significant

Victorian Heritage Register: No

Significance

What is significant?

Moruya, at 70 & 70A Chapel Street, St Kilda, constructed in 1923 for dentist Sydney Harber and designed by architect Reginald V Courtney, is significant.

The building is comprised of a two-storey residence and attached single storey dental surgery. Contributory features include the rendered façades (contrasting roughcast and smooth, although now overpainted), the recessed porches, façade formats (asymmetrical to the residence and symmetrical to the surgery), roof forms (partly expressed/partly parapeted tile clad hipped roof to the residence and parapeted flat roof to the surgery), chimneys, timber-framed sash windows and doors, raised lettering spelling 'Moruya', and detailing such as dentilation, recessed panels, exposed rafter ends, timber brackets and metal gates (to surgery).

Alterations and additions, including the fence in front of the residential component, are not significant. The current paint colour scheme is not significant.

How is it significant?

Moruya at 70 & 70A Chapel Street, St Kilda is of local historic and aesthetic significance to the City of Port Phillip.

Why is it significant?

Moruya is historically significant as a purpose-built residence with attached dental surgery of the early Interwar period which is indicative of the transitional phase from the often home-based medical and dental practices of the 19th century to the more formal and hygienic settings of the 20th century. It was occupied by the original owner dentist Sydney Harber and his family until the late 1940s and continued to be used as a dental surgery until at least 1970. It is also representative of the intensive redevelopment and consolidation of sites that occurred in this part of St Kilda during the Interwar period in the context of local population expansion and increasing affluence. (Criterion A)

Moruya is aesthetically significant as a highly intact and distinctive example of an uncommon building typology in the municipality, that of a combined residence and surgery. It is distinguished from other examples of the type by the distinction of the surgery as a separate entity from the residence, achieved by its more commercial expression. Stylistically it reflects early Interwar period design, incorporating aspects of the Arts and Crafts style and a restrained classicising influence. (Criterion E)

Thematic context

Victoria's framework of historical themes

6. Building towns, cities and the garden state: 6.3 Shaping the suburbs, 6.7 Making homes for Victorians

Port Phillip thematic environmental history

5. Buildings and cultural landscapes: 5.2 Shaping the suburbs (5.2.2 Private development)

History

Contextual history

The development of St Kilda began following the first land sales in 1842 and by 1854 there were over two hundred houses. The plans compiled in 1855 by James Kearney shows that most of these were situated to the west of Brighton Road (later High Street and now St Kilda Road). The St Kilda East and Balaclava areas by comparison, were largely undeveloped, particularly east of Chapel Street. Improvements to public transport including the opening of the railway station at Carlisle Street, and the establishment in the late 1880s of cable tram routes along High Street (St Kilda Road) and Chapel Street encouraged development during the land boom, however, this remained sporadic and ground to halt during the economic depression of the 1890s.

There was almost no increase in St Kilda's population in the decade from 1891 to 1901. However, as development recovered in the early twentieth century the number of residents in St Kilda almost doubled between 1901 and 1921 rising from 20,500 to 38,500. Whole new streets of neat brick cottages and villas appeared, however, in St Kilda and Balaclava this largely remained a period of consolidation and infill on vacant land within the established residential areas, rather than expansion into the still largely undeveloped areas east of Hotham Street. Along Chapel Street the electrification of the cable tram route in 1926 encouraged the building of flats and redevelopment of older buildings and resulted in the need for new shops and services to serve the growing population.

Moruya, 70 & 70A Chapel Street

The subject site formed part of Crown Allotment 137A at St Kilda Parish of Prahran, County of Bourke (PP). The four-acre allotment was purchased in 1853 by E Duckett.

By 1888, the subject parcel of land was owned by John Damyon, a local coachsmith (CT). The 1897 MMBW plan (Figure 1) shows the site had been developed with two buildings fronting Chapel Street, including a

larger likely commercial building (probably with residence) on the northern boundary and a separate smaller building at the Edward Street corner, as well as some outbuildings to the rear including stables. The street directories between 1898 and 1922 record a succession of occupants including bootmakers and a dressmaker in the larger building, and a dairy and a woodyard in the smaller building (SM).

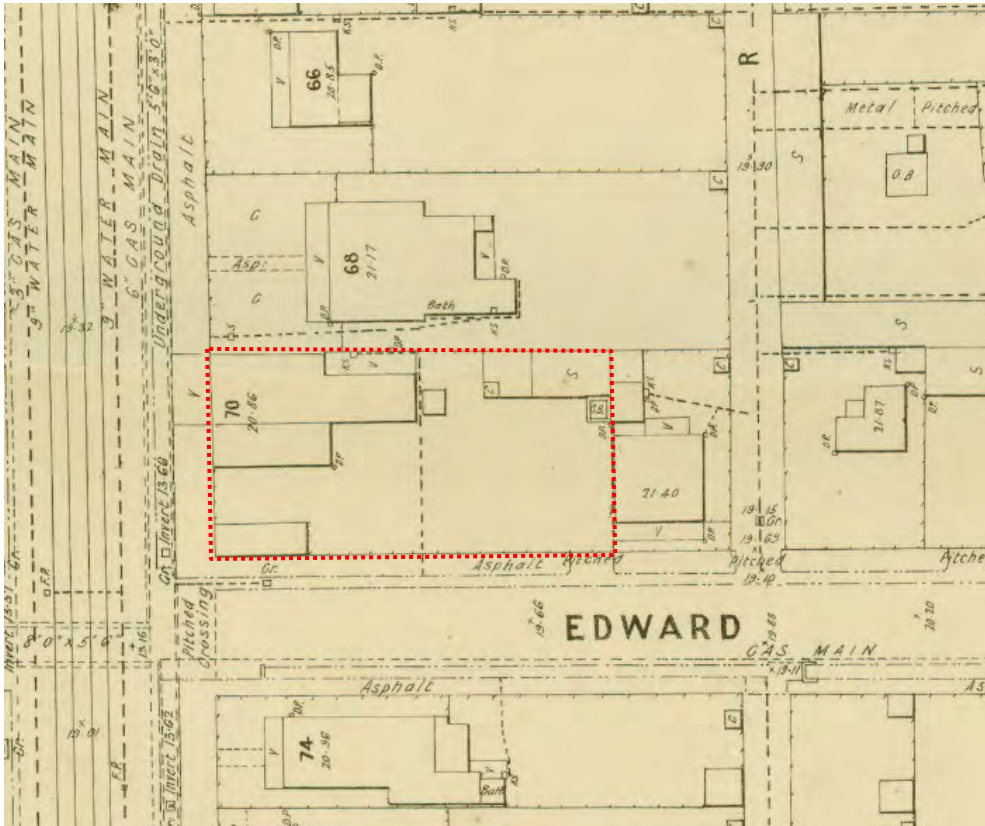


Figure 1 - MMBW detail plan no. 1424 (dated 1897), showing the previous buildings on the subject site.

In September 1921, the property was purchased by Sydney Harber, dentist, who occupied the neighbouring property (no. 68) with his wife Elsie and their children (CT) (Figure 2). Harber was well established as a dentist in St Kilda by this time, following in the footsteps of his older brothers Walter (d. 1907) and Horace (d. 1915) who had also practised as dentists in the nearby St Kilda/Prahran area (SM).



Figure 2 - Photograph of Sydney Harber (centre) with his children Jack, Alan, Nancy and Geoffrey, c. 1920. (Source: ancestry.com)

Harber engaged architect Reginald V Courtney to design a two-storey brick residence with an attached surgery, and a separate laundry and garage at the rear. Courtney sought tenders for construction in November 1922 (*Argus* 11 Nov 1922 p22) and Council issued a building permit in March 1923 (BP no. 5188). The original drawing indicates terracotta roof cladding and similarly coloured painted timberwork to the openings with a likely grey rendered wall finish. The drawings also indicate 'Permasite', a lightweight and fire-resistant product made from coke breeze, was used for the verandah decks, bathroom and walls of the rear first floor rooms. The building was completed by September 1923, as indicated by a newspaper advertisement informing patients of the new address (*Prahran Telegraph* 14 Sept 1923 p2).

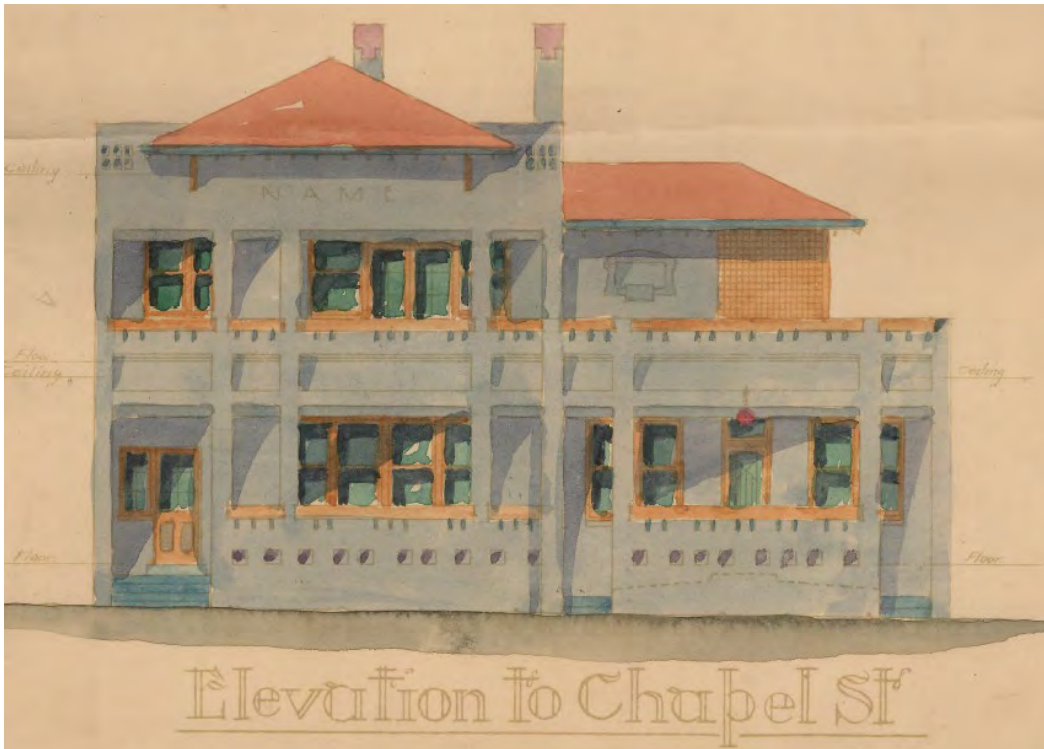


Figure 3 - From the original drawings by Reginald V Courtney, front/west elevation (Source: Council Building File)

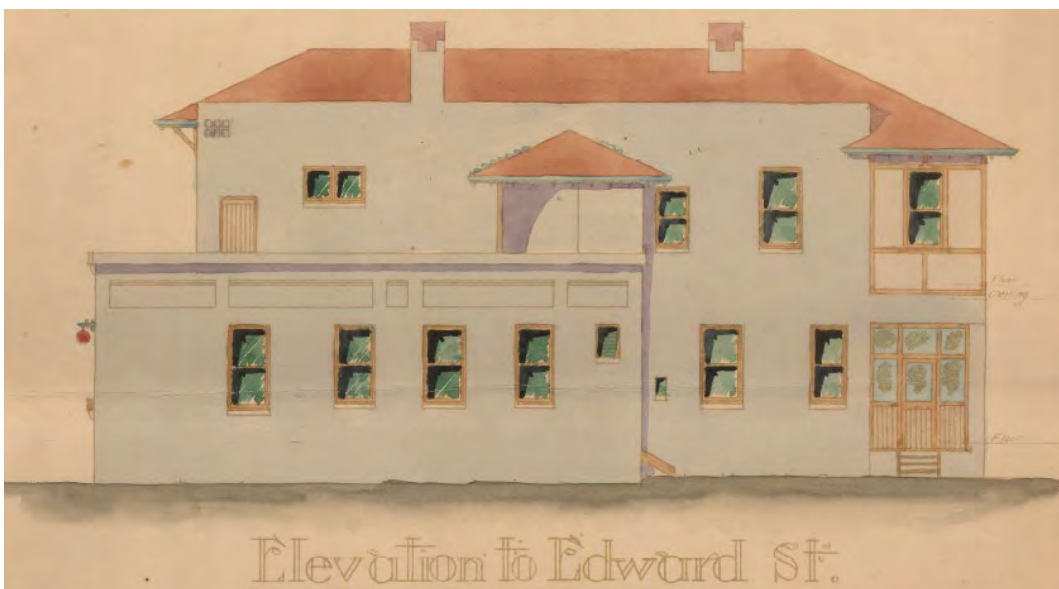


Figure 4 - From the original drawings by Reginald V Courtney, side/south elevation (Source: Council Building File)

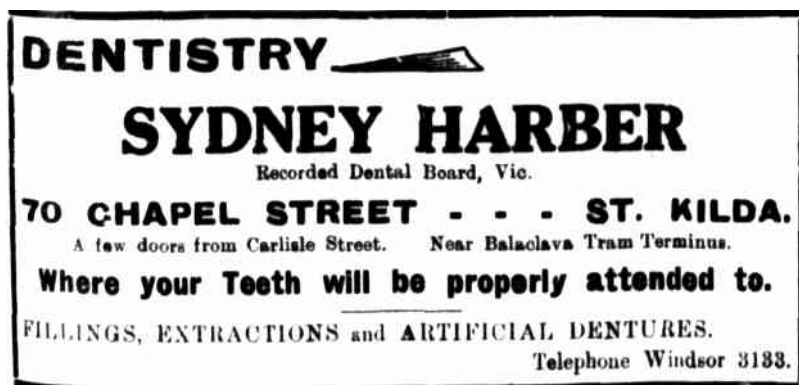


Figure 5 - Advertisement from 1924. (Source: *The Prahran Telegraph*, 27 June 1924, p3)



Figure 6 - Aerial Photograph c.1925 (W R Garrett) showing Moruya about two years after completion. (Source: State Library of Victoria, H98.129/21)

The Harbers remained at the subject site until the late 1940s, when Sydney and Elsie retired to Healesville. Sydney died in 1951 and Elsie in 1957, after which ownership of the subject site was transferred. The surgery part of the building continued to be occupied by dentists until at least 1970.

A brick fence was constructed in front of the residence in 1982 (BP no. 9258, 23 June 1982). There may not have been a front fence prior to this as there does not appear to be one in the c.1925 aerial photograph (although a fence was indicated on the original drawings).

References

Certificates of Title (CT): Vol. 2024 Fol. 634; Vol. 3309 Fol. 701; Vol. 8197 Fol. 634

Council Building File for 70-70A Chapel Street St Kilda (includes original drawings)

Newspapers, various

Parish Plan P81(13) At Elwood Parish of Prahran (PP)

Port Phillip Thematic Environmental History (TEH), February 2021

St Kilda Council building permits (BP)

Sands & McDougall's street directories (SM)

Description

The subject site is rectangular and located at the corner of Chapel and Edward streets.

Moruya is comprised of a highly intact two-storey residence and attached single storey dental surgery. Typical of the early part of the Interwar period it incorporates aspects of the Arts and Crafts style. It also displays some restrained classicising influences. While the residence and surgery components are distinctly expressed, they are unified by similar detailing including dentilation and recessed panels. The walls have contrasting render finishes (roughcast and smooth) which have now been overpainted.

The residence is set back a couple of metres from the front boundary and there is a small front garden. The tile clad hipped roof with exposed rafter ends and timber brackets is expressed at the front and hidden by parapets at the sides. There are two chimneys with rendered bases and face brick tops. The building's name 'Moruya' is expressed in raised lettering in a central panel at the top of the façade. The full-width porches at ground and first floor are recessed and have piers in locations defined by the window and door openings behind. The openings are asymmetrically placed. At ground floor there is a rectangular bay window with double hung timber sash windows, and the entrance is located at the back of the return porch. At first floor, there are French doors with decorative glazing bars open onto the porch. The front masonry fence is not original.

The surgery component is built to both street boundaries. Its form is unusually cuboid for the early Interwar period, with an accessible flat roof behind a parapet. A small section of the upper floor of the residence (a bathroom) extends onto the roof of the surgery. The symmetrical façade is comprised of a central entrance (panelled timber door and highlight above) with pairs of timber framed double hung sash windows either side. The full-width recessed porch is accessed via stepped entrances at both ends with what appear to be original metal gates. The side is punctuated by window openings.

The rear parts of both components are partly visible from Edward Street, and appear intact. It is not known if the original freestanding laundry and garage survive.

Comparative analysis

Moruya is significant as a highly intact, purpose-built residence with attached dental surgery of the Interwar period. While an overall unified design, the two components are clearly separate entities and their different purposes are distinctly expressed. The combination of the residence and surgery indicates the transition occurring during the Interwar period, from the often home-based medical and dental practices of the 19th century to the more formal and hygienic settings of the 20th century.

Surviving examples of this building typology are relatively uncommon in the municipality. Three known Interwar period examples include:

- 77 Ormond Road, Elwood (Citation 765, HO303). Constructed in 1922-23 and designed by F J Davies as a purpose-built residence and surgery.
- 38 Ormond Road, Elwood (Citation 2076, HO8 precinct). In 1938 a projecting surgery addition designed by R M & M H King was introduced at the front of the existing house, amongst other major alterations and additions at that time.
- 338 Carlisle Street, Balaclava (Contributory within Carlisle Street Commercial precinct). Built in 1941 as a surgery and residence for Dr J B O'Collins, physician.

The surgery components of these examples have a domestic character and could be read as part of the house rather than expressing a distinct purpose. In comparison, the purpose of the surgery component at Moruya is more distinctly suggested by its commercial expression.

Stylistically, Moruya is typical of early Interwar period buildings, albeit unusually cuboid. A review of tender notices in newspapers of the Interwar period indicate that architect Reginald V Courtney commonly undertook residential work (in suburbs such as Brighton and Malvern) but other examples of his work within the municipality have not been identified.

Assessment

This place has been assessed in accordance with the processes and guidelines outlined in the Australia ICOMOS *Charter for Places of Cultural Heritage Significance (The Burra Charter) 2013*, using the Hercon criteria.

Recommendations

Add to the Heritage Overlay as an individual place.

Apply external paint controls in the Schedule to the Heritage Overlay (to ensure complementary colour schemes are employed and/or encourage restoration of the rendered finish).

Primary source

RBA Architects & Conservation Consultants, *H07 Elwood St Kilda Balaclava Ripponlea Precinct Heritage Review Stage 2, 2021*

Other studies

Andrew Ward & Associates, *Port Phillip Heritage Review, 1998*

Other images



Residence



Surgery front (Chapel Street) and side (Edward Street)

Area to be included in HO



City of Port Phillip Heritage Review

Place name: **Attached Houses**
Other names: -

Citation No:
2419



Address: **79 & 81 Chapel Street, St Kilda**

Heritage Precinct: **Not applicable**

Category: **Residential: House**

Heritage Overlay: **HO542**

Style: **Federation: Queen Anne**

Graded as: **Significant**

Constructed: **c.1904**

Victorian Heritage Register: **No**

Designer: **Unknown**

Amendment: **C206port**

Comment: **New citation**

Significance

What is significant?

The attached houses at 79 & 81 Chapel Street, St Kilda, constructed c.1904 by builder W Ryall for Donald and Jane McGregor, are significant.

The building is comprised of an attached pair of single storey houses with attics. Contributory features include the high-pitched gambrel roof clad in terracotta tiles with ridge cresting and finials, rear hipped roofs, gabled dormer windows with roughcast and timber battens, corbelled brick chimneys with roughcast shafts featuring brick banding and strapping, terracotta chimney pots, face red brick walls, original window openings, porches supported by turned timber posts and with slatted timber frieze and curvilinear brackets, square bay windows with timber framed windows and toplights, timber framed entrance ensembles (sidelights etc.).

Alterations and additions are not significant.

How is it significant?

The attached houses at 79 & 81 Chapel Street, St Kilda are of local historical and aesthetic significance to the City of Port Phillip.

Why is it significant?

They are of historical significance as a pair of attached houses constructed during the Federation period when intensive development occurred in St Kilda/St Kilda East in the context of local population expansion and smaller detached dwellings, duplexes or flats were sought after. Consolidation in this area was often

achieved through the subdivision of larger Victorian period properties, as in this case where the subject land was excised from the grounds of the villa Ardleigh. (Criterion A)

They are of aesthetic significance as a highly intact Federation period pair of attached houses in the Queen Anne style. Although a common building type in St Kilda and the municipality, they are distinguished by being an unusually substantial and refined example. The corner porches and varied nature of the high-pitched gambrel roofscape with dormers to the fronts and sides are suggestive of a picturesque composition characteristic of the Queen Anne Style, despite being symmetrical. The pair share the main roof giving the impression of a larger single building, a design approach which became more common during the Interwar period. (Criterion E)

Thematic context

Victoria's framework of historical themes

6. Building towns, cities and the garden state: 6.3 Shaping the suburbs, 6.7 Making homes for Victorians

Port Phillip thematic environmental history

5. Buildings and cultural landscapes: 5.2 Shaping the suburbs (5.2.2 Private development), 5.3 Diverse Housing (5.3.3 Suburban bungalows)

History

Contextual history

The development of St Kilda began following the first land sales in 1842 and by 1854 there were over two hundred houses. The plans compiled in 1855 by James Kearney shows that most of these were situated to the west of Brighton Road (later High Street and now St Kilda Road). The St Kilda East and Balaclava areas by comparison, were largely undeveloped, particularly east of Chapel Street. Improvements to public transport including the opening of the railway station at Carlisle Street, and the establishment in the late 1880s of cable tram routes along High Street (St Kilda Road) and Chapel Street encouraged development during the land boom, however, this remained sporadic and ground to halt during the economic depression of the 1890s.

There was almost no increase in St Kilda's population in the decade from 1891 to 1901. However, as development recovered in the early twentieth century the number of residents in St Kilda almost doubled between 1901 and 1921 rising from 20,500 to 38,500 as land was highly sought-after by a new generation of homeowners seeking smaller detached dwellings, duplexes or flats. Whole new streets of neat brick cottages and villas appeared, however, in St Kilda East this largely remained a period of consolidation and infill on vacant land within the established residential areas, rather than expansion into the still largely undeveloped areas east of Hotham Street, although development did begin to creep along the length of Dandenong Road, following the route of the new electric tram introduced in 1911.

Attached houses, 79 & 81 Chapel Street

The subject site formed part of Crown portion 70D East of St Kilda, Parish of Prahran, which was purchased in the 1850s (that is, prior to 1857) by Peter Davis. The 10-acre allotment was situated at the north-west corner of Chapel and Inkerman streets. The 1855 Kearney plan (Figure 1) shows that within a couple of years the western part of this allotment had been developed with several buildings fronting Inkerman Street, while the eastern part contained a single building, the brick villa known as Ardleigh.

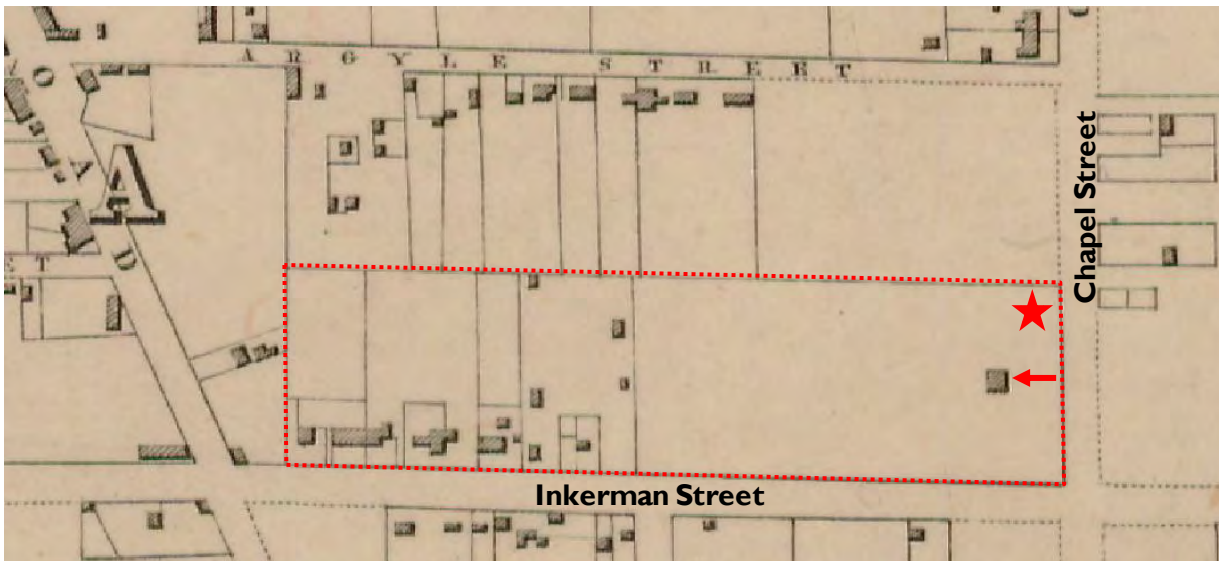


Figure 1 - Plan 'Melbourne and its suburbs' dated 1855 (compiled by James Kearney). Indicated is the original extent of the 10-acre Crown portion 70D (dotted outline), the location of the subject site (star), and Ardleigh (arrow).

In 1874, Ardleigh was advertised for sale and described as a 'substantial and elegantly finished family residence' containing 'spacious dining and drawing rooms, eight bedrooms, two kitchens, coach house and stable' with gardens planted with 'shrubbery' and 'a small paddock laid down in English grass' (Argus 31 Oct 1874 p3).

The 1897 MMBW plan (Figure 2) shows Ardleigh set within grounds of one and a half acres, just prior to its subdivision by owner Thomas Bent, who was a land speculator and politician (including as mayor of Brighton, minister of railways, and premier between 1904-1909). Between 1898 and 1899, Donald and Jane McGregor purchased Ardleigh as well as all the subdivided parcels in the northern part of the grounds fronting Chapel Street and the newly created Kipling Street (CT). (Kipling Street was created by the contemporary subdivision, also by Thomas Bent, of the adjoining land to the north).

The McGregors lived at Ardleigh for several decades. Donald McGregor was a dentist with rooms in Collins Street in the city.

The subdivided parcels were gradually developed over an approximately 20-year period, with a total of five attached pairs, beginning with the subject site. In around 1904, the McGregors had the subject pair of brick houses constructed. Of likely relevance are two consecutive, but undated, building permits, both for brick villas, which were issued to Mrs D McGregor and which cite the builder as 'W Ryall' (probably William Ryall of South Melbourne) (BP 215 and 216). The subject houses first appear, listed as 'vacant', in the 1905 Sands & McDougall's Directory (note there was typically a delay of one year or more from the time of recording to the time of the publication). The new houses were leased to a series of tenants (SM).

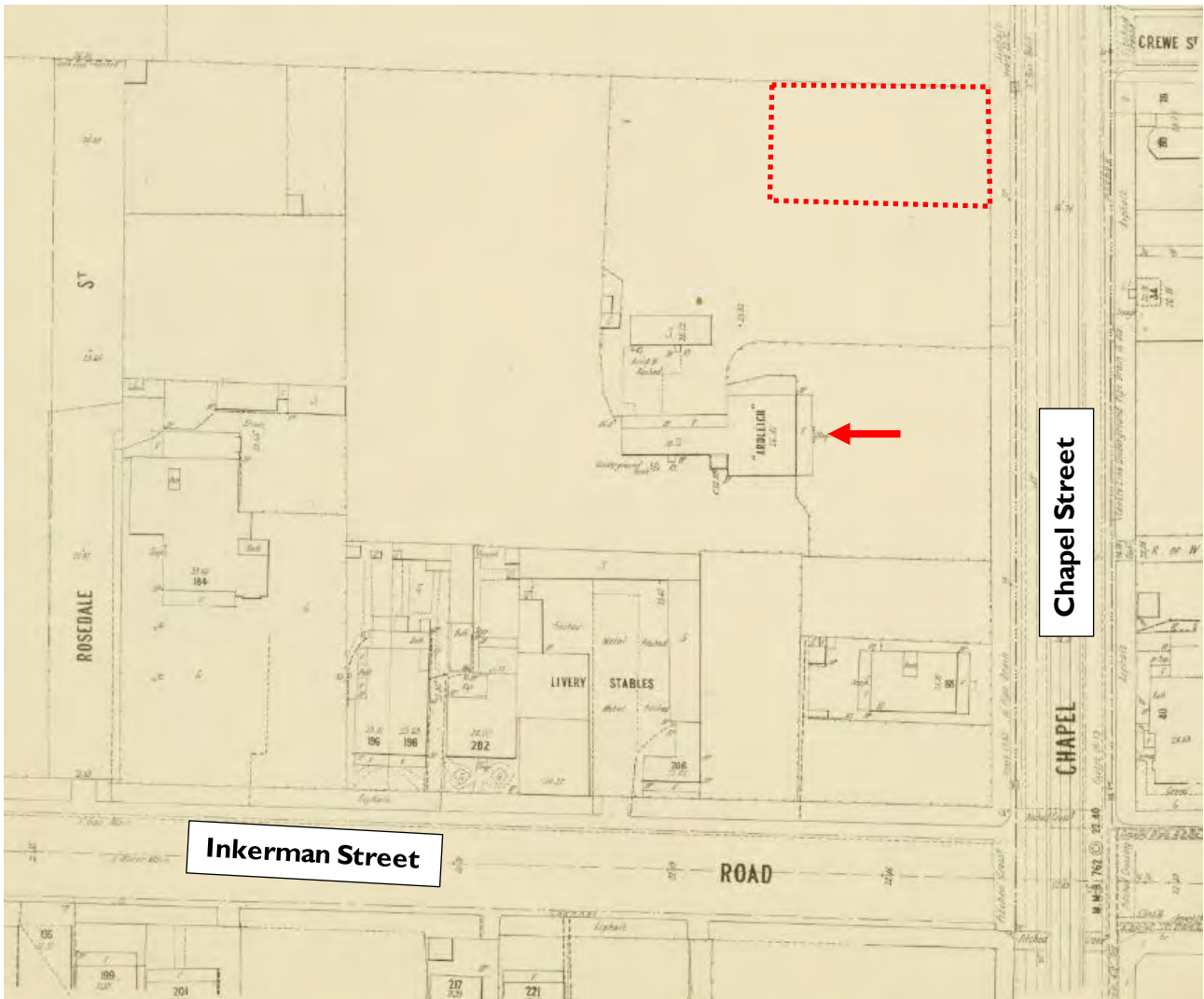


Figure 2 - Extract from MMBW Detail Plan no. 1362 (1897) showing approximate boundaries of the subject site (dotted outline). Arleigh is also indicated (arrow).

In 1911, the McGregors had another pair of semi-detached houses built adjacent to the subject pair to the south (nos 83 and 85, that is, between Arleigh and the subject site) (BP 1223). Then in the mid-1920s three more pairs of attached houses were built fronting Kipling Street, although it is not known if the land was still owned by the McGregors at this time. The five pairs of attached houses built on the former grounds of Arleigh can be seen on the 1945 aerial photograph (Figure 3).

Following the deaths of Donald McGregor in 1933 and Jane McGregor in 1937, the subject pair of houses were sold in 1938 to Reuben Beaconsfield, a local company manager who continued to lease them out (CT). Meanwhile, Arleigh was converted to a guesthouse and later a private hospital.



Figure 3 - Aerial photograph dated 1945, subject site indicated (solid outline). Also indicated is Ardleigh (arrow) and the extent of the former Ardleigh estate (dash). Note the development of the northern part with five pairs of attached houses. (Source: Landata, Proj No 5, Melbourne and Metropolitan Area Project, Run 17E, Frame 58012)

In the 1950s, the subject site was subdivided lengthways and the two houses were sold individually (CT).

Probably late 20th century, Ardleigh and the adjacent pair of houses to the south were demolished. The land remained vacant for some years before being redeveloped with apartments in 2011. The houses in Kipling Street survive.

References

Certificates of Title: Vol. 2590 Fol. 902; Vol. 2590 Fol. 903; Vol. 2741 Fol. 015.

Cooper, J.B., 1931, *The History of St Kilda. From its settlement to a city and after. 1840 to 1930*, Volume 2

Newspapers, various

Parish Plan - at Elwood, Parish of Prahran, P81-13 (PP)

Port Phillip Thematic Environmental History (TEH), February 2021

St Kilda Council Building Permits (BP)

St Kilda Rate Books, up to 1900 (RB)

Sands & McDougall's Directories (SM)

Description

The subject pair of sites are rectangular and located on the south corner of Chapel and Kipling streets. Each has a small front garden bounded by non-original timber fencing. The front façades of the houses are partly obscured by plantings.

The Queen Anne style attached pair of houses are single storey with an attic. They are symmetrical and divided by a party wall with a vermiculated panel. At the front, the roof is a single high-pitched gambrel form clad in terracotta tiles with ridge cresting and finials (although the rear face is now clad in corrugated sheet metal). To the rear there are separate hipped wings clad in corrugated sheet metal. There are gabled dormer windows at the front, sides and rear that have roughcast to the sides and gables ends which also have timber battens. The brick chimneys have corbelled caps, roughcast shafts with brick banding and strapping, and terracotta pots.

The walls are face red brick in stretcher bond, however the front of no. 79 has been overpainted. Each house has two porches either side of central bay windows. The porches are under the main roof, and typical of the Queen Anne style feature turned timber posts, slatted timber frieze and curvilinear brackets. The square bay windows have timber framed windows and toplights and are covered by hipped roofs that extend from the main roof. The front entrances have timber framed side and top lights, and probably retain original doors (obscured by screen doors).

The side wall of no. 79, built to the street boundary, has several original window openings with projecting sills, brick lintels and timber framed sash windows. At the rear there are attached small brick sections with skillion roofs.

Comparative analysis

The subject attached pair of houses, built c.1904, are significant as a highly intact and unusually substantial and refined Federation period example in the prevailing Queen Anne style of this common building type in St Kilda and the municipality.

The Queen Anne style was widely employed across Australia during the Federation period for domestic architecture. Imported from England, the style combined elements from many periods of traditional English rural building, often incorporating a Tudor influence, and was adapted to the Australian context. In a reaction to the formal symmetry of much Victorian period architecture, such dwellings were meant to be appreciated diagonally from the public realm, creating an effect that was popularly understood as pleasingly picturesque. Although the subject houses are symmetrical, the corner porches and varied nature of the roofscape with dormers to the fronts and sides are nonetheless suggestive of a picturesque composition.

In keeping with most Federation period examples of attached housing, the subject pair are single storey and have a symmetrical/mirrored composition. However, unlike more typical examples of the period, where each half has a separate roof form or dominant gable ends, the subject pair share the main gambrel roof (albeit divided by a party wall) giving the impression of a larger single building, a design approach which became more common during the Interwar period. The subject pair are more substantial than most other examples and feature two porches each. The high-pitched picturesque roofscape with dormers, also supports the impression of a more substantial building.

There are numerous examples of Federation period attached houses included in the HO in St Kilda or St Kilda East, as listed below. Of these, the subject pair are the earliest.

- 38-40 Wellington Street, St Kilda, built 1908. (Citation 2376, HO491). Arts and Crafts style, separate gable roofs.
- 17-19 Havelock Street, St Kilda, built 1911. (Citation 2009, HO5 precinct). Arts and Crafts style, single gable roof.

- 80-82 Chaucer Street, St Kilda, built 1913, designed by G.B. Leith (Citation 875, HO90). Arts and Crafts style, single gable roof.
- 71 Hotham Street & 290 Inkerman Street, St Kilda East, built 1913. (Citation 35, HO163). Queen Anne style with picturesque roof. More substantial than the subject pair. Generally symmetrical, but southern half is larger and features a return verandah with diagonally projecting bay addressing street corner.
- 245-245A Barkly Street, St Kilda, built 1914, designed by Richardson & Wood (Citation 192, St Kilda Botanical Gardens & Environs Precinct). Unusual two storey example.
- 3-5 & 7-9 Emilton Avenue, built c.1905, and 13-23 Gurner Street, built c.1910 (Contributory within HO5 Precinct).
- 35-45 & 38-40 Fulton Street (c.1910), 27-29 & 31-33 Johnson Street (1917), Lambeth Place, west side (c.1909) (Contributory within HO6 Precinct)
- 3-25 & 6-16 Elm Grove, Balaclava (Contributory within Ripponlea Residential Precinct)
- 19-21 Foster Street (c.1905), 41 & 43 Greeves Street (c.1905), 15-29 Smith Street, St Kilda (1911) (Contributory within St Kilda Botanical Gardens & Environs Precinct)
- Various examples within the Godfrey Avenue Precinct, c.1910-c.1915 (HO386)
- Various examples within the Kalymna Grove & Inkerman Street Precinct, c.1915-c.1920 (HO489)

Assessment

This place has been assessed in accordance with the processes and guidelines outlined in the Australia ICOMOS *Charter for Places of Cultural Heritage Significance* (The Burra Charter) 2013, using the Hercon criteria.

Recommendations

Add to the Heritage Overlay as an individual place.

Primary source

RBA Architects & Conservation Consultants, *HO7 Elwood St Kilda Balaclava Ripponlea Precinct heritage review Stage 2, 2022*

Other studies

Andrew Ward & Associates, *Port Phillip Heritage Review, 1998*



Other images



City of Port Phillip Heritage Review

Place name: Shop residences
Other names: -

Citation No:
2433



Address: 93 & 95 Chapel Street, St Kilda
Category: Commercial: Shops, Residential
Style: Interwar
Constructed: 1927
Designer: Richardson & Wood
Amendment: C206port
Comment: New citation

Heritage Precinct: Not applicable
Heritage Overlay: HO543
Graded as: Significant
Victorian Heritage Register: No

Significance

What is significant?

The shop residences, designed by Richardson & Wood and constructed in 1927 for Frederick George Hart, at 93 & 95 Chapel Street, St Kilda are significant.

It is comprised of three red brick sections: the main front section with a tile clad hipped roof, the middle section with a sheet metal clad gable roof, and a single storey rear wing with a skillion roof. Particular features include the symmetrical façade design, expressed tile clad hipped roof to the front, centrally placed brick chimneys including one with terracotta pots, quoining-like projecting brickwork, recessed balconies with arched openings, negative dentilation, original openings with concrete lintels, bracketed timber hoods and sills to the front windows, multi-framed upper window sashes, clerestory windows above the canopy, and largely intact shopfronts and tiling.

Alterations and additions are not significant.

How is it significant?

The shop residences at 93 & 95 Chapel Street, St Kilda are of local historic and representative significance to the City of Port Phillip.

Why is it significant?

It is historically significant as a pair of shop residences of the Interwar period, a time when this traditional arrangement of shop owners living above and/or behind their shop was becoming less common. The shops have been used continuously for various commercial purposes since their construction in 1927. It is also representative of the intensive development that occurred in this part of St Kilda during the Interwar

period in the context of local population expansion, increasing affluence and the electrification of the cable tram route along Chapel Street, which was completed in late 1926. (Criterion A)

It is of representative significance as a highly intact Interwar period example of the traditional shop residence typology. It is reflective of the shift during the Interwar period towards more domestic designs for shop residences and greater expression, even dominance, of the residential components. This shift is demonstrated at 93 & 95 Chapel Street in the unusually wide frontages, the expressed roof, recessed balconies to the upper floor and the commodious residences. It is amongst the later works of the well-established architects Richardson & Wood, who were also responsible for several other buildings in St Kilda. The façade design suggests a Georgian Revival influence, with a symmetrical composition to Chapel Street, arched openings to the recessed balconies, and quoining-like projecting brickwork. It is comparable with other similar developments in St Kilda of the period and is one of the few with mostly intact shopfronts. It occupies a prominent corner location which allows for views of the equally intact rear sections from Inkerman Street. (Criterion D)

Thematic context

Victoria's framework of historical themes

- 5. Building Victoria's industries and workforce: 5.3 Marketing and retailing
- 6. Building towns, cities and the garden state: 6.3 Shaping the suburbs, 6.7 Making homes for Victorians

Port Phillip thematic environmental history

- 5. Buildings and cultural landscapes: 5.2 Shaping the suburbs (5.2.2 Private development)
- 6. Commerce, trade and work: 6.2 Markets, shops and retail

History

Contextual history

The early twentieth century saw a marked decline in the viability of large mansions across Melbourne's suburbs in general, but it was particularly felt in the more affluent inner southern suburbs such as St Kilda and Brighton, where land was highly sought-after by a new generation of homebuilders seeking smaller detached dwellings, duplexes or flats (PPHR, Vol. I, p.34). The trend toward higher-density living in St Kilda began with the conversion of mansions and terrace houses into boarding houses in the early 1900s and continued with the first purpose-built flats that appeared at the beginning of World War I. A 1919 newspaper article noted:

It was held to be no longer necessary to labour with a house and all the domestic drudgery that entailed when by borrowing Continental ideas, people who could afford it could live in flats... Land has become so valuable the villa of the Victorian days, in a crowded thoroughfare, no longer shows anything like an adequate return of interest on the land's present capital value. It is more profitable to pull the house erected thereon down, and to erect flats. When the flat became popular in England the experiment was made in St Kilda, and it did not take long to discover there was a genuine demand for flats (Prahran Telegraph, 18 October 1919, p.4)

Higher-density housing in the form of boarding houses paved the way to flat development. Flats first appeared in Melbourne around 1906 and slowly spread to the suburbs. They followed a strong pattern of development, appearing close to transport routes, particularly along or within walking distance of tram routes, to allow easy travel to the city. With their proximity to the beach and parklands, good public transport networks and seaside character, the suburbs of St Kilda and Elwood were especially popular locations for flats. Flats became a dominant characteristic of St Kilda and Elwood, and still make up a high

percentage of dwellings in those areas. They include some of the earliest surviving flats in Melbourne, some of the best examples of architectural styles and types of flats, and as a group demonstrate the increasing popularity of the lifestyle of flat living from the early twentieth century (TEH).

There was huge growth in flat development in St Kilda and Elwood in the 1920 and 1930s, attracting migrants, single people, and people of diverse sexuality. 370 In 1920 there were 527 purpose-built flats in 92 blocks in St Kilda municipality. By 1925 this had increased to 884 flats in 164 blocks, including large complexes such as the Ardoch flats in Dandenong Road. By 1935, despite a slowing of development due to the Great Depression, there were more than 2,800 flats in over 500 blocks. A further 2,000 flats were added by 1940; however, the onset of World War II slowed development. Nonetheless, by 1947 St Kilda contained 5,500 purpose-built flats, a quarter of all flats in Melbourne (TEH).

The electrification of the cable tram route along Chapel Street in 1926 encouraged the building of flats and between 1930 and 1940 fifteen blocks were erected along its length. Flat development continued in the post-war era.

Shops and flats, 93 & 95 Chapel Street

The subject site formed part of Crown portion 70D, parish of Prahran at East St Kilda. The 10-acre allotment was purchased in the 1850s (pre-1857) by Peter Davis, auctioneer and mayor of Melbourne 1856-57.

The subject site, on the corner of Chapel and Inkerman streets, remained undeveloped into the 20th century (as shown on the 1897 MMBW plan in Figure 1) and was in the same ownership as the Victorian period house to the north (no. 91).

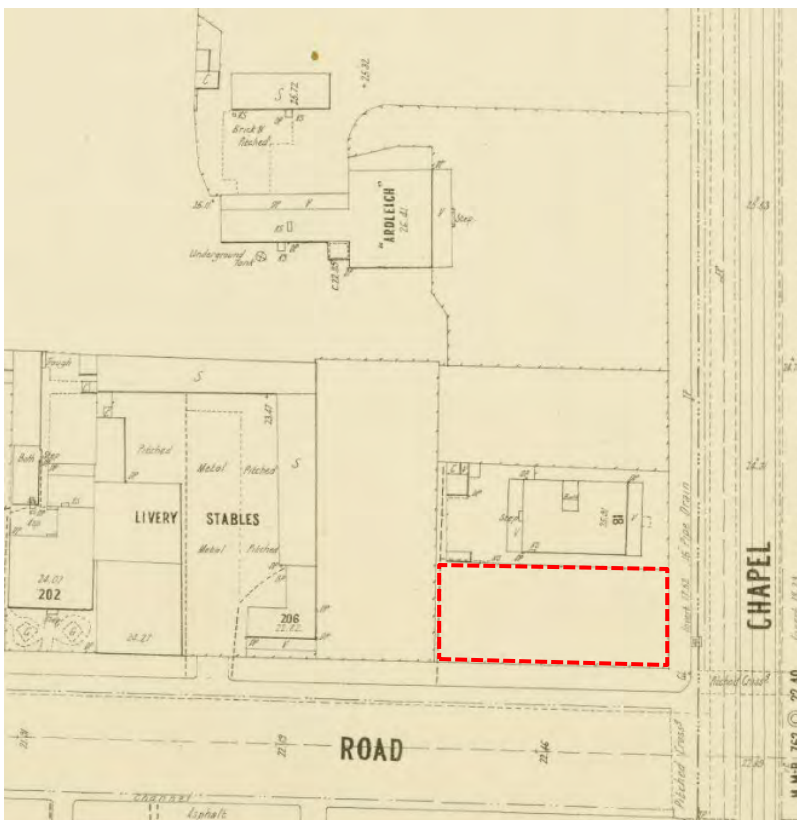


Figure 1 - MMBW Detail Plan No. 1362 (dated 1897) showing approximate boundaries of the subject site. (Source: State Library of Victoria)

In June 1924, the subject parcel of land was purchased by Frederick George Hart, newsagent of 174 High Street St Kilda. A few years later, in March 1927 a building permit was issued for a brick building containing

a pair of shop residences, designed by architects Richardson & Wood (BP no. 6751). The builder was M Gibson of Surrey Hills, and the estimated cost was £3,000. The residences had two bedrooms and there was direct internal access to the shops. The development coincided with, and may have been prompted by, the electrification of the cable tram route along Chapel Street, which was completed in late 1926.



Figure 2 - Original drawing, front/east elevation (Source: Council Building File)



Figure 3 - Original drawing, side/south elevation (Source: Council Building File)

Both of the shop residences were leased to tenants. To begin with, no. 93 was a cake shop, before being taken over in the early 1950s by tailor Benjamin Rosenberg who, together with wife Malka, purchased the building in 1963 following the death of Hart. In about 1978, no. 93 became a coin laundrette and some internal alterations were undertaken to the shop. Over the years, no. 95 has been occupied by a dry produce store, a grocer shop, and confectioner/corner store.



Figure 4 - Aerial photograph dated 1945, subject site indicated. (Source: Landata, Proj No 5, Melbourne and Metropolitan Area Project, Run 17E, Frame 58012)

Richardson & Wood - Architects

The partnership of Richardson & Wood was formed in 1912. They held offices in the city in Collins Street and later in Queen Street.

Frank G. Richardson had been in practice since before 1894 and in 1911 he was involved with several joint projects with the larger firm of Twentyman & Askew. Herbert Wood, who was raised and educated in London, arrived in Melbourne in 1887 and entered into practice with George McMullen. He later became manager of the architectural department of Roche and Company.

Richardson & Wood appear to have had a practice of a general rather than specialised nature, although they were involved in the design of about twenty picture theatres and three town halls. They also undertook many residential commissions. The practice came to an end in 1929 with Wood's death. Richardson continued in practice alone, but little is known of his work in this period apart from his 1937 design for a funeral parlour in St Kilda Road, South Melbourne.

References

Certificates of title (CT): Vol. 2978 Fol. 433; Vol. 4864 Fol. 659

Council Building File (including original plans permit no. 6751 issued 19 March 1927, and later permit documentation)

Nigel Lewis Richard Aitken P/L, *City of Malvern Heritage Study Appendix 1: Architects of Malvern*, June 1992, p78 (entry for Richardson & Wood)

O'Hanlon, Seamus, 'Home together, Home apart: Boarding house, hostel and flat life in Melbourne c.1900-1940', PhD Thesis, History Department, Monash University

Parish Plan - at Elwood, Parish of Prahran, P81-13 (PP)

Port Phillip Thematic Environmental History (TEH), February 2021

St Kilda Council building permit (BP) no. 6751 issued 19 March 1927

Sands & McDougall's street directories (SM)

Sawyer, Terry, (1982) 'Residential flats in Melbourne: the development of a building type to 1950', Honours thesis, Faculty of Architecture, Building and Planning, The University of Melbourne

Description

The subject site is rectangular and located at the corner of Chapel and Inkerman streets.

The two-storey pair of shop residences are highly intact. The building is comprised of three red brick sections: the main front section with a tile clad hipped roof, the middle section with a sheet metal clad gable roof, and a single storey rear wing with a skillion roof. The eaves to the front section have timber lined soffits. There are two centrally placed brick chimneys, and the rear chimney has terracotta pots.

The expressly symmetrical façade design, with quoining-like projecting brickwork to the corners and centrally, suggests some Georgian Revival influence. The recessed balconies have arched openings and the balustrade walls are detailed with negative dentilation. The wing wall on the north side has a rendered console bracket.

The sizes of the openings across all sections of the building vary, but all have concrete lintels and all windows are timber framed double-hung sashes. To the main front section, the windows have bracketed hoods, timber architraves, timber sills supported by corbelled brick brackets, and multi-framed upper sashes. There are also clerestory windows above the canopy.

The shop fronts are largely intact, including much of the metal framing, toplights, and the small-tiled piers and stallboards (overpainted). The central doors have been replaced.

Comparative analysis

The subject building is a highly intact Interwar period example of the traditional shop residence typology, whereby shop owners lived above and/or behind their shop. During the early Interwar period there was a shift towards more domestic designs for shop residences and greater expression, even dominance, of the residential components. This shift is reflected at 93 & 95 Chapel Street in the unusually wide frontages, the expressed roof, recessed balconies to the upper floor and commodious residences. Access to the residences is provided both internally and from the rear. Some other examples (of many) illustrating this more domestic expression include:

- Bilston Flats at 132-134 Carlisle Street c.1925 (Contributory within the Carlisle Street Commercial & Public Precinct). Probably designed by H Lawson. Double shop residence. Upper floor has an expressed roof and a large projecting gable component.
- 121 Ormond Road, Elwood (PPHR citation 364). Single shop residence. Designed by architect W H Smith in 1915. Residence has a recessed balcony, gable front, and oriel windows along the side elevation.

A related typology that emerged during the Interwar period, which was particularly popular in the St Kilda area, was that of mixed-use developments comprising shops and/or cafes on the ground floor with flats above (which were accessed via a separate entrance and not necessarily occupied by the shop owners). Some examples which are stylistically similar to the subject building, or adopt a similar format, are listed

below. Most of these examples have symmetrical façade compositions and a similar degree of external intactness, albeit most do not retain original shopfronts.

- Summerland Mansions, 17-27 Fitzroy Street, St Kilda (VHR H1808). Built 1920 and designed by Christopher A. Cowper. Whilst much larger, it also has a symmetrical composition, expressed tiled hipped roof forms, recessed balconies, quoining-like rustication, and clerestory windows above canopy. One of the shop fronts appears original, others non-original.
- Waverley, 115-119 Grey Street, St Kilda (Citation 2003, HO5 precinct). Built 1920 and designed by Joseph Plottel. Similarly has a symmetrical composition, expressed tiled hipped roof, three-paned upper sashes. Also two storeys and located on a corner with rear wings visible. Non-original shopfronts.
- Shops & flats, 58-60 Acland Street, St Kilda (Citation 392, HO5 precinct). Built 1921 and designed by Gyngell Bros. Arts and Crafts aesthetic, with asymmetrical façade. Similarly has an expressed tiled hipped roof (though with small gable end at front), red brick walls, hoods to windows and corbelled brick brackets to sills, and clerestory windows above canopy. Also two storeys and located on a corner with rear wings visible. Non-original shopfronts.
- Shops & flats, 81-81A Wellington Street, St Kilda (Citation 2380, HO493). Built 1930. Similarly has a symmetrical composition, expressed tiled hipped roof, multipaned windows, quoining-like rustication, recessed balconies, and rendered lintels. Also two storeys and located on corner with rear wings visible. Non-original shopfronts.
- Strathmore, 89 Fitzroy Street, St Kilda (Contributory within HO5). Built 1931 and designed by J H Johnson. Similarly has a symmetrical composition, arched openings to recessed balconies and multipaned windows. Intact shopfronts.

The subject building is one of several examples designed by Richardson & Wood in the municipality - mostly houses and flats in St Kilda and Elwood in the 1910s and 1920s typically in an Arts and Crafts mode, as well as the Parish Hall for Christ Church in Acland Street, St Kilda. The subject pair of shop residences were amongst the later commissions and the only one in the with a commercial component. Like the subject building, the duplex at 245-245A Barkly Street (1914, Citation 192) and the Belmont Flats at 86 Alma Road, St Kilda (1923, Citation 290) both have symmetrical compositions.

Assessment

This place has been assessed in accordance with the processes and guidelines outlined in the Australia ICOMOS *Charter for Places of Cultural Heritage Significance* (The Burra Charter) 2013, using the Hercon criteria.

Recommendations

Add to the Heritage Overlay as an individual place. Specific controls are not required.

Primary source

RBA Architects & Conservation Consultants, *HO7 Elwood St Kilda Balaclava Ripponlea Precinct heritage review Stage 2*, 2021

Other studies

Andrew Ward & Associates, *Port Phillip Heritage Review*, 1998



Other images



From Chapel Street (left) and from Inkerman Street (right)



Shopfronts at no. 93 (left) and no. 95 (right)

Area to be included in HO



City of Port Phillip Heritage Review

Place name: House
Other names: -

Citation No:
2420



Address: 101A Hotham Street,
Balaclava

Heritage Precinct: Not applicable

Category: Residential: House

Heritage Overlay: HO546

Style: Postwar: Functionalist

Graded as: Significant

Constructed: 1950

Victorian Heritage Register: No

Designer: Kurt Popper

Amendment: C206port

Comment: New citation

Significance

What is significant?

The single-storey house, designed by Kurt Popper and constructed in 1950, at 101A Hotham Street, Balaclava is significant.

Contributory features include the original L-shaped form and curved projecting bay/wing, flat roof, timber soffit, rendered walls, clinker-brick plinth (overpainted), steel-framed windows, and recessed porch. The slate-clad 'crazy paving' front fence, including metal pedestrian gate, concrete front garden path and side driveway, also contribute to the significance of the place.

Alterations and additions are not significant. The current paint colour scheme is not significant.

How is it significant?

The house at 101A Hotham Street, Balaclava is of local historical and aesthetic significance to the City of Port Phillip.

Why is it significant?

It is historically significant as a refined modernist design by Kurt Popper, a distinguished Viennese-Jewish architect, noted for his contribution to the propagation of modernism in Melbourne over the 1950s and 1960s. The property emerged from the breakup of a sizable late 19th-century holding ('The Nook'), a typical circumstance in area, with the allotment acquired by husband and wife, Leon and Esther Tabatznicks, both first-generation Jewish-Australians. Their commissioning of Popper is illustrative of the important

connection that formed between the locale's growing Jewish community and émigré designers over the post-Second World War period; a relationship that proved integral in the manifestation of modernism in the municipality. (Criterion A)

It is of aesthetic significance as a distinctive and generally intact example of Popper's oeuvre, much of which is related to flats and apartment blocks. The house's bold, rationalist and flat-roofed form was comparatively novel at its time of construction in the municipality, a testament to the European training and experience of its designer. Simultaneously, Popper's employment of streamlining to the façade by way of incised 'speedlines', prominent band of steel-framed windows and the projecting curved bay/wing, while modern, also reference the well-accepted Functionalist (Moderne) style. The resolved built character of the place is enhanced by its original 'crazy paving' front fence and the geometric rear-situated garage. (Criterion E)

Thematic context

Victoria's framework of historical themes

6. Building towns, cities and the garden state: 6.3 Shaping the suburbs, 6.7 Making homes for Victorians

Port Phillip thematic environmental history

5. Buildings and cultural landscapes: 5.2 Shaping the suburbs (5.2.2 Private development), 5.3 Diverse Housing (Émigré architects)

History

Contextual history

The development of St Kilda began following the first land sales in 1842 and by 1854 there were over two hundred houses. The plans compiled in 1855 by James Kearney shows that most of these were situated to the west of Brighton Road (later High Street and now St Kilda Road). The St Kilda East and Balaclava areas by comparison, were largely undeveloped, particularly east of Chapel Street. Improvements to public transport including the opening of the railway station at Carlisle Street, and the establishment in the late 1880s of cable tram routes along High Street (St Kilda Road) and Chapel Street encouraged development during the land boom, however, this remained sporadic and ground to halt during the economic depression of the 1890s.

There was almost no increase in St Kilda's population in the decade from 1891 to 1901. However, as development recovered in the early twentieth century the number of residents in St Kilda almost doubled between 1901 and 1921 rising from 20,500 to 38,500 as land was highly sought-after by a new generation of homeowners seeking smaller detached dwellings, duplexes or flats. Whole new streets of neat brick cottages and villas appeared, however, in St Kilda East this largely remained a period of consolidation and infill on vacant land within the established residential areas, rather than expansion into the still largely undeveloped areas east of Hotham Street, although development did begin to creep along the length of Dandenong Road, following the route of the new electric tram introduced in 1911.

By the early post-war period most of the available land had been built upon and new residential building was limited to the remaining pockets of vacant land or as redevelopment of older properties.

House, 101A Hotham Street

The subject land derives from Crown Allotment 214B of the Parish of Prahran, described as part of a belt of 'Red Gum Flats' at its survey in the mid-19th century. This approximately 1.6-hectare allotment at the south-western corner of Beach Road (now Carlisle Street) and Hotham Street was purchased by S Dunovan and M Gallagher during the 1850s (PP).

By the late 1880s, this holding had been subdivided and accommodated various high-end villa properties, a development pattern characteristic to Carlisle Street and Balaclava Road. At this stage, the subject land was part of a generous corner property that comprised 313 and 315 Carlisle Street as well as 101 and 101A Hotham Street. By circa 1890, this allotment was occupied by a residence known as 'The Nook' (Figure 1), which was situated at a deep setback from Carlisle Street within a formally laid out garden. Archibald Yulie, a 'salesman', was the first owner and occupant of The Nook, and his family remained at the property into the mid-1940s (SM) (CT v.1763 f.413). At its rear was 'East St. Kilda grammar school', which operated out of a modest structure between the 1870s and early 1900s (SM).

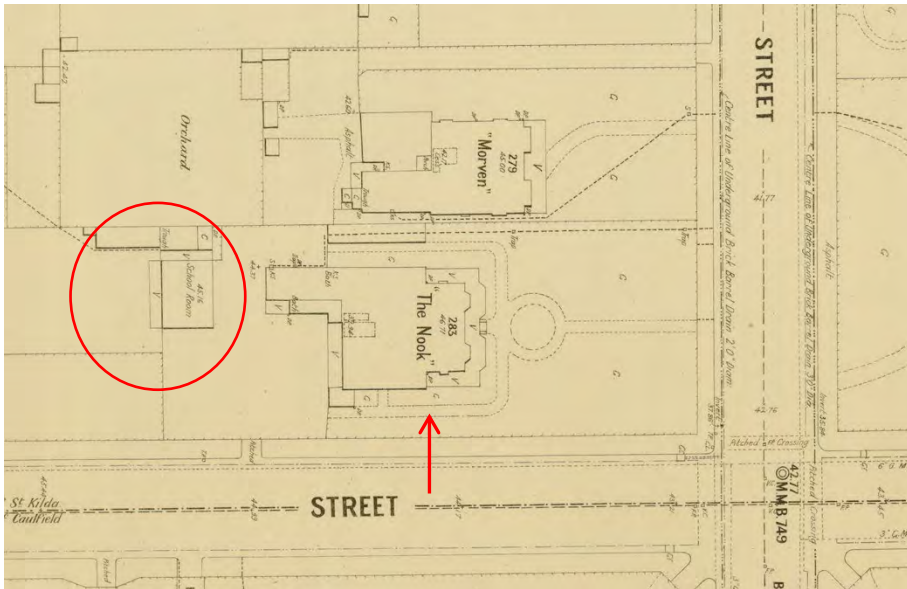


Figure 1 - Extract from MMBW Detail Plan no. 1438 (1898) showing development at the south-west corner of Carlisle and Hotham streets. The 'East St. Kilda grammar school' is circled.

Over the late 1940s, The Nook itself was demolished and the property subdivided, mainly under the watch of the new owners, the Sackvilles – a Anglo-Polish Jewish family (CT v.6815 f.948). In mid-1950, the subject allotment was transferred to Esther Essie (née Sackville) (1923-93), the wife of Leon Tabatznick (sometimes anglicised as 'Tab') (1913-85) (CT v.8007 f.008). Also of Jewish descent, Leon's father had immigrated from Russia to Melbourne around 1910 and set up a jewellery store along Sydney Road, Brunswick, an enterprise later run by the son (A, SM).

The Tabatznicks promptly engaged Kurt Popper, a Viennese-Jewish architect of increasing profile, to design a new house for the lot. This sleek and modernist two-bedroom dwelling was submitted to the City of St Kilda in September 1950 (Figure 2) and appears to have been constructed later that year.

The interior of the house is believed to have contained an array of high-quality elements, including terrazzo tiling, double doors with etched glazing, cabinetry, built-in furniture, concealed lighting and decorative metalwork (O).

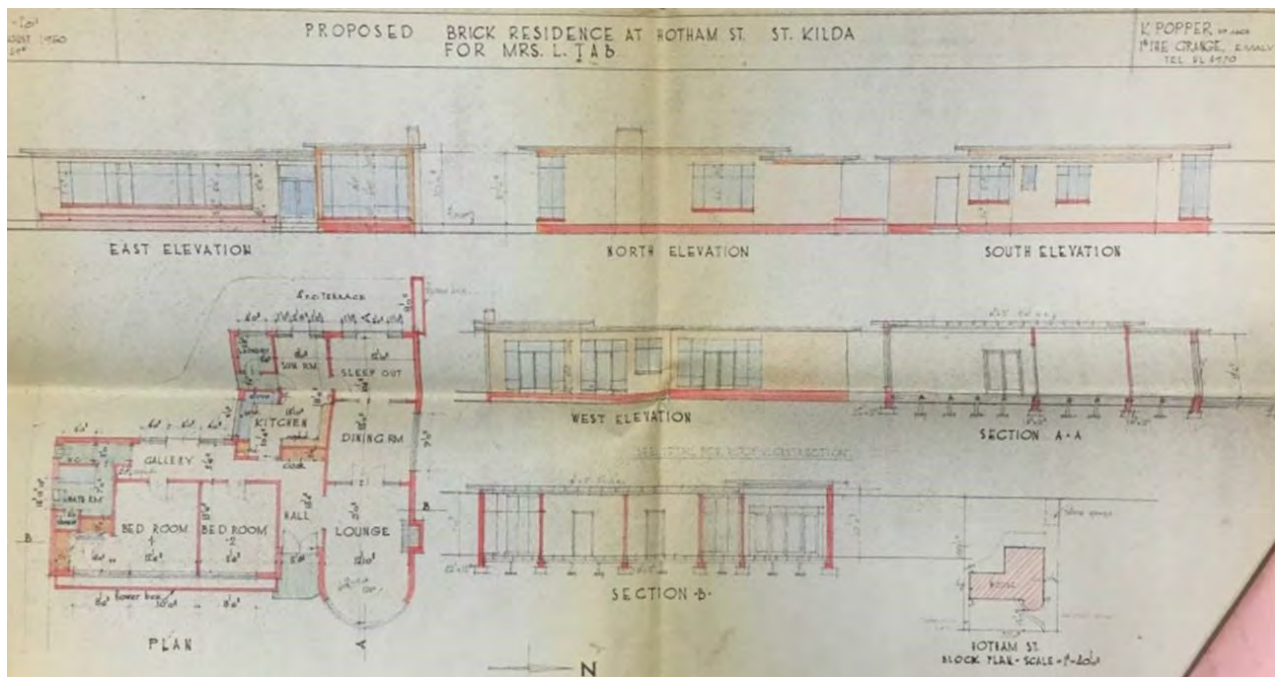


Figure 2 – Extract from the St Kilda Council Building Permit, No. U927 & U929 (dated 12 September 1950). Popper is identified as the responsible architect in the top right of the drawing.

It appears that Popper was also responsible for the design of three houses immediately south of the Tabatznicks (101, 103 and 105 Hotham Street), likely for other members of the Sackville family. These Popper outputs were more standard for the time and, in two cases (nos. 101 and 105), have since been unsympathetically modified.

The house was purchased in the late 1950s by the Sznajder family, who were also of Jewish descent (O).

The presence of the Tabatznicks and Sznajders at the site (into the late 1950s) and their-the place's connection with Popper offers a microcosm of the notable period shift of Melbourne's Jewish population from the Carlton area to the inner southern suburbs, particularly St Kilda and Elwood (previously the domain of a smaller affluent Anglo-Jewish group). This trend commenced in the interwar years but accelerated in the wake of the Second World War, propelled by an influx of Central and Eastern European Jewish refugees, including Holocaust survivors. Within the growing St Kilda-Jewish community were many individuals interested in recreating familiar lifestyles or with an eye to property development (chiefly flats/apartments), which often incorporated a modernist ethos. To facilitate such aims, they regularly turned to compatriot designers (O'Hanlon, 2014, passim).

Consequently, during the post-war period a relatively small group of Jewish émigré architects – Popper, Dr Ernst Fuchs/Ernest Fooks (1906-1985), Frederick Romberg (1913-1992), Herbert E Tisher (1915-1998), Mordechai Benshemesh (1911-1993), etc. – were responsible for a prolific number of houses, flats and apartment blocks in the district; in the process 'reshaping streets, occupation patterns and community areas' with an injection of European-influenced modernism (Edquist, 2002 p9).

Kurt Popper (1910-2008)

Popper belonged to a small number of émigré designers, generally Jewish, who left Vienna for Melbourne and Sydney from the late inter-war years; a relocation precipitated by Austria's annexation by Nazi Germany in 1938. While part of an influx of Europeans conversant in modernism who arrived as part of Australia's post-war non-British immigration drive, the specific cultural influences of the Viennese immigrants proved influential (Edquist, 2019, passim).

Born in Vienna, at the tail end of the *Wiener Moderne* cultural era, Popper attended the *Kunstgewerbeschule Wien*, an art and craft school, in his late teens before completing his education at the *Akademie der bildenden Künste Wien* (Academy of Fine Arts Vienna). Steeped in the principles of an academic modernism, Popper carried out a handful of commercial commissions and theatre set designs in Vienna before fleeing in the face of the *Anschluss*. Within a year he disembarked in Adelaide, after time in France, Switzerland and London. Architectural work in the office of Evans, Bruer & Hall and a stint as a wartime engineer for the Allied Works Council followed (Edquist, 2002, p11).

By 1945, Popper had married and was in Melbourne, having taken up a design position at the Housing Commission of Victoria. However, when the *Australian Home Beautiful* published the plans of his first private Melbourne engagement – a flat-roofed courtyard dwelling in East Malvern (*Shermann House*) – on the cover of its April 1946 edition, the ensuing publicity enabled Popper (then in his mid-30s) to launch a solo practice (Edquist, 2002, p12).

Throughout the 1950s and 1960s, Popper's reputation as a gifted modernist architect flourished, fueled in a large part by the commissions of Jewish clients in St Kilda, Toorak, Caulfield, and South Yarra. His output was chiefly domestic, ranging from high-end detached homes (about 30 in number) to flats and high-rise apartments (over 80). In the design of the latter, Popper was considered an early expert. He was also closely involved in the development of several Jewish institutional sites, including the Elwood Talmud Torah (1957, 1973) (Townsend, 2018). Popper lived at 61-63 Gordon Street, Elsternwick – personally designed – from 1956. He retired in 1975 (Edquist, 2002, p12).

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Port Phillip Thematic Environmental History (TEH), February 2021

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Description

The single-storey house occupies the majority of the allotment, having been constructed to its southern boundary with a moderate setback from Hotham Street. An original narrow concrete driveway runs the northern perimeter of the property.

The house has an L-shaped form, with a projecting bay defined a pronounced curve. A flat roof – still, in 1950, a relatively novel element in the suburbs readily associated with the modern movement – is clearly expressed, clad in metal sheeting and with a wide fascia. The original bituminous finish apparently survives beneath the sheeting (O). The roof of the projecting bay is slightly higher than that of the rest of building creating a dynamic relationship between the two sections. Eaves are wide and the soffit is of dark-stained/painted timber. The chimney (north elevation) detailed on the submitted drawings (Figure 2) is no longer extant.

The rearmost section of roof (west elevation), situated below that of the primary roof, and timber pergola are both later additions.

The house is constructed of white-painted, rendered brick with a brick plinth (overpainted). It is likely that the base-course of the projecting bay was always rendered. Its middle band comprises a large, recessed curved window and incised ‘speedlines’. The drawing (Figure 2) suggests that the original colour scheme was a face brick plinth with light coloured rendered walls above.

The front entrance is formed by a recessed porch framed by a moulding with ‘speedlines’, as well as inner rusticated edge. It is enclosed by a metal security grille, possibly-likely original, with a geometric pattern ~~(that is similar to those that had been used to that of the~~ pedestrian and vehicular gates ~~(removed, evident on GSV)~~. Whether the original front door (shown as double-glazed doors on the submitted plans, Figure 2) remains is unclear.

The majority of original openings are intact. Only those ~~to the south (now a pair of window slits) and, possibly,~~ the rear elevations (originally large glazed doors surrounded by windows) appear to have been modified. Of the remaining, all have steel frames – a material celebrated at the time as an expression of modernity – and comprise a repeated configuration of a central glazed pane flanked by awning windows with fixed toplights. The extent of glazing to the façade, including both the curved window and elongated strip of three bays divided by rendered mullions, is a principal aspect of the residence, heightening the overall horizontality of the design.

At the level of the freestanding home, Popper’s commissions could range from typical/conservative styles to varying intensities of modernism, as demonstrated by the cluster of his examples along Hotham Street. Popper’s more noted domestic designs reflected mid-century academic and rationalist European modernism. This approach is clear at the subject place with its reductive form, flat roof, expansive glazing, planar walls, horizontal emphasis and contrasting brick/rendered/slate finishes. In post-war Melbourne, this design approach is classifiable as the Functionalist style, which is a continuation of the inter-war Moderne aesthetic as indicated by the streamlining - ‘speedlines’, band of window – and projecting curved bay.

The original front fence is clad in Castlemaine-slate ‘crazy paving’ – a hallmark of mid-century modernist design – with two central narrow bands of white/pink stone (possibly marble) and a similarly narrow coping. The concrete of the front winding pedestrian path and the vehicular paving are likely original. The front yard includes a hedge behind the front fence, perimeter garden beds with various shrubs, and some trees and a central area of lawn.

In the north-west corner of the block is a small rectangular garage, whose footprint is evident on the original drawing. It has a rendered front wall with a parapeted roof. The rear yard also features extensive ‘crazy paving’ and an original ‘Quick Dry’ clothes hoist (O).

Comparative analysis

Kurt Popper was responsible for the design of an array of buildings in the City of Port Philip, particularly in the locale of Elwood, where he benefited from commissions generated by the post-war flat ‘boom’ and Jewish contacts. The chief domestic output of his small architectural office was modernist flat blocks. Some examples of Popper’s work include:

- 32 Byron Street, Elwood, built 1960 (Citation no. 2326, HO412). The only other single residence by Popper that is included in the heritage overlay. Built in 1960 for Les Erdi, a Jewish-Hungarian émigré



hotel developer, this face brick (overpainted) residence has timber-framed windows and is indicative of the contemporary Modernist aesthetic as it had developed over the ensuing decade since 101A Hotham Street. Castlemaine slate has been extensively employed to the stair and raised garden beds. Together these two houses however demonstrate Popper's sustained interest in a restrained approach though with juxtaposing materials/finishes.

- Rajon Flats, 3 Tennyson Street, built 1950 (Contributory within the St Kilda Botanical Gardens and Environs precinct). U-shaped, cream-brick, steel-framed windows and with a flat roof, though with a parapet and also indicative of the Functionalist style.
- Flats, 124-126 Alma Road, 1954 + 47 Westbury Street, St Kilda, 1956 (both Contributory within HO6). Similar, adjacent blocks in a Functionalist mode. Cream brick (one on red brick plinth), with parapeted roof, steel-framed windows, some with concrete framing, and balconies with concrete decks and metal railing.
- Flats, 22A Acland Street, St Kilda, 1957 (Contributory within HO5). Three storey, rectangular footprint with corner balconies with metal balustrading with diamond pattern (to the front). Cream brick with panels of large, pale blue tiles to the façade. It however has a tile clad, hipped roof.
- Flats, 17 & 17A Burnett Street, St Kilda 1958-59 (Contributory within HO5). More conventional with a hipped roof clad in tile in two mirror-image blocks. Distinguished by the expressed rendered frame to the corner windows.

More broadly, the subject place stands apart from other post-war modernist houses in the municipality affected by a Heritage Overlay as a notably early example of European-infused modernism. Comparable properties include:

- 48 Westbury Street, St Kilda East, built in 1947 (Citation no. 957, HO277). A late example of the Moderne style in cream brick. The façade's streamlined treatment was a continuation of a popular interwar design mode, while the presence of the tile-clad hip roof behind the parapet reveals the staying power of traditional elements. In contrast, 101A Hotham Street, constructed three years later, reflects a more defined example of contemporary modernism.
- 25 Eildon Road, St Kilda, built 1949-50 (Contributory within HO5). Built around the same time as the subject place, this boldly massed and geometric design by Slovakian-émigré architect Dr Ernest Fooks has a tile-clad hipped roof; another example of modernist design combined with an entrenched suburban trope. Functionalist style with variegated salmon brick, large steel-framed windows, some set in a concrete frame.
- 6A Dickens Street, Elwood (Citation no. 893, St Kilda Botanical Gardens & Environs Precinct). A two-storey, flat-roofed late rendition of the streamlined Moderne/Functionalist style house, constructed in 1954 by the long-lasting, style-shifting architect Leslie J W Reed. Its sweeping interlocking curved volumes create an effect referred to as the 'Waterfall front'. A good example of a popularised 'modern' design, but less rigorous than the subject place.
- 19 Lindsay Street, Elwood, built c.1964 (Citation no. 2334, HO422). A two-storey mature, modernist example (flat-roofed, geometric volume, reductive) constructed in salmon brick with some stone cladding and large windows with a glazing bar pattern suggesting de Stijl influence by a building/design firm for Frank Olah, a Hungarian émigré jeweller.

Assessment

This place has been assessed in accordance with the processes and guidelines outlined in the Australia ICOMOS *Charter for Places of Cultural Heritage Significance* (The Burra Charter) 2013, using the Hercon criteria.

Recommendations

Add to the Heritage Overlay as an individual place.

In the Schedule to the Heritage Overlay apply:

- external paint controls (to ensure complementary colour schemes are employed and/or encourage restoration of the original paint colour or rendered finish and face brickwork [to plinth]).
- fence controls (original front fence)

Primary source

RBA Architects & Conservation Consultants, *Review of Heritage Precinct HO7 – Elwood, St Kilda, Balacava, Ripponlea - Stage 2 Report (2022)*

Other studies

- Andrew Ward & Associates, *Port Phillip Heritage Review, 1998*

Other images



City of Port Phillip Heritage Review

Place name: **Maison Parisienne**
Other names: **Flats**

Citation No:
2424



Address: **122 Brighton Road, Ripponlea**

Category: **Residential: Flats**

Style: **Interwar: Mediterranean**

Constructed: **1932**

Designer: **E Jennings & Sons (builder)**

Amendment: **C206port**

Comment: **Revised citation**

Heritage Precinct: **Not applicable**

Heritage Overlay: **HO529**

Graded as: **Significant**

Victorian Heritage Register: **No**

Significance

What is significant?

Maison Parisienne, constructed in 1932, at 122 Brighton Road, Ripponlea is significant. The building was designed and erected by builders E Jennings & Sons for clients Ernest Morris and his French-born wife Elise, who resided in one of the flats upon its completion.

The flats are three-storeys and have a uniform rectangular plan beneath a tiled high-hipped roof. Walls are finished in textured render, with smooth render dressings. The front façade is asymmetrically arranged, though there is repetition of forms on each of the three levels: windows beneath an abstracted Serlian window hood to the northern bay, arched openings with curved balconies to the upper levels to the central bay, and arched openings with inset entry or porches to the southern bay. Front windows retain geometric leadlights in upper window sashes.

The garages at the rear also contribute to the significance of the place.

Alterations and additions, including the front fence and rear escape stairs, are not significant. The current paint colour scheme (over the rendered finish) is not significant.

How is it significant?

Maison Parisienne at 122 Brighton Road, Ripponlea is of local historical and aesthetic significance to the City of Port Phillip.

Why is it significant?

Maison Parisienne is of historical significance as flats constructed during the Interwar period, when huge growth in flat development characterised St Kilda and Elwood as the transition from detached single family dwellings to flat living became increasingly popular. While this transition began with the conversion of large dwellings to boarding houses, and then the architectural conversion of some to separate apartments, Maison Parisienne was part of the final phase of development: purpose-built flats. Built on a main thoroughfare, it also demonstrates the importance of public transportation in fuelling flat development. The cable tram along Brighton Road was electrified and extended south from a previous terminus at Brunning Street to Glen Huntly Road in the mid-1920s, which encouraged an acceleration of flats development along this part of the road from 1926 until World War II. (Criterion A)

Maison Parisienne is of aesthetic significance as a distinctive and intact example of Interwar period flats in the popular Mediterranean style as executed by a designer-builder. It exhibits key characteristics of the Mediterranean style, such as textured rendered walls, arched openings, and classical forms such as corbels and dentils. This is married with chunky detailing and the highly abstracted Serlian window hoods that were a hallmark of E Jennings & Son's Interwar designs. (Criterion E)

Thematic context

Victoria's framework of historical themes

6. Building towns, cities and the garden state: 6.3 Shaping the suburbs, 6.7 Making homes for Victorians

Port Phillip thematic environmental history

5. Buildings and cultural landscapes: 5.2 Shaping the suburbs (5.2.2 Private development), 5.3 Diverse Housing (5.3.5 Higher-density housing)

History

Contextual history

The early twentieth century saw a marked decline in the viability of large mansions across Melbourne's suburbs in general, but it was particularly felt in the more affluent inner southern suburbs such as St Kilda and Brighton, where land was highly sought-after by a new generation of homebuilders seeking smaller detached dwellings, duplexes or flats. The trend toward higher-density living in St Kilda began with the conversion of mansions and terrace houses into boarding houses in the early 1900s and continued with the first purpose-built flats that appeared at the beginning of World War I. A 1919 newspaper article noted:

It was held to be no longer necessary to labour with a house and all the domestic drudgery that entailed when by borrowing Continental ideas, people who could afford it could live in flats... Land has become so valuable the villa of the Victorian days, in a crowded thoroughfare, no longer shows anything like an adequate return of interest on the land's present capital value. It is more profitable to pull the house erected thereon down, and to erect flats. When the flat became popular in England the experiment was made in St Kilda, and it did not take long to discover there was a genuine demand for flats (Prahran Telegraph, 18 October 1919, p.4)

Higher-density housing in the form of boarding houses paved the way to flat development. Flats first appeared in Melbourne around 1906 and slowly spread to the suburbs. They followed a strong pattern of development, appearing close to transport routes, particularly along or within walking distance of tram routes, to allow easy travel to the city. With their proximity to the beach and parklands, good public transport networks and seaside character, the suburbs of St Kilda and Elwood were especially popular locations for flats. Flats became a dominant characteristic of St Kilda and Elwood, and still make up a high percentage of dwellings in those areas. They include some of the earliest surviving flats in Melbourne, some

of the best examples of architectural styles and types of flats, and as a group demonstrate the increasing popularity of the lifestyle of flat living from the early twentieth century (TEH).

There was huge growth in flat development in St Kilda and Elwood in the 1920 and 1930s, attracting migrants, single people, and people of diverse sexuality. 370 In 1920 there were 527 purpose-built flats in 92 blocks in St Kilda municipality. By 1925 this had increased to 884 flats in 164 blocks, including large complexes such as the Ardoch flats in Dandenong Road. By 1935, despite a slowing of development due to the Great Depression, there were more than 2,800 flats in over 500 blocks. A further 2,000 flats were added by 1940; however, the onset of World War II slowed development. Nonetheless, by 1947 St Kilda contained 5,500 purpose-built flats, a quarter of all flats in Melbourne (TEH).

The first flats in Brighton Road were constructed at the end of World War I. One of the earliest was 'Yurunga', designed by local architect Harry R Johnson, which was constructed in 1920 at the south corner of Brunning Street directly opposite the cable tram terminus. The electrification of the cable tram in Brighton Road and its extension, by 1926, from the terminus in Brunning Street, Balaclava to Glen Huntly Road in Elsternwick encouraged the construction of flats along the route. Between 1926 and 1941 no fewer than 21 blocks of flats were constructed between Carlisle Street and Glen Huntly Road.

Maison Parisienne, 122 Brighton Road

The subject site formed part of Crown portion 259, parish of Prahran at Elsternwick. The approximately 5½ acre allotment was purchased in November 1853 by J M Holloway (PP).

By 1873, as recorded on the Vardy Plan (Figure 1), most of this land was owned by W Kesterson (Allots. 12 & 14), while a small block (No. 13) was owned by W Cheerington and developed with a small house at the front boundary and an outbuilding on the south side boundary.

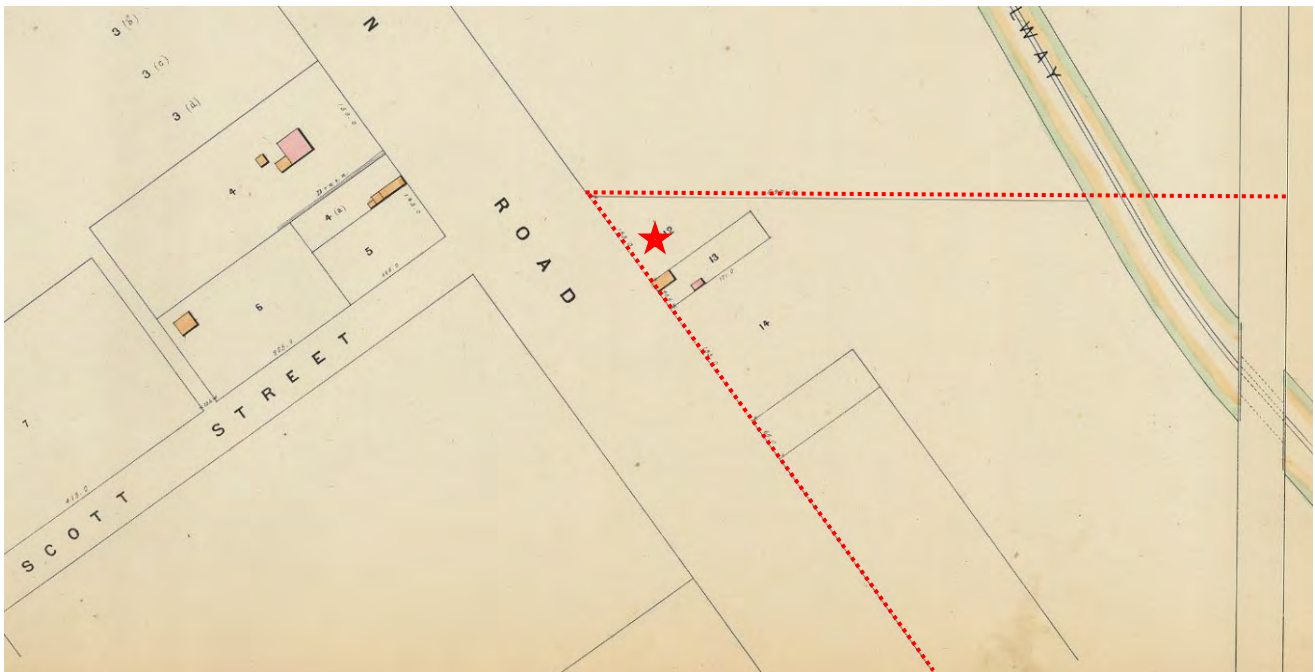


Figure 1 - Plan of the Borough of St Kilda, Sheet No. 14 SW (J.E.S. Vardy, 1873). Showing partial boundaries of Crown portion 259 (outlined), and the location of the subject site (star). (Source: St Kilda Historical Society)

The land that now comprises the subject site was created from the consolidation and re-subdivision of two blocks of land. The southern part of the subject site was purchased in 1888 by William Cutler, a gentleman of Charles Street, St Kilda (CT v.2078 f.496). Cutler mortgaged the land with the National Bank of Australasia, but apparently defaulted as the bank issued a series of writs against him with the Supreme Court, and then took possession of the property. The bank then sold the land to George Henry Billson, an aerated water manufacturer, in 1894.

The northern part was transferred to Lily Ann Rose, of 62 Clara Street, South Yarra, on 15 August 1894 (CT v.2531 f.144). Two days later, the land was transferred to James Wallace, a gardener of Bell Street, Elsternwick. Five years on, it was reacquired by George Henry Billson who held it until 1919. Billson developed the land with an aerated water factory, which is shown on the 1905 MMBW plan (Figure 2). A large stable was at the rear of the block that would later become the subject site. The single-fronted house shown on the Vardy Plan appeared to survive at this point, fronting Brighton Road.



Figure 2 - Extract from MMBW Detail Plan no. 1465 (1905) showing approximate boundaries of the subject site (dotted outline). There is a large stable partially on the subject site as well as the pre-1872 house. To the south is a 'Factory' with two attached dwellings in front of it. (Source: State Library of Victoria)

George H Billson was born in England in 1844 and settled with his parents and siblings in Victoria in 1852. In 1879, Billson purchased the Colonial Porter Brewery in Albury. His father and a brother ran the Ovens Brewery in Beechworth. While in Albury, Billson served as an alderman and mayor of Albury, before moving to Elsternwick in 1896 to set up a cordial and aerated water factory on the subject site. He was elected to the City of St Kilda Council in 1901 and served until 1911, including a year as mayor.

In 1915, the George H Billson & Co. aerated water factory was the only occupant listed on Brighton Road between Fuller Road and Hotham Grove. This was soon followed by residential development on this part of Brighton Road, with five houses occupied or under construction by 1919. It appears that the factory closed that year, as it was listed under a caretaker's name in the 1919 street directory, and not listed at all in 1920. George H Billson died in 1927, at the age of 83, reportedly after retiring some years earlier (*Prahran Telegraph* 16 Sep 1927 p5).

With the closure of the factory, residential development of the large block at the corner of Brighton Road and Hotham Grove was soon underway. John Dixon, a 'gentleman' of Beach Road, Mentone, consolidated the land that today comprises 118-126 Brighton Road and 1 Hotham Grove on 9 December 1920 (CT v. 4414 f.651). He then subdivided and sold off the land as six parcels between 1921 and 1925.

Margaret Hunt, a married woman of 18 Grosvenor Street, St Kilda, became the owner of the subject site with its current boundaries on 3 October 1922 (CT v.4627 f.352).

Of the blocks sold off by John Dixon, the subject site was the last to be developed. A 1931 aerial photograph (AP) shows that the rest of the aerated water factory site had been developed with detached houses.

Margaret Hunt sold the subject site to Ernest John Podesta Morris on 23 July 1932. Morris commissioned local builder E Jennings to design and construct a three-storey block of flats, and a building permit was granted just four days after the transfer of land was finalised (BP no. 8096 issued 27 July 1932).

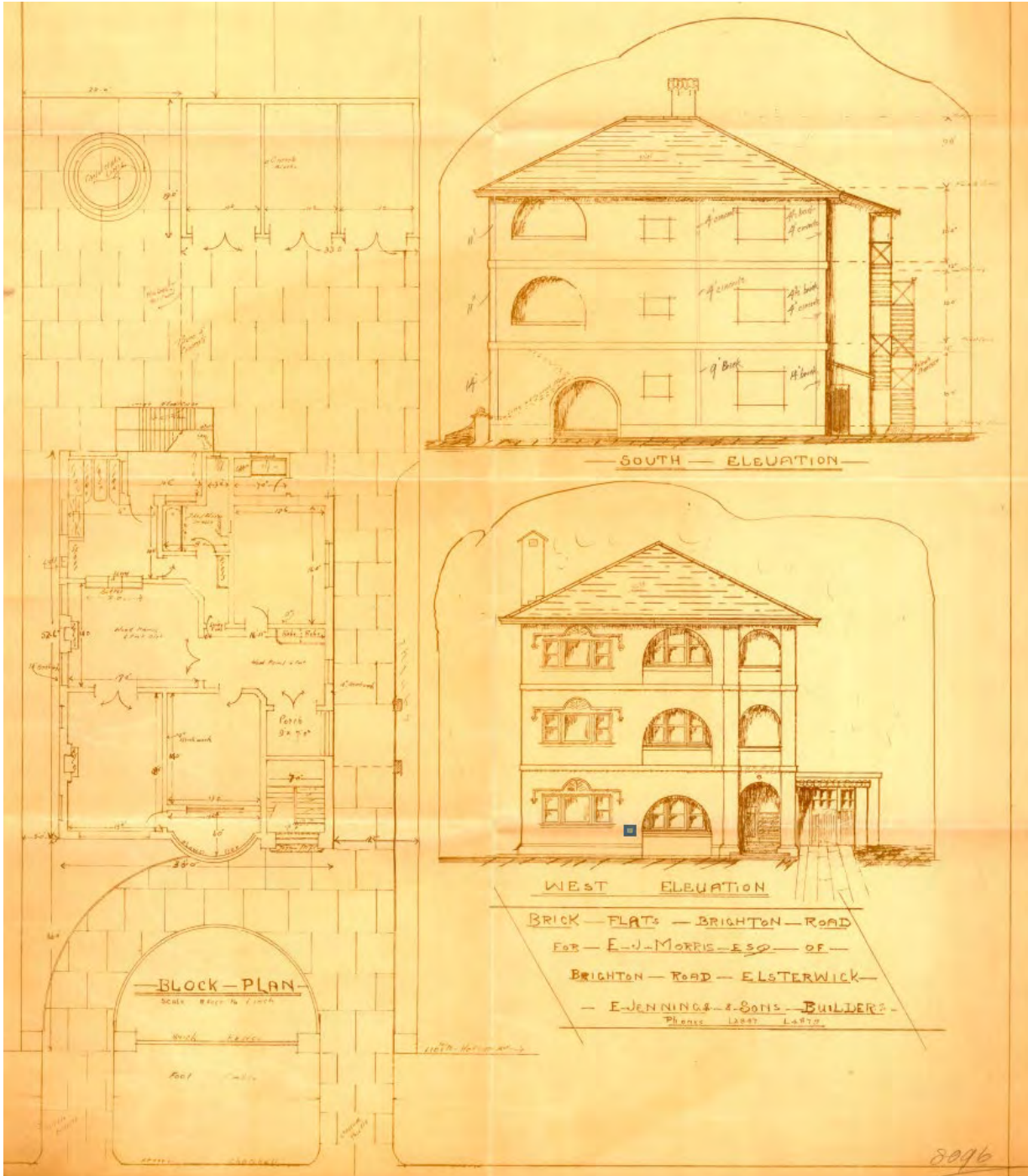


Figure 3 - 1932 building permit plans and elevations for the flats at 122 Brighton Road. Note the curved front drive and garages at the rear. (Source: St Kilda Council Building Permit no. 8096, 27 July 1932)

Morris named the flats 'Maison Parisienne', apparently in honour of his wife, Elise Francoise Morris. Ms Morris was French and had worked as a chorus girl in Paris before moving to Bombay (Mumbai) in 1921 where she ran a cabaret and nightclub. There she soon met Ernest Morris, an Australia jockey also working in India, and they married some years later in 1930. After their marriage, they moved to Australia, and apparently 6000 pounds of Ms Morris' money was used to purchase the subject site and erect the 'Maison Parisienne' flats. Ms Morris also purchased the Railway Hotel in Windsor and the Napier Hotel in Richmond. (*Herald* 8 Aug 1940 p3; *Age* 9 Aug 1940 p11; *Argus* 10 Aug 1940 p11).

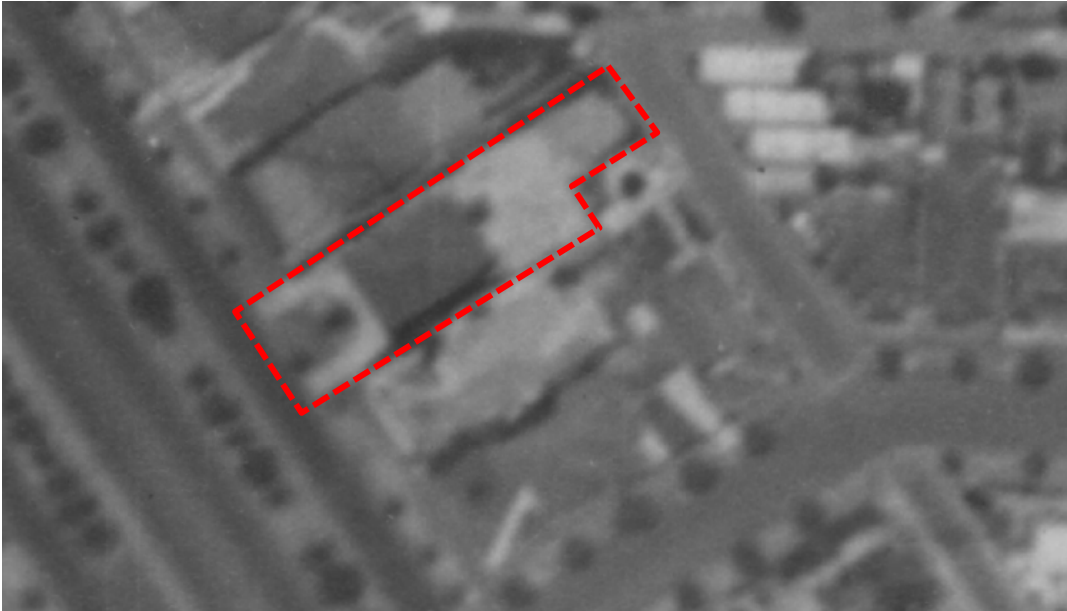


Figure 4 - Aerial photograph dated 1945, the subject flats indicated (red outline). Note the curved driveway in front. (Source: Landata, Proj. No. 5, Run 16, Frame 57846)

The Morrises' marriage however declined in 1939. Their divorce settlement called for Mr Morris to pay his ex-wife 5000 pounds. This may have been in the form of Maison Parisienne, as Ernest Morris transferred the subject property to his ex-wife in 1948. By that time, she was residing in the Streamlined Moderne 'Kia Ora' flats at 449-453 St Kilda Road, Melbourne, and is recorded as a manufacturer.

Elise Morris mortgaged the subject property four times between 1948 and 1957. She died on 1 August 1966, with the probate of her will granted to ex-husband Ernest Morris and Henry Noel Evans, an accountant. Ernest became the sole proprietor again in 1967 and died on 8 June 1986.

In 1983, timber fire escape stairs were installed to the rear of the flats (Figure 5) (BP no. 9675 issued 7 Mar 1983).

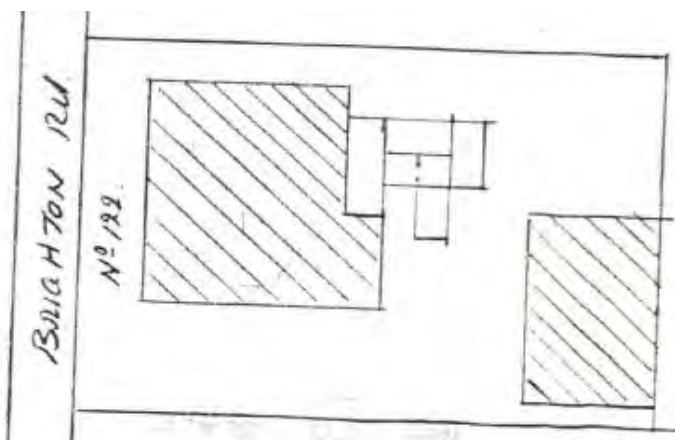


Figure 5 - Site plan of the subject property in 1983. The block of flats is to the left, with new escape stairs behind it. The garages are shown to the right. (Source: St Kilda Council Building Permit No. 9675, 7 Mar 1983)

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Raworth, Bryce (1993) 'A question of style: Inter-war domestic architecture in Victoria', Thesis (M.Arch) University of Melbourne

St Kilda Council building permits (BP)

Sands & McDougall's street directories (SM)

Sawyer, Terry, (1982) 'Residential flats in Melbourne: the development of a building type to 1950', Honours thesis, Faculty of Architecture, Building and Planning, The University of Melbourne

Wooding, Joe, (n.d.), 'Billson Family Breweries', Albury and District Historical Society website, Billson-Family-Breweries.pdf (alburyhistory.org.au)

Description

The Maison Parisienne flats stand on the east side of Brighton Road, just north of Hotham Grove. This part of the street is characterised by Interwar detached houses and flats, though there are also more recent blocks of flats. The flats have a medium-sized front setback that once held a curved driveway. While presumably it would have originally had a low masonry front fence, this has been replaced with a high, solid brick fence that is bagged and painted. The height of this fence, and the dense plantings behind it partly obscure views to the flats from the street.

The building is three-storeys tall and has a uniform rectangular plan beneath a tiled high hipped roof. There is one rendered chimney at the centre of the north side elevation (the cap is flat but the original plans show a dovecote top). Walls are finished in textured render, with smooth render dressings (including beltcourses, window surrounds, balcony detailing). Stylistically, it can be considered an example of the Mediterranean Revival style.

The front façade is asymmetrically arranged, though there is repetition of forms at each of the three levels. Each floor level has an arched opening to the southern bay (this is an entrance to the ground floor, and arched balconies to the upper levels). In the central bay, each level has a wide, semicircular arched opening with a bank of three windows set behind. The upper levels each have a curved balcony projecting below this arch, with an integral planter box along the top edge and chunky decorative corbels. The north bays all feature a Chicago-format window (picture window between double-hung sashes), with a decorative cast-cement hoods. The hoods are very stylised, with an arch between two flat sections, creating a faux Serlian window. The hoods rest on thin brackets at either end. Many upper sashes retain geometric leadlights of clear glass.

The south side elevation also has a tripartite division, with arched openings near the front, highlight windows at the centre, and pairs of double-hung sash windows in box frames toward the rear. There are

similar windows on the north side elevation. Recent aerial photography, and some limited visibility from Bell Street, suggest that the block of three original garages survives at the south-east corner of the site.

There are some differences between the building permit plans and the building as constructed, including the size and position of the arched windows to the south side, and a porte-cochere to this elevation shown on the plans but not apparent in the 1945 aerial photo.

The building is in good condition and has a relatively high degree of external intactness. There have been some minor, mostly reversible external alterations to Maison Parisienne. These are the glazed infilling of porches to the south side of the façade, and replacement of the front fence.

Comparative analysis

Maison Parisienne is a good and intact example of Mediterranean flats which illustrate the work of Interwar designer-builders. The Mediterranean style appeared in Australia in the late 1910s in response to the temperate climate and sunlight, which were conducive to 'an architecture of simple shapes, light and shade, bleached pastel colours and accents of classical detail', according to Leslie Wilkinson, who helped popularise the style in Australia after his arrival in 1918. Through his influence, and that of architect Hardy Wilson, the style gained popularity and was first applied to domestic architecture in upper and upper-middle class suburbs. In the 1920s, many saw Mediterranean-based design as a potential basis for a future national style.

While related to the Spanish Mission style, the Mediterranean usually has subtler features, in a simple yet elegant form. Details take on an austere classical or Renaissance mode, which subtly evokes a vaguely Mediterranean feel, in comparison to the more blatant and bold Iberian features of Spanish Mission architecture. In particular, Interwar Mediterranean domestic architecture often incorporates pergolas, balconies, arcaded loggia and a formal entrance, with sidelights and highlights, while Tuscan columns appear in verandahs and porches. The walls are lightly bagged or cement-rendered. The more restrained examples of the Mediterranean share much with the Georgian Revival buildings of the day, sometimes to the point that the two influences cannot be unravelled in a single building.

By the 1930s the style had been popularised and entered the vocabulary of designer-builders and suburban developments. It moved away from its pared back and elegant beginnings and was often seen combined with a larger amount of classically inspired ornament.

There are many examples of this eclectic Mediterranean approach seen amongst flats built in Port Phillip in the late 1920s and 1930s, including a number constructed by the same builder, E Jennings, who built Maison Parisienne. Other individually significant Interwar flats of this variety included in the HO in St Kilda and Elwood include:

- Colombo Court, 52A Acland Street, St Kilda, built 1927 (Citation 389, HO5 Precinct). Constructed by Jennings & Co. (probably same as E Jennings & Co.).
- Harley Court, 52 Acland Street, St Kilda, built 1927 (Citation 390, HO5 Precinct). Constructed by E Jennings & Son.
- Corinthian, 5 Robe Street, St Kilda, built 1933 (Citation 789, HO5 Precinct). Constructed by E Jennings & Son.
- Shelley Court, 59 Shelley Street, Elwood built 1933 (Citation 805, HO8 Precinct). Constructed by E Jennings & Son.
- Wyndham, 20 Princes Street, St Kilda, built 1927 (Citation 781, HO5 Precinct). Designed by W H Merritt.
- Mount Tabor, 23 Dickens Street, Elwood, built 1936 (Citation 2081, St Kilda Botanical Gardens & Environs Precinct). Designed by Archibald Ikin.

Amongst the comparative examples listed above, Mount Tabor is the most characteristic example of the Mediterranean, featuring arcading and bottle balusters to balconies. The most idiosyncratic example is Bayton, which combines the typical roughcast rendered walls and arcaded balcony with the more unusual faux machicolation and Cordova tiles to the front parapet, Baroque-inspired mouldings above ground-floor windows, and scalloped render aprons and corbels beneath the first-floor windows.

E Jennings & Son's early flats, Colombo Court and Harley Court both of 1927, share common features such as chunky corbels beneath the oriel windows, which are also seen at Maison Parisienne. With Maison Parisienne, they introduced a key decorative feature that would become a hallmark of their flats in the 1930s: the abstracted serlian window hood, also used at Corinthian, and Shelley Court.

Maison Parisienne is closely comparable in its composition to E Jennings' Corinthian flats, as both buildings are rendered, have three storeys and front facades delineated in three bays. Both buildings use the serlian window hood to the left-hand bay, and a projecting element (curved balconies and canted bay windows, respectively) in the centre. They differ in their right-hand bays (plain eight-over-one windows at the Corinthian, instead of arched openings), and the use of a corner parapet at the Corinthian which rises above the hipped roof.

E Jennings employed the same serlian window hood at Shelley Court, as well as an abstracted triangular pediment above the entrance. This block of flats is two storeys and quite wide, giving it a restful, horizontal emphasis. The use of Tuscan columns to the entrance arcade and the first-floor balcony, and quoins to the corner give it a more Georgian Revival feel.

A similar serlian window hood is also used at Wyndham, designed by architect W H Merritt. This is a large, U-shaped block of flats with a front courtyard. It has a more sophisticated quality of detailing, with mouldings to the window hood and incised patterns below it, and semi-circular porch and balconies supported by Ionic columns.

Assessment

This place has been assessed in accordance with the processes and guidelines outlined in the Australia ICOMOS *Charter for Places of Cultural Heritage Significance* (The Burra Charter) 2013, using the Hercon criteria.

Recommendations

Add to the Heritage Overlay as an individual place.

Apply the following controls in the Schedule to the Heritage Overlay:

- external paint controls (to ensure complementary colour schemes/finishes are employed)
- outbuilding controls for the garages (original garages)

Primary source

RBA Architects & Conservation Consultants, *H07 Elwood St Kilda Balaclava Ripponlea Precinct heritage review Stage 2*, 2021

Other studies

Andrew Ward & Associates, *Port Phillip Heritage Review*, 1998

Other images



Area to be included in HO



City of Port Phillip Heritage Review

Place name: Dalgety
Other names: -

Citation No:
2421



Address: 191 Inkerman Street, St Kilda

Heritage Precinct: Not applicable

Category: Residential: House

Heritage Overlay: HO547

Style: Early Interwar: Transitional Queen Anne/Bungalow

Graded as: Significant

Constructed: 1919

Designer: H R Stevens (builder)

Victorian Heritage Register: No

Amendment: C206port

Comment: New citation

Significance

What is significant?

Dalgety, constructed in 1919, at 191 Inkerman Street, St Kilda is significant. It was built for local dairyman, John S Holmes, and his family by builder H R Stevens.

Dalgety is a single-storey house with a wide, symmetrical front façade featuring two flying gables around a central porch. The roof is hipped, with two projecting front gables, and is clad in terracotta tiles. Walls are of red brick. The two front gables are clad in timber shingles, as are the tops of bow windows beneath them. The bow windows each contain five casement windows with Art Nouveau highlights. The front porch has a flat roof and a solid brick balustrade. It is supported by timber posts with arched fretwork. The front door is highwaisted and retains broad sidelights and highlights. The porch retains a red and cream tessellated tile floor. There is a highly detailed, low-height brick front fence incorporating special moulded bricks, with a decorative mild-steel and cyclone wire pedestrian gate, which leads to a curved concrete path.

Alterations and additions are not significant, including the c.1967 cream-brick flats to the rear.

How is it significant?

Dalgety at 191 Inkerman Street, St Kilda is of local historical and aesthetic significance to the City of Port Phillip.

Why is it significant?

Dalgety is of historical significance as a house constructed during the early Interwar period, a time when intensive development occurred in this part of St Kilda/St Kilda East in the context of local population expansion through consolidation and infill on vacant land within established residential areas. Prior to construction of the house the site had been vacant but may have been used in association with the dairy run by John S Holmes on an adjacent site from at least 1902. (Criterion A)

Dalgety is of aesthetic significance as an excellent and intact example of the transition from the Federation Queen Anne style to the Interwar bungalow idiom. The projecting gabled bays, curvilinear timber fretwork, casement windows and Art Nouveau leadlights are characteristic of the Queen Anne style, while the symmetrical and largely horizontal massing, the simple timber shingles in the gable ends, and the small front porch with its solid brick balustrade are indicative of the bungalow influence prevalent in the late 1910s. The designer of the house has combined the two styles in a confident manner, melding them into a cohesive design. The brick front fence features a high level of detail, seen in the brick 'specials' including bullnose bricks and those with an impressed bull's eye motif, and also in the fine craftsmanship of the corbeled openings suggesting balusters and the pier caps with capping of doubled bullnose bricks. The fence is enhanced by the retention of its original pedestrian gate. (Criterion E)

Thematic context

Victoria's framework of historical themes

6. Building towns, cities and the garden state: 6.3 Shaping the suburbs, 6.7 Making homes for Victorians

Port Phillip thematic environmental history

5. Buildings and cultural landscapes: 5.2 Shaping the suburbs (5.2.2 Private development), 5.3 Diverse Housing (5.3.3 Suburban bungalows)

History

Contextual history

The development of St Kilda began following the first land sales in 1842 and by 1854 there were over two hundred houses. The plans compiled in 1855 by James Kearney shows that most of these were situated to the west of Brighton Road (later High Street and now St Kilda Road). The St Kilda East area, by comparison, was largely undeveloped and most buildings were located within the block bounded by Brighton Road, Wellington Street, Chapel Street, and Alma Road. Improvements to public transport including the opening of the railway station at Carlisle Street, and the establishment in the late 1880s of cable tram routes along High Street (St Kilda Road) and Chapel Street encouraged development during the land boom, however, this remained sporadic and ground to halt during the economic depression of the 1890s.

There was almost no increase in St Kilda's population in the decade from 1891 to 1901. However, as development recovered in the early twentieth century the number of residents in St Kilda almost doubled between 1901 and 1921 rising from 20,500 to 38,500 as land was highly sought-after by a new generation of homebuilders seeking smaller detached dwellings, duplexes or flats. Whole new streets of neat brick cottages and villas appeared, however, in St Kilda East this largely remained a period of consolidation and infill on vacant land within the established residential areas, rather than expansion into the still largely undeveloped areas east of Hotham Street, although development did begin to creep along the length of Dandenong Road, following the route of the new electric tram introduced in 1911.

House (Dalgety), 191 Inkerman Street

The subject site formed part of Crown portion 71D, parish of Prahran at St Kilda. N Guthridge purchased the almost eight-acre allotment in the 1850s (pre-1857). It covered a roughly square block of land at the south-west corner of Inkerman and Chapel streets, stretching halfway to St Kilda Road to the west and halfway to Carlisle Street to the south. The 1855 Kearney plan (Figure 1) shows that by this time there were two small buildings constructed close to the Inkerman Street frontage, to either side of the subject site. There was a third building fronting onto Chapel Street, just south of Pakington Street, which cut through Crown portion 71D.

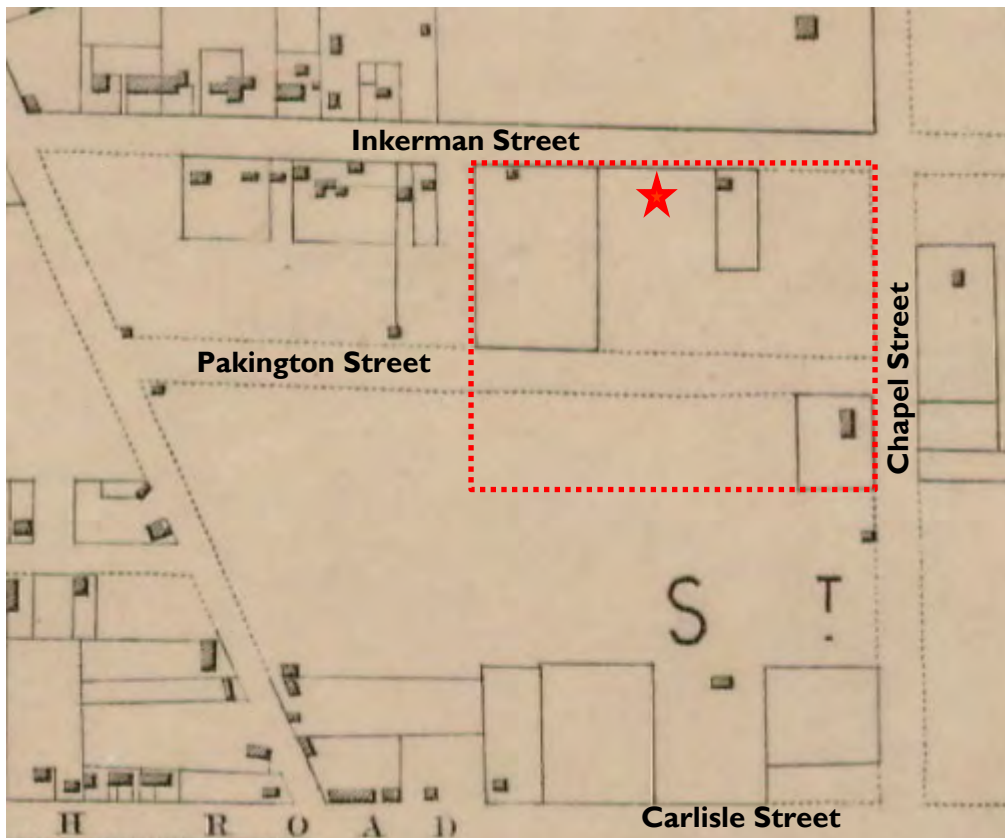


Figure 1 - Plan 'Melbourne and its suburbs' dated 1855 (compiled by James Kearney). Indicated is the original extent of the nearly 8-acre Crown portion 71D (dotted outline), the location of the subject site (star). (Source: State Library of Victoria)

The Vardy Plan shows further development by 1873 on Crown portion 71D, particularly along Pakington Street. The subject site was still undeveloped. An S Watson was listed on the plan as the owner of blocks 2-7 on this plan, including No. 3 which corresponds to the subject site.

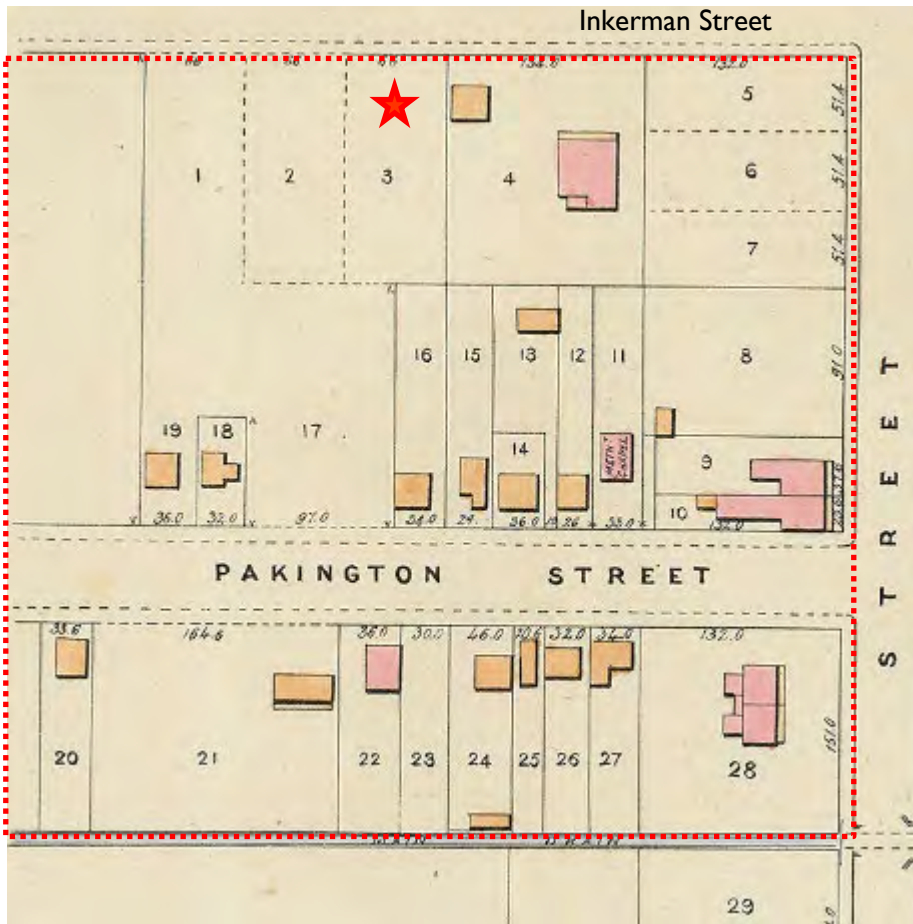


Figure 2 - Plan of the Borough of St Kilda, No. 2 south-west (J.E.S. Vardy, 1873). Showing the boundary of Crown portion 71D (outlined), and the location of the subject site (star). (Source: St Kilda Historical Society)

From 1892, four members of the Thomas family, including John Morris Thomas, owned a large block of land, comprising today’s 185, 189 and 191 Inkerman Street. This corresponded to allotments 2 and 3, as shown on the 1873 Vardy Plan (Figure 2).

The Thomases subdivided their block into three, and first sold the land that comprises 185 Inkerman Street to a John Davis in 1894. The MMBW Detail Plan No. 1371 of 1897 (Figure 3) shows increased development of detached, double-fronted houses along this part of Inkerman Street, and single-fronted dwellings to the east on Chapel Street. There was a double-fronted house on John Davis’ land (at that time, No. 201). The block which now comprises 189 and 191 Inkerman Street was still empty.

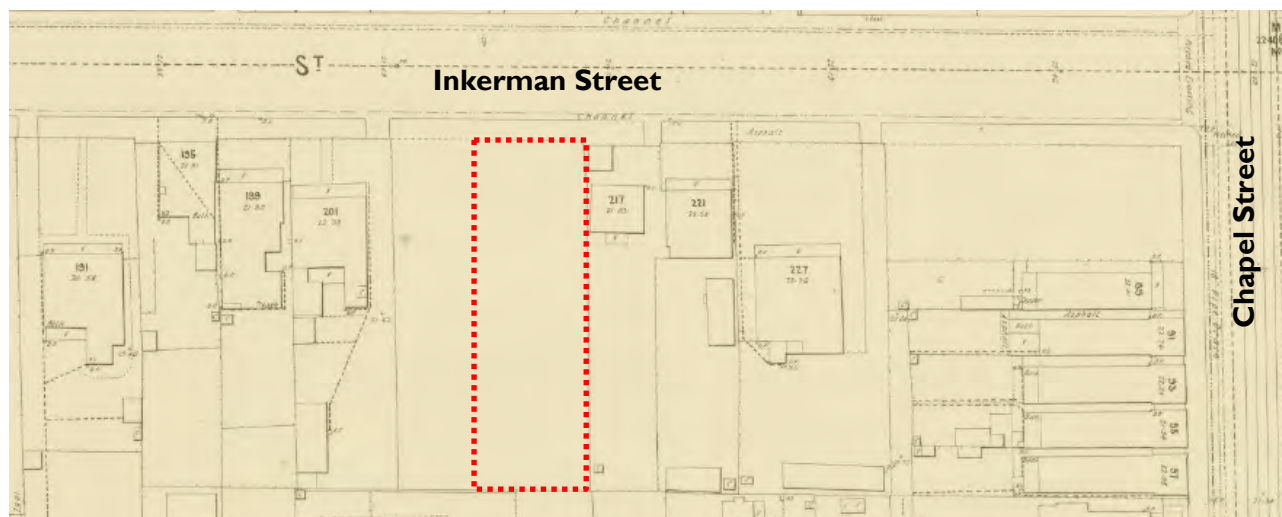


Figure 3 - Extract from MMBW Detail Plan no. 1371 (1897) showing approximate boundaries of the subject site (dotted outline). At this time, the Thomas family also owned the empty land just to the west (left). (Source: State Library of Victoria)

The Thomases sold the narrow block that now comprises 189 Inkerman Street to a William Sawyers in 1900. In February 1905, the entire subject site was vested in one of the Thomases: John Morris Thomas, a retired civil servant, residing on Union Road, Surrey Hills. Three years later, on 31 March 1908, the property transferred to John Sylvester Holmes, who purchased it with a mortgage loan (CT).

At that time, Holmes was already resident on Inkerman Street, and had been running a dairy to the rear on Pakington Street from at least 1902. His dairy was advertised near the subject site between 1907 and 1916, with deliveries of 'pure and well cooled' milk made to Toorak and Hawksburn railway stations. Judging from the street directories, the dairy was at today's 193 Inkerman Street.

John Holmes had engaged builder H R Stevens to construct a 'weatherboard villa' on Inkerman Street. The building permit is undated, but the permit number (no. 133) suggests that it was granted sometime in 1902. The precise location of this timber house has not been determined, but it may have been at 193 Inkerman Street, on the same site as his dairy, particular as he did not have another residence listed in the street directories.

In late 1916, J S Holmes commissioned builder G H Bartlett to construct a 'brick shed' at the subject site (then 217 Inkerman Street,). This shed was probably for his dairy, which was still in operation.

Three years later, J Holmes commissioned builder H Stevens to construct a 'first rate' brick villa on Inkerman Street measuring 24 squares (223 sq m) in floor area. The building permit was granted on 3 June 1919. A 'House being built' was recorded in the 1920 Sands & McDougall's street directory, just west of J S Holmes's dairy (and home). John Holmes and his family occupied the new brick villa, with his wife, three daughters and four sons.

H R Stevens, who constructed the two houses for J S Holmes, is also listed as the builder for four other projects in the City of St Kilda between 1912 and 1921, including houses, shops and a factory, with one building permit recording his address as 1 Mont Albert Road, Canterbury.



Figure 4 - Aerial photograph dated 1945, subject site indicated (red outline). Note outbuildings behind the house, and the single-fronted timber house (no. 189) to its left. (Source: Landata, Proj. No 5, Run 17E, Frame 58012)

Holmes remained the owner of the subject property until his death in 1960, at which time he was recorded as a retired dairyman. It was inherited by his eldest daughter and son: schoolteacher Eva Hilda Holmes, who still resided at the subject property, and Clive Sylvester Holmes, a civil servant who resided in East Brighton (CT).

The heirs sold the property to Jankiel and Szeina Pincus, a furrier and his wife of Caulfield (CT). Mrs Pincus retained the property until 1981, after Jankiel's death in 1976. Under the Pincuses' ownership, a two-storey cream brick block of flats was constructed in the rear yard of the subject property. It first appeared in the street directories between 1965 and 1970 (SM), which corresponds to a mortgage they took out in 1967.

References

Apperly, R, R Irving & P Reynolds, *A Pictorial Guide to Identifying Australian Architecture*, 1989

Certificates of Title (CT): Vol. 2448 Fol. 549; & Vol. 3036 Fol. 174

Newspapers: *The Age*, 8 Feb. 1902, p.7; 29 Jan. 1907, p.2; 6 Mar. 1912, p. 4; 28 Jan. 1915, p. 2; & 28 Mar. 1916, p. 3; *The Argus*, 13 Mar 1939, p.8

Parish Plan - at Elwood, Parish of Prahran, P81-13 (PP)

Port Phillip Thematic Environmental History (TEH), February 2021

St Kilda Council Building Permits (BP) No. 133, undated; No. 3100, dated 17 Nov. 1916; & No. 3897, dated 3 June 1919.

Sands & McDougall's street directories (SM)

Description

Dalgety is located on the south side of Inkerman Street, with detached housing to the west, and flats development to the east and along the north side of the street. The house sits on a wide block with a side driveway along the east side. There is a highly detailed, low-height brick fence along the front boundary, with a decorative mild-steel and fine-gauge cyclone wire pedestrian gate, offset from the front entrance to allow for a gently curving concrete front path. The fence incorporates a range of special moulded bricks, used for pier and balustrade cappings, as well as gaps with corbelled tops and bottoms to suggest balusters.

It is a face brick house with a wide, symmetrical front façade in a late iteration of the Queen Anne style as it transitioned to the Interwar bungalow idiom. The tiled roof is principally a high hip, with two projecting gables to the front façade. Rafter tails are exposed, and there are decorative triangular brackets to the front gable eaves. Its three chimneys are of red brick with simple, two-course corbelling. The walls are of the same pressed red face brick with light grey jointing mortar.

The two front gabled bays are treated identically, with timber shingles in a flying gable, above a deep bow window, also with timber shingles at its top. Each bow window has five facets, each with a casement incorporating six tiny panes at the top, and small highlight windows featuring Art Nouveau floral leadlights.

The front porch is arranged at the centre of the façade, between the two gables. It has a low, nearly flat roof with exposed rafter tails. The superstructure rests on six square posts that in turn sit on a solid red brick balustrade. Decorative timber fretwork between the posts forms five dentilated arches (three to the front) with a wavy ladder frieze above them. The house's nameplate sits above the central arch.

The front door is further recessed behind the porch. As was typical in the late 1910s, it is a high-waisted door, with ledging to the bottom two-thirds and segmentally arched glazing at the top. It is surrounded by two broad sidelights and three highlights. The porch retains original red and cream tessellated tiles to the floor, and dwarf walls with bullnose brick coping leading to the entrance.

Windows to the side elevations are double-hung timber sashes.

There are no visible external alterations to the house itself, but there are some subtle changes to its setting linked to the block of flats at the rear. There are no vehicular gates (which may have matched the pedestrian gate). There is a brick block of mailboxes facing the west side of the driveway, and a very low brick wall separating the front garden from the shared driveway. The driveway paving stretches from the house to the boundary, where originally there would have been landscaping strips. While the house has lost a functional back yard, the two-storey flats have been developed in a reasonably sensitive way, with the flats directly behind the house, so they are only glimpsed down the driveway but do not impair appreciation of Dalgety from the street.

Comparative analysis

Dalgety illustrates the transition from the Federation Queen Anne style, which characterised the turn of the century and Federation periods, and the bungalow idioms that characterised the Interwar period. Early Queen Anne houses were characterised by asymmetry, the use of diagonal axes, and high hipped roofs with picturesque silhouettes created by elements such as subsidiary gables, tall chimneys and towers. Roofs were often clad in terracotta tiles, complementing the red face brick of the walls. This preference for 'natural' cladding materials was carried to verandah details, which were of timber instead of the cast-iron that dominated the 19th century. The roof was a strong, sheltering element, that often continued unbroken over broad verandahs. Details of Queen Anne houses exhibited a mix of historical influences, including casement windows and half-timbering. This was often mixed with contemporary styles, such as Art Nouveau, seen in floral patterned leadlight windows and curvilinear verandah fretwork.

In contrast, the bungalow tradition, which appeared in the 1910s, was strongly influenced by the horizontality, simplicity and expressed structural joinery of Japanese architecture. Symmetry was often used to create a restful composition. Decorative detailing was far less common than with the Queen Anne, often

limited to cladding materials and timber detailing that was putatively structural (such as exposed rafter tails and purlins). The verandah often shrunk to a front porch. While some builder-designed bungalows retain simplified half-timbering in gables, examples that are truer to the style tend to employ simpler treatments such as timber or mathoid shingles and roughcast render.

The transition between these two styles can be called the 'Federation Bungalow' style. As noted by Apperly et al (1989, p. 144), houses of this type 'cast off the picturesque complexities' of the Federation Queen Anne, but 'did not display the structural carpentry' of the California Bungalow. While they first appeared in the late Federation period, examples of this type continued to be built in the early Interwar period (like Dalgety).

Dalgety is a good example of this transitional style. It retains the projecting gabled bay that so characterised Queen Anne houses, casement windows and Art Nouveau leadlights. The timber fretwork of the front porch, with its arches and curvilinear fretwork, is also typical of the style. The symmetry of the front façade and its overall horizontality, the diminution of the verandah to a front porch, the solid brick balustrade, and the use of timber shingles to the front gables are all characteristic of the bungalow idiom. The integration of these two approaches has been carried out successfully, resulting in a cohesive composition.

Other individually significant Federation and early Interwar-era houses included in the HO in St Kilda, St Kilda East and Elwood include:

- 269 Barkly Street, St Kilda, built 1908, (Citation 23, HO34). Symmetrical weatherboard house.
- Eumana, 76 Blessington Street, St Kilda, built 1914, (Citation 297, St Kilda Botanical Gardens & Environs precinct). Symmetrical attic gable fronted.
- 39 Dalgety Street, St Kilda, built c.1914, (Citation 884, HO5 precinct). Late Federation villa in the Arts and Crafts style.
- 344 Dandenong Road, St Kilda East, built 1919, (Citation 322, HO6 precinct). Substantial and unusual attic-storey house with strongly expressed roof form and fine pictorial leadlights.
- 18 Gurner Street, St Kilda, built c.1915, (Citation 2004, HO5 precinct). Late Federation villa in the Arts and Crafts style.
- 17-19 Havelock Street, St Kilda, built 1920s, (Citation 2009, HO5 precinct). Duplex with tall gabled front and bow windows.
- 45-47 Hotham Street, St Kilda East, built c.1920, (Citation 2016, HO292). Duplex massed like a single, symmetrical house with rendered walls and central porch, elaborate brick front fence.
- 96 Mitford Street, St Kilda, built 1917, (Citation 42, HO195). Substantial brick Federation villa with gables to both streetfronts and central attic dormer.
- 2A Spray Street, Elwood, built 1920-21, (Citation 2270, HO352). Attic-storey Federation Bungalow with leadlight bay window.

In contrast to the typical asymmetrical and picturesque massing of early Federation Queen Anne villas, 269 Barkly Street of 1908 illustrates that start of the transition to more sober Late Federation massing. The central pyramidal roof is framed by two half-timbered gabled bays with leadlight bay windows. Between them is a small porch with a pitched roof and arched timber fretwork. In its composition, it is very similar to Dalgety. Dalgety's later built date is apparent in the greater horizontality to its massing, and the simpler gable and window details.

In the period 1915 to 1920 there were many styles overlapping. While early California Bungalows were appearing, there were still many Federation villas built as well. In some cases, these houses retained the steep and dominant roof form and asymmetric massing, while the passage of time was apparent in simpler detailing in keeping with an Arts & Crafts influence. Examples of this type are seen at 39 Dalgety Street of c.1914, 18 Gurner Street of c.1915, and 96 Mitford Street of 1917.

Another approach seen at this time was the continued use of some Queen Anne details on houses with quite different massing. The architect-designed house at 344 Dandenong Road of 1919 is a prime example of this, incorporating a half-timbered gable and arched entry with lush leadlights, with horizontal bands of small windows and flared eaves. Another example is a duplex pair at 17-19 Havelock Street of the early 1920s, which retains Queen Anne bow windows in a striking gable-fronted composition anticipating California Bungalows of the mid-1920s. In other cases, the attic-storey bungalow form was used with Queen Anne details, like 2A Spray Street of 1920-21, with half timbering, a leadlight bay window, and arched porch fretwork.

The duplex pair at 45-47 Hotham Street of c1920 is very similar in massing to Dalgety, but without the Federation-era details. Designed to look like a single large house, the duplex has a high hipped roof with projecting gables to each side and a porch set between them. Smooth rendered walls and hung tiles in the gable ends and the lack of applied ornament create a clean feel to the composition. The front porch is very bungalowoid in type, with a solid balustrade and tapered posts. Casement windows with highlights are the only clear link with the Queen Anne style.

In comparison with these other examples of transitional houses, Dalgety sits on the more conservative side, first reading as a Queen Anne villa, before the more restrained ornament and symmetrical massing are noted. It is a good illustration of one of the many ways in which domestic architecture transitioned between the Federation and Interwar periods.

Assessment

This place has been assessed in accordance with the processes and guidelines outlined in the Australia ICOMOS *Charter for Places of Cultural Heritage Significance* (The Burra Charter) 2013, using the Hercon criteria.

Recommendations

Add to the Heritage Overlay as an individual place.

Apply fence controls in the Schedule to the Heritage Overlay (original front fence).

Primary source

RBA Architects & Conservation Consultants, *H07 Elwood St Kilda Balaclava Ripponlea Precinct heritage review Stage 2*, 2021

Other studies

Andrew Ward & Associates, *Port Phillip Heritage Review*, 1998

Other images



Area to be included in HO



City of Port Phillip Heritage Review

Place name: Bellevue Lodge
Other names: Flats

Citation No:
2443



Address: 340-342 Carlisle Street,
Balaclava

Heritage Precinct: Not applicable

Category: Residential: Flats

Heritage Overlay: HO552

Style: Postwar: Modernist

Graded as: Significant

Constructed: 1958-1959

Victorian Heritage Register: No

Designer: Frederick Gardiner

Amendment: C206port

Comment: New citation

Significance

What is significant?

Bellevue Lodge at 340-342 Carlisle Street, Balaclava, designed by Frederick Gardiner and built 1958-59 for Samuel Alexander W Congdon, is significant.

The three-storey cream brick building is comprised of 12 flats. At the front is a prominent circulation unit with a flat roof which features the name Bellevue Lodge in raised metal lettering in a cursive script. The main block, which is parapeted at the front, consists of three stepped units with separate skillion roofs clad in corrugated sheet metal. The three bays are angled slightly north-westwards, that is towards the sun, and a series of triangular spaces are created under the long gallery/verandahs which have steel-balustrading and poles and timber-screening (brise-soleil) attached at the upper part. The windows are steel-framed fixed panes and casements. The façade is distinguished by an oriel bay to the third level, a window type which is also employed across that level on the west and north elevations. The dark brown colour scheme to the metal and timber elements (windows, doors and fences) may be original. There is also a small laundry block at the north-east corner attached at the north-east corner of the building.

Alterations and additions are not significant.

How is it significant?

Bellevue Lodge at 340-342 Carlisle Street, Balaclava, is of local historical and aesthetic significance to the City of Port Phillip.

Why is it significant?

Bellevue Lodge is historically significant as being demonstrative of the extensive flat building that has characterised much of the 20th century history of the municipality but especially the southern parts and which gained pace after World War II when the demand for flat development in the area, recognised as Melbourne's flat epicentre, was especially great. The flat typology, commonly architect-designed, imbued the area with a progressive character. The site is also significant in that it reflects a common land development circumstance in this part of the municipality whereby a substantial Victorian period villa, formerly on a larger allotment, was replaced with a block of flats. (Criterion A)

Bellevue Lodge is of aesthetic significance as an intact and distinctive block of cream brick flats from the latter part of the post-World War II period. It is indicative of the approach to Modernism that evolved circa mid to late 1950s/early 1960s in which roofs were typically flat, though a few were skillion, and splayed or triangular forms were often employed by the most progressive architects, upsetting the orthodoxy of the strict rectangular geometry that had previously prevailed. The geometry of the building is comprised of a complex interplay of staggered and angled units which are oriented to take best advantage of the sun. (Criterion E)

Thematic context

Victoria's framework of historical themes

6. Building towns, cities and the garden state: 6.3 Shaping the suburbs, 6.7 Making homes for Victorians

Port Phillip thematic environmental history

5. Buildings and cultural landscapes: 5.2 Shaping the suburbs (5.2.2 Private development), 5.3 Diverse Housing (5.3.5 Higher-density housing)

History

Contextual history

The early twentieth century saw a marked decline in the viability of large mansions across Melbourne's suburbs in general, but it was particularly felt in the more affluent inner southern suburbs such as St Kilda and Brighton, where land was highly sought-after by a new generation of homebuilders seeking smaller detached dwellings, duplexes or flats. The trend toward higher-density living in St Kilda began with the conversion of mansions and terrace houses into boarding houses in the early 1900s and continued with the first purpose-built flats that appeared at the beginning of World War I. A 1919 newspaper article noted:

It was held to be no longer necessary to labour with a house and all the domestic drudgery that entailed when by borrowing Continental ideas, people who could afford it could live in flats... Land has become so valuable the villa of the Victorian days, in a crowded thoroughfare, no longer shows anything like an adequate return of interest on the land's present capital value. It is more profitable to pull the house erected thereon down, and to erect flats. When the flat became popular in England the experiment was made in St Kilda, and it did not take long to discover there was a genuine demand for flats (Prahran Telegraph, 18 October 1919, p.4)

Higher-density housing in the form of boarding houses paved the way to flat development. Flats first appeared in Melbourne around 1906 and slowly spread to the suburbs. They followed a strong pattern of development, appearing close to transport routes, particularly along or within walking distance of tram routes, to allow easy travel to the city. With their proximity to the beach and parklands, good public transport networks and seaside character, the suburbs of St Kilda and Elwood were especially popular locations for flats. Flats became a dominant characteristic of St Kilda and Elwood, and still make up a high percentage of dwellings in those areas. They include some of the earliest surviving flats in Melbourne, some

of the best examples of architectural styles and types of flats, and as a group demonstrate the increasing popularity of the lifestyle of flat living from the early twentieth century (TEH).

There was huge growth in flat development in St Kilda and Elwood in the 1920 and 1930s, attracting migrants, single people, and people of diverse sexuality. In 1920 there were 527 purpose-built flats in 92 blocks in St Kilda municipality. By 1925 this had increased to 884 flats in 164 blocks, including large complexes such as the Ardoch flats in Dandenong Road. By 1935, despite a slowing of development due to the Great Depression, there were more than 2,800 flats in over 500 blocks. A further 2,000 flats were added by 1940; however, the onset of World War II slowed development. Nonetheless, by 1947 St Kilda contained 5,500 purpose-built flats, a quarter of all flats in Melbourne (TEH).

Another boom in flat-building began in the mid-1950s. This was fuelled by population growth and a housing shortage after World War II, changes to building codes and the introduction of company title (and later stratum and strata-title) that enabled flats to be sold individually as 'own your own' units (TEH).

During the early 1950s, a crisis was developing as the number of permits being issued was woefully inadequate however – in 1952, the St Kilda municipality issued 6 permits (of 42 across the city) for 49 units and (Argus, 1 March 1954, p10)

The erection of more blocks of flats is one of the most urgent housing needs of Melbourne.

Agents find it impossible to meet the big inquiry for this type of home.

In an article entitled, 'St Kilda Grows as Flat Centre' the zeitgeist was captured (Argus, 27 April 1956, p17)

In recent years the major portion of new building work in St. Kilda has been in flats, and this will continue.

The district can still do with many more flats to meet the demand of the big floating population associated with a quickly growing city like Melbourne.

St. Kilda has all the advantages for flat life of a big city. It is well-served by transport from and to the city – less than four miles distant.

Shops have developed to meet the needs of "flatites;" and there are now numerous cafes serving meals at all hours.

Real estate agents have- waiting lists of tenants for flats and apartments of all kinds.

... A feature of real estate activity in St. Kilda at present is the sale, of "own-your-own" flats. Since it has become possible for each flat owner to have a certificate of title, sales have been made more freely.

The buildings which are being subdivided in this manner must be of modern construction with concrete floors, and comply with certain regulations.

... New Australians are reported to be showing, interest in this form of home ownership.

... Investors are showing a renewed interest in blocks of flats, and are reported to be buying where the net return is below bank interest rate. They regard the present return as a minimum.

Between 1961 and 1971, flats increased from 38% to 62% of all dwellings in St Kilda. The boom in flat building saw St Kilda's population increased by 10,000 people at a time when the populations of other inner-city suburbs were declining (TEH).

340-342 Carlisle Street

The subject site formed part of Crown portion 153B, Parish of Prahran, County of Bourke. The four-acre allotment was purchased post June 1857 by W Kesterson (PP).

The MMBW plan dated 1898 shows that the corner of Carlisle Street and Orange Grove was occupied by a large block (which extended about half the length of Orange Grove) containing a two-storey brick residence, named *The Grove*, which was the home of estate agent Hugh Peck. At the rear there was an orchard and fowl yards.

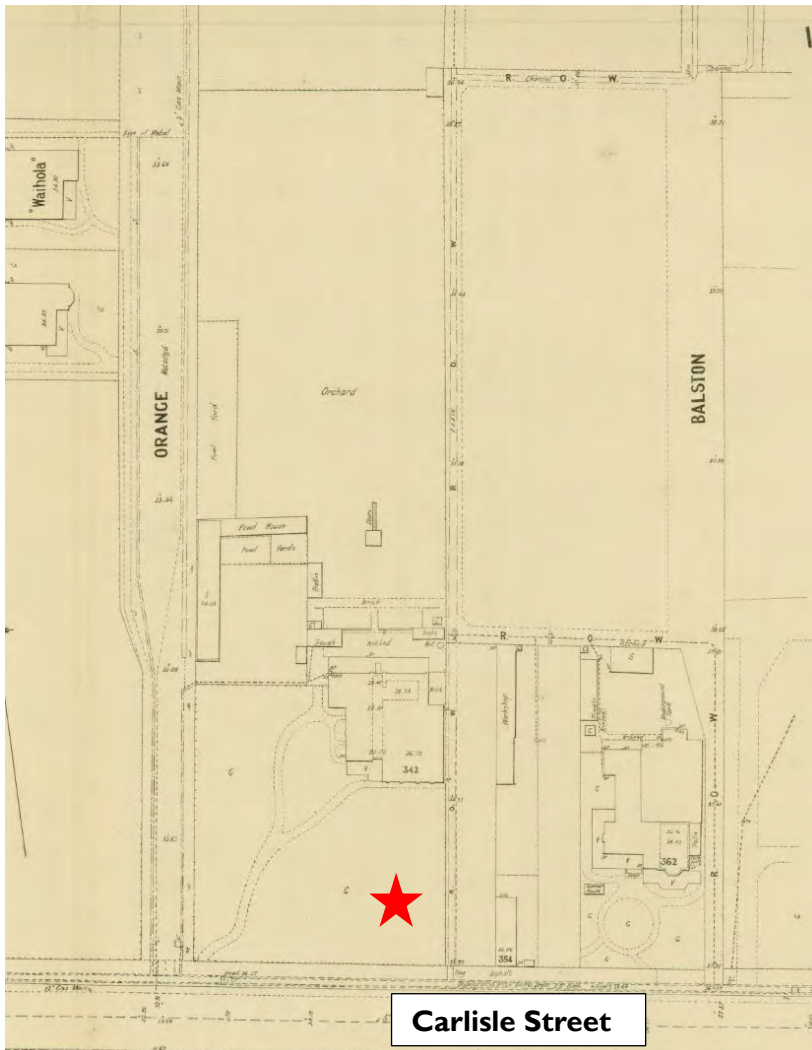


Figure 1 - MMBW detail plan no. 1426, dated 1898. The approximate location of the subject site is indicated by a red star. (Source: SLV)

In the 1920s the orchard area was subdivided and developed with houses fronting Orange Grove, while the 19th century residence, renamed *Sidcote*, was divided into six residential flats (Argus 30 Nov 1921 p2).

In the late 1930s or early 1940s the 19th century residence was demolished, and further subdivision and development occurred. Blocks of flats were built at 31 and 33 Orange Grove in 1940-41 (BP 10566 and 10858) and a combined residence and doctor's surgery was built at 338 Carlisle Street in 1941 (BP 10892).

In 1945 the subject site was acquired by the Roman Catholic Trusts Corporation for the Diocese of Melbourne (CT v.6547 f.202). At this time, as shown in the 1945 aerial photograph (Figure 2), the site was vacant.



Figure 2 - Aerial photograph dated 1945 (Source: Landata, Proj No 5, Run 17E, Frame 58014)

In 1958, ownership of the subject site was transferred to Samuel Alexander W Congdon, of 12 Bellevue Terrace Pascoe Vale, who was an engineer (ER). (It seems likely that Congdon's Bellevue Terrace address was the probable inspiration behind the name Bellevue Lodge.) The same year, plans were prepared for a three-storey flat building (containing 12 flats) and six carports by architect Frederick Gardiner, of 902 Malvern Road Armadale (Figure 4). Council issued a permit on 2 October 1958 (BP 57/442) and the estimated cost was £28,000. The builder was to 'be advised' on the permit application. According to the notes and computations by the surveyor, the site was located in Council brick area B where there was no storey limit (Council By-law 135).

The building had been completed by September 1959 when an advertisement was placed in the Age for 'Bellvue Lodge, 12 Modern Flats' for lease (Figure 3). The advertisement mentions carports, suggesting that these were built as proposed, however a 1986 aerial photograph shows that they had already been removed by this time.



Figure 3 - Age, 19 September 1959, p48

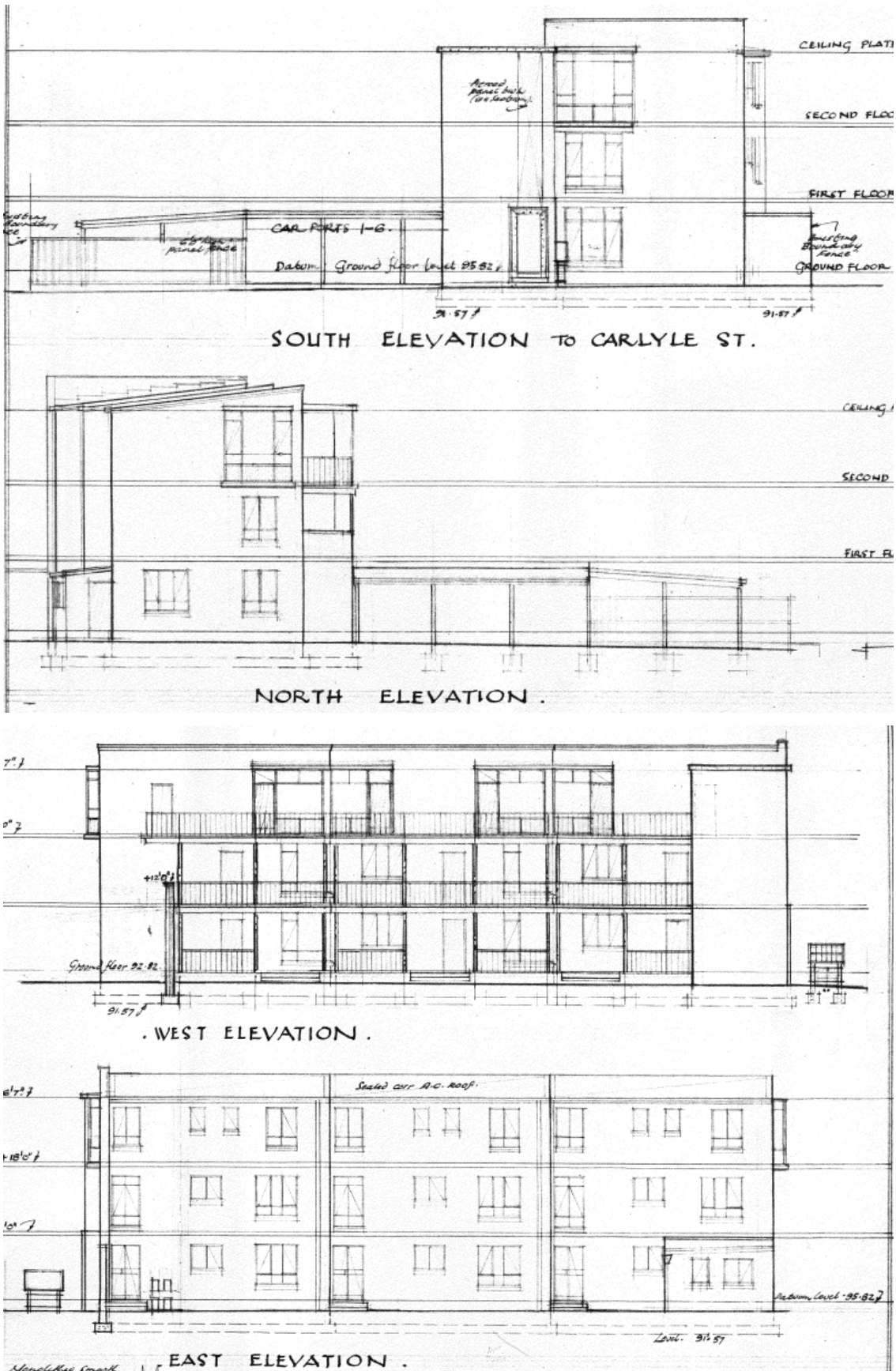


Figure 4 - Elevations for Bellevue Lodge (Frederick Gardiner, dated August 1958). (Source: Council Building File)

References

Certificates of Title (CT)

Council Building File

Electoral Rolls (ER)

Newspapers, various

Parish Plan - at Elwood, Parish of Prahran, P81-13 (PP)

Port Phillip Thematic Environmental History (TEH), February 2021

St Kilda Council Building Permits (BP)

Description

Bellevue Lodge is located to the east end of the large, flat site of about 1000m². Small garden areas are provided in the south-west corner, including an established deciduous tree, and the north-east corner. There is an area of original concrete paving to the front near the entrance and crossover and an asphalted area for car parking (identified as compacted gravel on the drawings). A slatted timber fence extends along most of the front perimeter and the letter box unit near the entrance is similarly timber-framed.

The walls of the three-storey building are cream brick laid in stretcher bond though surmounted by a rowlock course, projecting to the front parapet and flush to the garden wall. A breeze-block screen or the like was proposed above the doorway of the front of the circulation block but not included.

The block contains twelve flats with the lower two levels each accommodating three, two-bedroom flats (six in total) and the third level with six, one-bedroom flats. There is also small laundry block at the north-east corner attached at the north-east corner of the building and the screen wall extends from the façade to the east boundary providing privacy for the courtyards on that side.

The building appears to have a prismatic form however its geometry is comprised of a complex interplay of staggered and angled units, creating triangular spaces where it is offset from orthogonal alignments. These configurations are partly concealed by the plane/parapet of the façade wall, which does not align with the front boundary.

To the front south-west corner is a circulation unit which has a square footprint and a flat roof with a narrow soffit lined in sheeting, narrow fascia and eaves gutter. Its roof sits below the top of the adjacent parapet of the main block. The name of the building – Bellevue Lodge – is identified in raised metal lettering in a cursive script to its front wall. The stepped entrance unit sits slightly forward with a timber architrave and a small garden bed with a concrete kerb defines the front corner.

The main block consists of three units, which step down the site towards the rear, with separate skillion roofs clad in corrugated sheet metal. The three bays are angled slightly north-westwards, that is towards the sun, and a series of triangular spaces are created under the long gallery/verandahs whose western edge is aligned with the property boundary on that side. The galleries have steel-balustrading and poles, breaking at the ground level in front of entrances to the flats, and timber-screening (brise-soleil) attached at the upper part (similar to the boards employed to the front fence). At the north end, there is a cream brick screen wall to the ground level continued upwards to become the balustrade at the middle level.

The windows are steel-framed, with fixed panes and casement, in larger units to south and west elevations than to the east elevation. The façade is distinguished by an oriel bay to the third level, a window type which is also employed across that level on the west and north elevations.

The dark brown colour scheme to the metal and timber elements (windows, doors and fences) may be original.

Comparative analysis

The southern parts of the municipality – St Kilda East, St Kilda, Balaclava and Elwood - have manifold Post-war flats. Whilst many are generic, there is a relatively high concentration of distinctive examples. Many of the latter are architect-designed examples, although builders/developers with draughting services were responsible for some. Among the architects, several Australian-born architects were responsible for flats but rarely multiple examples. This circumstance contrasts with a group of émigrés who were active in the area and at the forefront of the evolution of this building type, often working for Jewish clients and accommodating the influx of Central and Eastern European Jewish refugees who were accustomed to apartment living, and included Mordecai Benshemesh, Michael R E Feldhagen, Dr Ernest Fooks and Kurt Popper.

The subject building is representative of the approach to Modernism that evolved during the end of the Postwar period – circa mid to late 1950s/early 1960s. Moving further into the 1960s, there was a shift to what is often defined as the late 20th century period, when the influence of Brutalism becomes apparent in the bolder forms and use of brown brick. Although cream brick was also common during the earlier phase of the Postwar period, during the late 1940s and early 1950s, a Functionalist mode held sway at that time with parapets and steel-framed windows. From about the mid-1950s, whilst roofs were typically flat, they were usually expressed with soffits, often deep, and openings were typically timber-framed. At this time, splayed or triangular forms were often employed by the most progressive architects, upsetting the orthodoxy of the strict rectangular geometry that had previously prevailed.

Among the contemporary work of the Australian-born architects and designers, there is some comparison with the first three blocks as some triangular or splayed geometry has been incorporated.

- *Chudleigh Court*, 9 Dickens Street, Elwood, 1958, Bailey and Tilley Home Plan Service (Citation 2426, recommended HO). The three-storey, cream brick block has a skillion roof form with triangular projections and balconies on the east (garden) elevation. The garden side openings are timber-framed, whereas steel-framed windows are employed to the gallery side. The metal balustrading features a triangular pattern.
- Flats, 33 Pine Avenue, Elwood, 1959, Leslie J W Reed (Citation 2339, HO429). Cream brick, tile-clad hipped roof, with a flat roof, stairwell block to the front, like that of Bellevue Lodge. Other similarities are the balustrading, the use of screen walls, and a splayed profile to the upper-level balconies. The windows are however timber-framed, including spandrels to the facade.
- Townhouses, 21 Redan Street, St Kilda, 1958, John & Phyllis Murphy (Citation 785, HO503). An unusual two-storey red brick building, consisting of two-level flats with separate entries, with a prow-like form and wide gable roof, clad in sheet metal. Triangular forms are employed under the encompassing roof to provide privacy.
- Flats, 39 Southey Street, Elwood, 1959, L.G. Grant & Associates (Contributory within St Kilda Botanical Gardens & Environs precinct) Flat roof, cream brick with extensive use of decorative brickwork and screens to the front, as well as a bowed concrete canopy to the entrance supported on steel poles.
- Flats, 63-69 Tennyson Street, Elwood, 1959-60, A V Jennings (Citation 2344, HO436). A series of four mirrored blocks in cream brick with flat roofs, stepped form with undercroft carparking supported by piloti, and banks of windows with spandrels.
- *Rocklea Gardens*, 46-40 Hotham Street, St Kilda East, 1960, designed by Theodore Berman. (Citation 2017, HO293). International style, flat roof, continuous band of windows/openings with balconies, and spandrel panels at either end of the elongated façade.

Several blocks of flats designed by the Palestinian-born, Australian educated architect Mordecai Benshemesh are included within the heritage overlay (with others yet to be assessed). The group

constructed in 1960 bear comparison with *Bellevue Lodge* in the consistent use of splayed forms/triangular geometry.

- The earlier examples, dating to 1951 - *Burnett Lodge* at 9-11 Burnett Street, St Kilda (Citation 2444, HO5 precinct) - and to 1956 - *Barkly Lodge*, 289 Barkly Street, St Kilda (Citation 2444, HO35). Both are overtly Functionalist in their cuboid volumetric expression with taller, separate circulation zones, parapeted roofs rather than having a wide eaves overhang, and steel-framed windows.
- Two notable blocks were completed in 1959. The iconic *Edgewater Towers* at 12 Marine Parade, St Kilda (Citation 2049) and another at 22 Westbury Street (contributory within HO6 precinct). The former is in a different category, as it is a multi-storey International style building in white painted concrete with continuous bands of glazing to each elevation. The latter bears some similarities with the subject site in the general material palette but has a flat roof and circulation is by glazed stairwells, which serve to separate adjacent balconies and so provide some privacy for neighbouring occupants.
- Group of three at 306 Dandenong Road (*Leaworra*), 16 Lansdowne Road and 8 Westbury Street (*Wolverton*), St Kilda East, 1960 (Citation 2429). All three buildings are intact and three storey, have cream brick walls and flat roofs with wide, sheet-lined soffits to the front/main elevations, and timber-framed openings. They have balconies with angled geometry either in the vertical (canted) or horizontal (splayed) plane orientated to take best advantage of the solar access and the site configuration. The stairwells have louvred glass. Decorative elements or treatments include ceramic tiling, some panels to the balustrades, projecting bricks, and/or staggered glazing bars to the windows. All retain their original low cream brick fence and associated letter box enclosures. The circulation is different in that the flats are divided into blocks with either two or three enclosed stairwells (at the front) rather than the open stairs and galleries to *Bellevue Lodge*.

Locally based, Slovakian-born Ernest Fooks (originally Fuchs) designed many buildings in the municipality, but to date only a few of these have been recognized within the heritage overlay, though several are currently under review.

- *Park View*, 5 Herbert Street, St Kilda, 1958-59 (Citation 2427). This example reflects a similar approach evident at *Bellevue Lodge*. Triangular/splayed balconies have been employed to create private zones however in the case of *Park View* the stepped configuration was primarily to optimise views of the Botanic Gardens opposite. The circulation is similarly along external galleries.
- Flats, 5 May Street, Elwood 1957. Cream brick, two storey flats with a tiled hip tile roof, in a U-plan around a central garden courtyard. Typically Fooksian elongated window proportions with some larger mullions and coloured spandrels. Concrete balconies with metal balusters.
- Flats, 12 Milton Street, Elwood 1961 (Contributory within St Kilda Botanical Gardens & Environs Precinct). Intact, cuboid form being slightly stepped at the front, cream brick with spandrels and elongated window proportions. Similar to *Park View* but on a narrower site.
- Flats, 21A Dickens Street, Elwood, 1966 (Contributory within St Kilda Botanical Gardens & Environs Precinct). Later brown brick and render, suggesting a burgeoning Brutalist character.
- Flats, 17 Cowderoy Street, St Kilda 1947+ 1966 (Citation 880, HO444 precinct). Unknown designer of 1947, initially two storey with a hipped roof. Extensively altered in 1966 by Fooks to become a three-storey flat roof building with a Moderne character.

The work of the Viennese Kurt Popper is generally indicative of a restrained version of contemporary Modernism: Although his contemporary work shares a similar material palette, he generally employed more contained footprints and forms.

- Flats, 124-126 Alma Road, 1954 + 47 Westbury Street, St Kilda, 1956 (Contributory within HO6). Similar, adjacent blocks in a Functionalist mode. Cream brick (one on red brick plinth), with parapeted roof, steel-framed windows, some with concrete framing, and balconies with concrete decks and metal railing.

- Flats, 22A Acland Street, St Kilda, 1957 (Contributory within HO5). Three storey, rectangular footprint with corner balconies with metal balustrading with diamond pattern (to the front). Cream brick with panels of large, pale blue tiles to the façade. It however has a tile clad, hipped roof.
- Flats, 17 & 17A Burnett Street, St Kilda 1958-59 (Contributory within HO5). More conventional with a hipped roof clad in tile in two mirror-image blocks. Distinguished by the expressed rendered frame to the corner windows.
- Flats, 21 Dickens Street, Elwood, 1965 (Contributory within St Kilda Botanical Gardens & Environs Precinct). A relatively late cream brick example with minimal eaves overhang as the balconies, with faceted metal panels to the balustrade, are recessed.

The work of Michael R.E. Feldhagen forms a discrete sub-group, which is not readily comparable to the work of his contemporaries. His flat architecture is often distinguished by the use breeze block and other contrasting materials to create more varied and decorative exteriors, usually in a Featurist mode:

- Flats/duplex, 247-249 Inkerman Street, Balaclava, 1962 (Citation 2025, HO315 precinct). A two storey, Featurist example with concrete Roman bricks and paneled concrete.
- Surf Side, 46 Ormond Esplanade, Elwood, 1963-64 (Citation 755, HO353), Bichrome brick – cream and brown – with steel poles and railing. Breeze block or the like to the balconies. Also has a stepped footprint to maximise views of the bay.
- Flats, 99 Westbury Street, Balaclava, 1963 (Citation 2445) – Featurist, wider upper floor with stacked concrete Roman bricks and decorative concrete panels, over a cream brick base.

Assessment

This place has been assessed in accordance with the processes and guidelines outlined in the Australia ICOMOS *Charter for Places of Cultural Heritage Significance* (The Burra Charter) 2013, using the Hercon criteria.

Recommendations

Add to the Heritage Overlay as an individual place. Specific controls are not required.

Primary source

RBA Architects & Conservation Consultants, *HO7 Elwood St Kilda Balaclava Ripponlea Precinct heritage review Stage 2*, 2020

Other studies

Andrew Ward & Associates, *Port Phillip Heritage Review*, 1998



Other images



East side and façade



West side and entrance

Area to be included in HO



City of Port Phillip Heritage Review

Place name: Duke of Edinburgh Hotel
(former)

Citation No:
2446

Other names: -



Address: 374 St Kilda Road, St Kilda

Heritage Precinct: Not applicable

Category: Commercial: Hotel

Heritage Overlay: HO554

Style: Interwar

Graded as: Significant

Constructed: 1850s, 1924, 1937

Victorian Heritage Register: No

Designer: H V Gillespie (1924),
unknown (1937)

Amendment: C206port

Comment: New citation

Significance

What is significant?

The former Duke of Edinburgh Hotel at 374 St Kilda Road, St Kilda, is significant. It was constructed in the late 1850s as a single storey shop. In 1924 it was expanded to two storeys by architect H V Gillespie, and in 1937 the façade was redesigned in the Moderne style.

The hotel consists of a front two storey section and single-storey rear sections. The main roof has three parallel hipped sections of differing widths and lengths clad in corrugated sheet metal. The rear skillion/hipped roof section at least partly dates to the 1920s. There are four rendered chimneys with a projecting cap and raised 'T'-shaped detailing. The rendered façade features an indented band to the parapet and both raised and recessed speedlines, and the lower part is built out between the openings in a buttress-like manner. The chamfered corner has a curved profile, a light fixture, and the main entrance is defined by tiled engaged columns. The corner window to the upper floor, which probably relates from the 1924 phase, is arched and deeply recessed. Most of the upper floor windows are rectangular and have timber-framed double hung sashes with single panes. The openings to the ground floor have black tiling (overpainted) to the reveals.

Post-1937 alterations and additions, including the rear single storey gable roofed section, are not significant. The decorative glass window to Martin Street and the current paint colour scheme are not significant.

How is it significant?

The former Duke of Edinburgh Hotel, 374 St Kilda Road, St Kilda, is of local historical and aesthetic significance to the City of Port Phillip.

Why is it significant?

The former Duke of Edinburgh Hotel is historically significant as one of the oldest surviving hotel buildings in St Kilda, primarily operating as the Duke of Edinburgh Hotel between 1868 and 1996 and for some years thereafter for related uses under a different name. Originally constructed as a single storey grocer's shop in the late 1850s, the building was expanded and remodeled in a contemporary style during the Interwar period indicative of the common approach to the modernisation of hotels whereby buildings were evolved over multiple stages of development and upgrading. Its St Kilda Road address is reflective of the traditional practice of prominently locating hotels along major thoroughfares. (Criteria A)

The former Duke of Edinburgh Hotel is of aesthetic significance as a good and intact example of an Interwar period hotel in the Moderne style, which was popularly adopted for hotels during the 1930s. It also incorporates some remnant aspects of the earlier 1920s remodeling which add interest and hint at the staged development of this building. While this style is not uncommon in the municipality among the group of remaining Interwar period hotels, the incorporation of curved elements at the corner and detailed articulation (to the parapet, extensive use of speedlines, and buttressing and reveals to the ground floor), distinguishes it from some of the more angular Functionalist examples. (Criterion E)

Thematic context

Victoria's framework of historical themes

5. Building Victoria's Industries and Workforces: 5.6 Entertaining and socialising

Port Phillip thematic environmental history

3. People: 3.5 Expressing identity and culture

History

Contextual history

Providing food, refreshments, entertainment and accommodation, hotels – or pubs – have been popular places to eat, socialise and stay in the City of Port Phillip since the arrival of European settlers. Wilbraham Liardet was the first to open a hotel in the area, the Brighton Pier Hotel, in October 1840. During the gold rush period from 1851 to 1876, 51 new hotels were opened in Port Melbourne alone.

Before the creation of civic buildings, hotels were often used as meeting places for early councils, social groups and committees, as well as general socialising. Some of the oldest buildings in the City of Port Phillip are hotels that have stood the test of time, such as the Golden Gate Hotel (1853), Prince of Wales Hotel (1863), the George (which began as the Terminus in 1857), the Esplanade (which began as the New Bath Hotel in 1856), the Golden Fleece Hotel (1872) and the Balaclava Hotel (formerly Carlisle Hotel 1869). Some, like the Hotel Victoria built in 1888 on Beaconsfield Parade, Albert Park, remain but no longer used as hotels. Others, like the Greyhound Hotel (1853) have been demolished. Hotels have been particularly associated with working-class people as centres of Australian drinking culture, and continue to provide vital social venues for the community today.

Duke of Edinburgh Hotel

The subject site formed part of Crown portion 71B, parish of Prahran, of about 4 and a half acres which was purchased in 1850 by F McDonnell (*Argus* 16 May 1850 p2) (PP).

The rate books record that by March 1860 there was a five-roomed brick and slate building on the subject site with a NAV of £160, owned by merchant Moses Frazer, and occupied by Dickson and Tomison, grocers, wine and spirit merchants (RB 1860 no. 1484). The building was apparently erected sometime

during the late 1850s, as it is not shown on the 1855 Kearney Plan but is listed in the Sands and Kenny's Directory for 1859 (occupied by Moses Frazer, grocer, wine and spirit merchant). The single storey building is captured in an early photograph (Figure 2), c.1861, which shows four bays to the façade and arched openings. The 1864 Cox plan (Figure 1) shows the building's footprint was L-shaped.



Figure 1 - Cox Plan 1864 (Source: State Library of Victoria).

Figure 2 - 'Frazer's Grocery, High Street', c.1861 (Source: Port Phillip City Collection, sk0603.1-4)

In 1868, a hotel was established at the site, presumably involving the adaptation of the pre-existing building. On 5 May 1868, a license was granted for the 'Duke of Edinburgh Hotel', named in honour of Prince Alfred's (eldest son of Queen Victoria) recent Melbourne visit (*The Telegraph, St Kilda, Prahran and South Yarra Guardian* 9 May 1868 p3). The rate book for January 1869 records a six-roomed brick hotel with a NAV of £46, occupied by publican Patrick McGowan (RB 1869 no. 1481). By the following year, 1870, the building was described as having 8 rooms and the NAV had risen to £65 (RB 1870 no. 1211).

The 1873 Vardy plan (Figure 3) shows the brick hotel with an L-shaped footprint. On the rear boundary was a timber outbuilding, probably stables. Moses Frazer owned several adjoining properties as indicated on the plan (numbered 203-206), including a timber yard adjacent to the north (numbered 205).

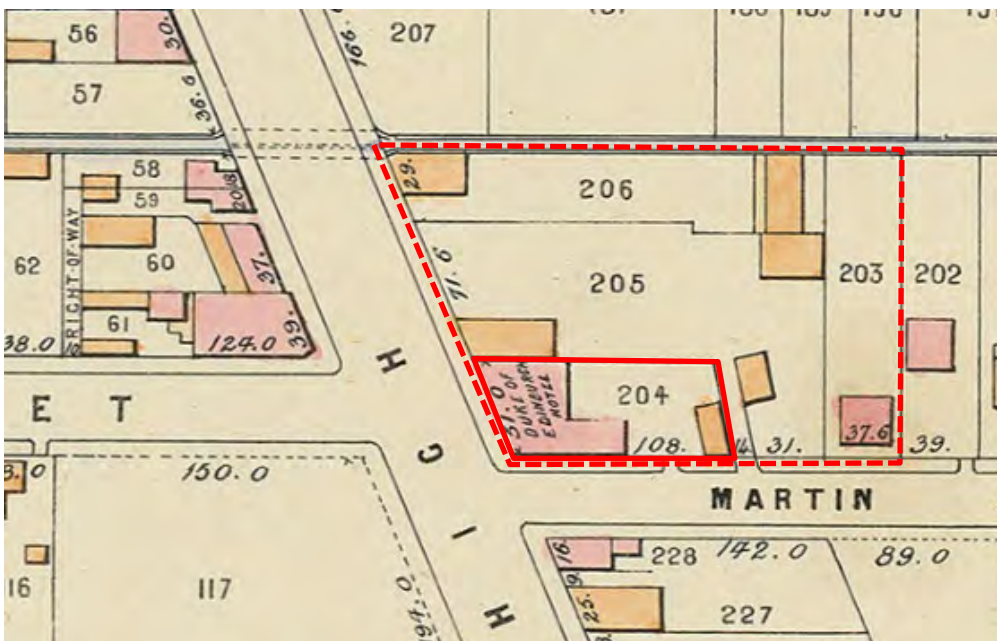


Figure 3: Plan of the Borough of St Kilda, South Ward No. 1 (J.E.S. Vardy, 1873). The subject site (solid line) and the adjoining properties also owned by Moses Frazer (dashed line) are indicated. (Source: St Kilda Historical Society)

In April 1875, tenders were called for a brick billiard room (Age 23 Apr 1875 p1). In May 1876, Frazer was made insolvent due to bad debts and losses in business (Argus 27 May 1876 p7). In July 1876, the subject site (along with the other adjoining properties owned by Frazer) was sold to John O'Farrell, a hay and corn dealer. John O'Farrell (or his son of the same name) was also the owner of other nearby High Street (now St Kilda Road) properties including the Queen's Arms Hotel on the corner of Pakington Street (CT v.884 f.639).

John O'Farrell died in 1877, and probate of his will was granted to his wife Catherine. Later, ownership of the subject site was transferred to his three sons, John O'Farrell, Patrick O'Farrell and Michael O'Farrell, provision merchants of High Street St Kilda (CT v.236 f.101).

The 1897 MMBW plan (Figure 4) shows the hotel with an enlarged U-shaped footprint. The profile of the façade, showing the positioning of piers, appears consistent with the 1861 photograph. Note also, the setback along the north side of the building, which survives Drainage plans from the early 20th century (dated 1902, and updated in 1908 and 1916) show the same footprint (DP).

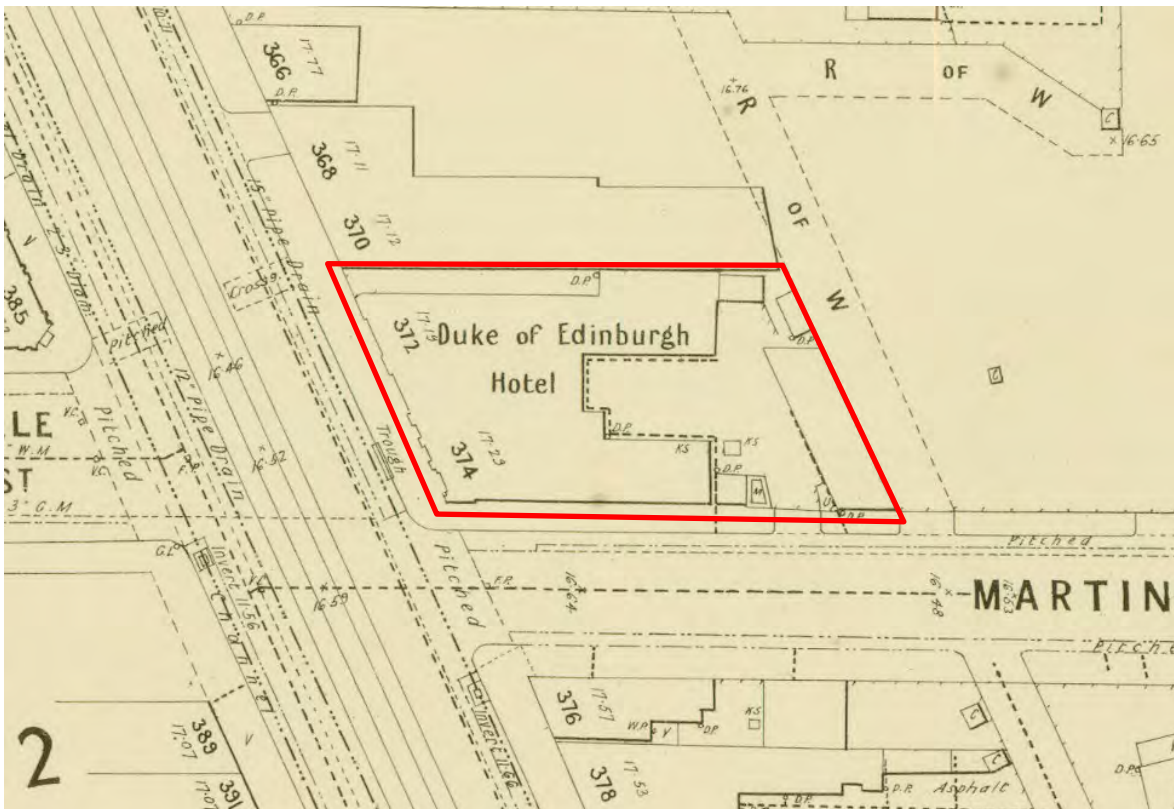


Figure 4: MMBW detail plan no. 1371, dated 1897. The approximate current boundaries of the subject site are indicated. (Source: State Library of Victoria)

John O'Farrell died in 1911, having been predeceased by his brothers. Probate was granted to the Perpetual Executors and Trustees Association Ltd of 89 Queen Street Melbourne, and William Kennedy, gardener, of Moorabbin. The broader holdings, which at that time extended between Pakington and Martin streets, were subdivided (CT v.3258 f.479). In November 1920, ownership of the subject site was transferred to Irene Miriam Annie Carrick, married woman of Rowell Street, Camberwell (CT v.4417 f.383).

In June 1924, architect H V Gillespie of 443 Chancery Lane Melbourne invited tenders for brick additions and alterations to the hotel (Age 28 Jun 1924 p1). A 1924 oblique aerial photograph (Figure 5) shows the hotel as a single storey building just prior to the additions. The configuration of the façade had apparently changed since the 1897 MMBW plan – the 1924 photograph appears to show three openings to the High Street (St Kilda Road) elevation and a chamfered corner. A second oblique aerial photograph (Figure 6) taken about one year later in 1925 shows that a second storey had been added. The 1925 image indicates

that the overall form of the building, including the placement of openings (three to each level on the west elevation), the roof forms and the parapet are consistent with the building today.



Figure 5: Aerial photograph, c.1924 by Ernest Ebell. (Note: incorrectly dated 1926 in library catalogue.) (Source: State Library of Victoria, H91.365/3)



Figure 6: Aerial photograph, c.1925 by W R Garrett (Source: State Library of Victoria, H98.129/21)

In 1928, ownership was transferred to married couple James Gordon Bennett and Phillip Maude Bennett of 77 Mitford Street St Kilda. In 1936, following the deaths of the Bennetts, probate was granted to the Perpetual Executors and Trustees Association Ltd and Francis George Reid of 39 Grice Crescent Essendon (CT v.4417 f.383). In October 1936, Council issued a building permit for a brick outbuilding with an estimated cost of £120 (BP 9507). Then in August 1937, Council issued another building permit for alterations valued at £1,800 (BP 9778). The builder for the latter was recorded as S J Armstrong 26 Alma Road Malvern East. In August 1937, an advertisement sought a bricklayer's laborer and scaffold hand (Age 31 Aug 1937 p3). These works appear to have included a redesign of the façade presentation (i.e. the extant façade is indicative of the 1930s rather than the 1920s).



Figure 7: Aerial photograph dated 1945. The approximate boundaries of the subject site are indicated. (Source: Landata, Proj No 5, Run 17E, Frame 58012)

In August 1952, the hotel was sold to Phyllis Marie Hand, married woman of 95 High Street Kyneton. Two years later, in March 1954, it was offered for auction at which time it was described as follows:

Splendidly situated in one of the main entrances to the city, this sale affords a unique opportunity for the hotelkeeper or investor of acquiring an excellent hotel freehold. The hotel building is a Modern Brick Structure containing large bar, lounge bar, diningroom and kitchen on the ground floor, and 7 bedrooms, sittingroom and two bathrooms and toilets on the first floor. (Age 3 Mar 1954 p12)

The auction was apparently unsuccessful however, and the property was instead mortgaged (CT v.7797 f.050). Permit drawings from 1959 show the configuration of openings broadly as is, however with three single doorways to the ground floor of the St Kilda Road elevation (BP). From the 1960s, the hotel changed hands several times.

In 1971, following an inspection by the Liquor Control Commission, the then owners Charles and Gladys Lillecrapp were issued with a notice requiring a series of repair works to be undertaken to the interior and exterior; the external works included the replacement of damaged wall tiles and the redecoration of the frontages to High and Martin streets (LF). In November 1971, the commission approved plans for a 'substantial remodeling' and Council issued a permit for works with an estimated cost of \$15,000 (BP 4027). The architect was G J Johnston of Croydon and the builder was W J Hornby of Hawthorn. Plans lodged with Council indicate various proposed changes, including the reconfiguration of all external ground floor openings to create a near continuous band of windows to the St Kilda Road elevation, as was introduced to the rear single storey section. Aluminum windows and doors were however installed (likely replacing timber types) but since replaced with the extant frames. The central door to the St Kilda Road elevation was probably widened at that time (BP). A further inspection by the commission in October 1972 confirmed that the required works had only been partly completed and it is unclear to what extent external works had been undertaken. Drawings from 1996 show the ground floor openings to the two storey section as is, suggesting the configuration was not changed during the 1970s (BP).

The hotel operated as the Duke of Edinburgh until 1996, then closed for a year until it reopened as a bar, 'The Duke', in 1998. In 2003, it was converted into a function centre called SKD (Aizen).

References

- Aizen, Becky, *Pots, Punks and Punters: a history of the hotels of St. Kilda and South Melbourne*, 2004
- Building Files held by Port Phillip City Council (BF)
- Certificates of Title (CT)
- Drainage Plan no. 25,141 (DP)
- License File (LF) – Public Record Office Victoria, VPRS 7712 P2 Box 84 ‘Duke of Edinburgh St Kilda’
- Newspapers, various
- Parish Plan - at Elwood, Parish of Prahran, P81-13 (PP)
- Port Phillip Thematic Environmental History (TEH)*, February 2021
- Rate Books for St Kilda 1859-1900, accessed via ancestry.com (RB)
- Sands and McDougall’s Street Directories (SM)
- St Kilda Council building permit files (BP)

Description

The former Duke of Edinburgh Hotel is located on the east side of St Kilda Road at the north corner of Martin Street and has an area of 527m². The hotel is built to the street boundaries and takes up most of the site. On the north side there is a narrow partial setback from the boundary.



Figure 8: Aerial photograph (Source: Nearmap October 2021)

The hotel consists of the front two storey section and single-storey rear sections. It has evolved in three main stages: the ground floor dates to the late 1850s (including the placement of openings to the west elevation), while the upper floor, roof forms, chimneys, placement of openings to the upper floor and the parapet form date to 1924. The Moderne style façade detailing dates to the 1937, although it currently presents poorly as a result of unsympathetic overpainting and boarded-up openings.

The roof of the two-storey section is comprised of three parallel hipped sections of differing widths and lengths clad in corrugated sheet metal, with exposed rafter ends visible to the rear. There is also an area of traversable roof deck on the south side. Attached to the rear is a skillion/hipped roof section that at least partly dates to the 1920s. There are four rendered chimneys with a projecting cap and raised ‘T’-shaped

detailing in red brick. Some sections of red brick in stretcher bond are visible to the rear. Another single storey gable roof section at the rear is a later addition.

The façade is rendered and the parapet is capped by an indented band (the recessed portions have a curved profile). The upper part of the façade is articulated with raised speedlines with further short, intermediate banding above the windows. The lower part of the façade is built out between the openings in a buttress-like manner and articulated with recessed banding/speedlines.

The corner is chamfered and has a curved profile. The corner window (a former entrance) is defined by tiled engaged columns to either side. The light fixture above may date to the Interwar period. The corner window to the upper floor, which probably dates from the 1924 phase, is arched and is deeply recessed.

The majority of windows to the upper floor are rectangular, but relatively wide, and have timber-framed double hung sashes with single panes. One of the windows on the south side has taller proportions and contains non-original decorative glass with leadlight and a floral and drop motif (it was installed during the 1990s). The openings to the ground floor have black tiling (overpainted) to the reveals. On the south side, the ground floor appears to have been partly altered, at least at the east end.

Comparative analysis

There are many hotels included in the Heritage Overlay, either as individual places or included in a precinct. The hotels predominantly date to the Victorian period, mostly from the 1880s or 1890s; relatively few pre-1880 hotel buildings survive. Many of the Victorian era hotels were remodeled during the Interwar period in a contemporary style, as was a common approach to the modernisation of hotels during the Interwar period. Only a few were built as new buildings during the 20th century, though often replacing an earlier hotel on the site. Most hotels are located on corners and/or main thoroughfares.

The Duke of Edinburgh Hotel is in the Moderne style, which was popularly adopted for hotels during the 1930s. It also incorporates some remnant aspects of the earlier 1920s remodeling which may have been designed in a classicising mode.

The Moderne/Functionalist style hotels of the 1930s typically include a parapet, are rendered, and have a horizontal emphasis by way of banding or speed lines. Some feature Art Deco detailing to the bands, etc. Examples include:

- Prince of Wales, 29 Fitzroy Street, St Kilda (Citation 1473). 1936 by architect R H McIntyre (he was also responsible for the remodeled Greyhound Hotel, demolished). Fine, substantial four storey version with projecting balconies with curved corners and metal railing, and a pronounced horizontal emphasis. Similarities with the subject site include the use of black tiling (to dado and dividing walls to balconies) and banded panels with a curved profile.
- Royal Mail Hotel, 22 Bay Street Port Melbourne (Citation 2359). Victorian period hotel, remodeled in 1937.
- Pier Hotel, 1 Bay Street (Citation 608). Remodeled mid-1930s. Curved entry, glass bricks, black tiles.
- St Kilda Inn, 109 Barkly Street, St Kilda (Contributory). Remodeled Victorian period hotel. The rectilinear building has a rendered façade with speedlines being the primary articulation. An unremarkable example and has upper-level additions.
- Bleak House Hotel, 95 Beaconsfield Parade, Albert Park (Contributory). Victorian hotel remodeled in 1935 to a design by Richard Le Poer Terry, architect. Includes a recessed balcony.
- Albert Park Hotel, 83 Dundas Place, Albert Park (Contributory). A good three storey example with porthole windows. Functionalist style with extensive use of speedlines.
- Town Hall Hotel, 137 Bank Street, South Melbourne (Contributory). Victorian hotel remodeled in 1936 to a design by Frederick Moresby, architect. A good example with a symmetrical façade with a

stepped parapet, central curved balcony and fin, a recessed band to the upper part, and steel-framed windows to upper level.

- Swallow Hotel, 192 Station Street, Port Melbourne (Contributory). Remodeled in the 1930s in a Moderne/Art deco mode a band of panels featuring chevrons and the like and a faceted corner to the parapet. The tiled dado is intact.
- Rose and Crown, 309 Bay Street (Contributory). Victorian hotel remodeled in 1939 to a design by D. F. Cowell-Ham, architect. Symmetrical façade with central fin and flagpole, and some horizontal emphasis with Art deco influenced detailing to the parapet and the glazing bars to the windows.

During the 1920s, most hotels were designed in a classicising mode, whether new buildings or pre-existing hotels that were remodeled. These buildings are usually rendered, have a parapet often with a pediment and a cornice, and individual windows (a remnant of the Victorian period building). Examples include:

- Post Office Club Hotel, 306 St Kilda Road, St Kilda (Contributory). Remodeled Victorian period hotel. Retains original tiles to ground floor exterior. Diamond glazing bars to upper sashes (first floor).
- Ritz Hotel (former), 169 Fitzroy Street, St Kilda (Citation 1485). Freestyle design with a curved corner, oriel windows and arched openings.
- Bayview Hotel, 279 Cecil Street, South Melbourne (Citation 1139). Victorian hotel remodeled in 1927 to a design by P.J. O'Connor. Has a recessed balcony with columns to first floor, intact tiled dado to ground floor, stained glass to some windows.
- Queens Arms Hotel (former), 336 St Kilda Road (Sydney Smith & Ogg, 1924) (Significant within HO6, Citation 927). Parapet with triangular pediments and featuring a corner tower.
- Several other hotels in similar vein include the Cricket Club, Emerald, Golden Fleece, Limerick Arms, Montague, O'Connell's Centenary, and Rising Sun. Some of these were designed by Sydney, Smith & Ogg.

H V Gillespie, the architect for the 1924 remodeling of the Duke of Edinburgh Hotel undertook several commissions in the St Kilda area, including shops, flats and houses. Of particular relevance are Gillespie's 1925 five-storey addition to the George Hotel in Fitzroy Street St Kilda (VHR H0706), and the 1920s conversion of the Victorian period Star & Garter Hotel to apartments at 24-26 Robe Street St Kilda (Citation 793).

Assessment

This place has been assessed in accordance with the processes and guidelines outlined in the Australia ICOMOS *Charter for Places of Cultural Heritage Significance* (The Burra Charter) 2013, using the Hercon criteria.

Recommendations

Add to the Heritage Overlay as an individual place.

Apply external paint controls in the Schedule to the Heritage Overlay (to ensure complementary colour schemes are employed and/or encourage restoration of the rendered finish and tiled surfaces).

Primary source

RBA Architects & Conservation Consultants, *H07 Elwood St Kilda Balaclava Ripponlea Precinct Heritage Review Stage 2, 2021*

Other studies

Andrew Ward & Associates, *Port Phillip Heritage Review*, 1998

Other images



West side



South side and rear



South side, window with decorative leadlight glazing



Corner entrance



City of Port Phillip Heritage Review

Place name: Attached Houses
Other names:

Citation No:
2442



Address: 2 and 4 Queen Street, St Kilda East

Heritage Precinct: Not applicable

Category: Residential: House

Heritage Overlay: HO555

Style: Victorian

Graded as: Significant

Constructed: 1878

Designer: Unknown

Victorian Heritage Register: No

Amendment: C206port

Comment: New citation

Significance

What is significant?

The attached houses at 2 and 4 Queen Street, St Kilda East, built 1878 for grocer John Drew, are significant.

The attached, single storey houses have a transverse gable roof clad in corrugated sheet metal that is divided by a brick party wall. A bichrome brick chimney (brown and cream brick) with a corbelled cap survives to no. 2 and another brick chimney survives to the rear on the shared internal wall. The façades are clad in ashlar boards, and the sides walls are clad in weatherboards. The full width front verandahs are supported by turned timber posts (different profile to each cottage so presumably at least one of these elements has been replaced) and have matching cast iron friezes. The hipped verandah roof is clad in corrugated sheet metal and has a convex profile. There are timber brackets to the cornice above the verandah to no. 2. The façade compositions are mirrored, with one window and one door to each dwelling. The windows have moulded timber frames, with panelled mullions, in a tripartite format with double hung sashes. The entrances have narrow sidelights and highlights.

Alterations and additions to the rear are not significant. The current paint colour scheme is not significant.

How is it significant?

The attached houses at 2 and 4 Queen Street, St Kilda East, are of local historical and representative significance to the City of Port Phillip.

Why is it significant?

The attached houses are historically significant for their association with an early phase of development in St Kilda East which accelerated following the 1859 introduction of the railway. Throughout the 19th century modest timber cottages proliferated in pockets of St Kilda East and Balaclava, particularly on the lower lying land known as the 'Balaclava Flats', contrasting with more substantial houses on nearby surrounding higher ground. The attached houses are amongst the earliest surviving in Balaclava/St Kilda East and a now comparatively small number dating from pre-1880. (Criterion A)

The attached houses are of representative significance as uncommon examples of modest pre-1880 timber houses in the municipality, of which many were built (particularly in the St Kilda East/Balaclava area) but few survive. The houses are one of only two known surviving pre-1880 paired examples in the St Kilda East/Balaclava area, the others being located opposite at 151 and 153 Argyle Street. Although they have undergone some change, as almost invariably occurs with early timber houses, they are largely intact, more so than most examples of this period. Importantly, they retain original building formats, and where fabric has been replaced it has generally been in a similar manner or in keeping with the original character/period. They are typical of the period having a symmetrical composition, transverse gable roofs, brick chimneys and full width verandahs. (Criterion D)

Thematic context

Victoria's framework of historical themes

6. Building towns, cities and the garden state: 6.3 Shaping the suburbs, 6.7 Making homes for Victorians

Port Phillip thematic environmental history

5. Buildings and cultural landscapes: 5.1 Early dwellings, 5.2 Shaping the suburbs (5.2.2 Private development), 5.3 Diverse Housing (5.3.2 Workers and artisan housing)

History

Contextual history

The development of St Kilda began following the first land sales in 1842 and by 1854 there were over two hundred houses. The plan compiled in 1855 by James Kearney shows that most of these were situated to the west of Brighton Road (later High Street and now St Kilda Road). The St Kilda East and Balaclava areas by comparison, were largely undeveloped, particularly east of Chapel Street.

In 1859, the railway to Brighton was opened, spurring subdivision and development in the St Kilda East and Balaclava areas. Throughout the 19th century, modest timber cottages proliferated in pockets of St Kilda East and Balaclava, particularly on the lower lying land known as the 'Balaclava Flats', contrasting with more substantial houses on nearby surrounding higher ground.

2 and 4 Queen Street, St Kilda East

The subject site formed part of Crown Allotment 138A Parish of Prahran, County of Bourke. The approximately 5-acre allotment was purchased in the 1850s (probably 1853 or 1854) by E De Carle and H Holmes (PP).

The Kearney plan of 1855 (Figure 1) shows that Queen Street and the short section of Argyle Street east of Chapel Street had been formed and there was some sparse development. The 1864 Cox plan (Figure 2) shows some limited further development in the vicinity. Both plans show the subject sites vacant.

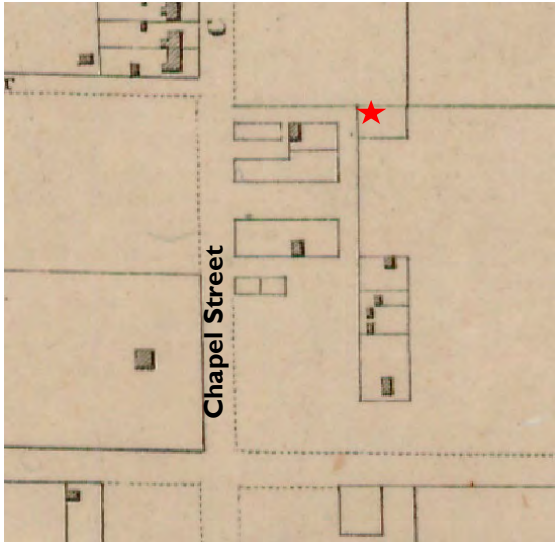


Figure 1 - Plan dated 1855 'Melbourne and its suburbs' compiled by James Kearney.

Figure 2 - Plan dated 1864 'Hobson Bay and River Yarra leading to Melbourne' surveyed by Henry L Cox. (Source: State Library of Victoria)

By 1869, a land parcel containing the subject site (which also encompassed the adjacent block at 8 Queen Street) was owned by John Drew. Drew had also acquired other land nearby in Queen, Inkerman and Chapel streets (CT v.308 F.454). Drew was a widower (his wife Mary had died in 1867) who lived with his children on the corner of Chapel and Crews streets where he also had a grocery shop.

The 1873 Vardy Plan (Figure 3) shows the subject site vacant, although a timber house had been built adjacent on the site of no. 8.

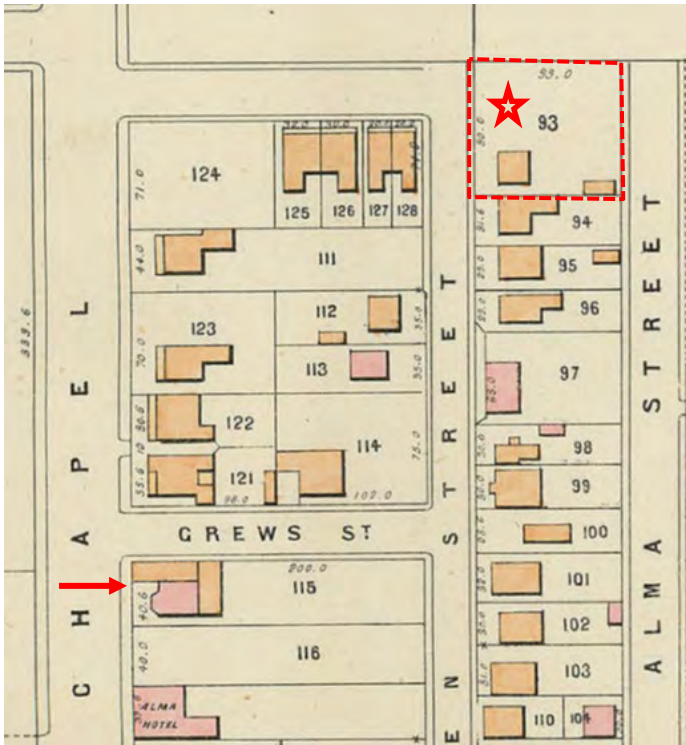


Figure 3 - Plan of the Borough of St Kilda, North Ward No. 6 (J.E.S. Vardy, 1873). Land parcel owned by John Drew is shown outlined, subject site is indicated with a star. Also indicated (arrow) is the home and grocery shop of John Drew on Chapel Street. Timber buildings are shaded orange and brick buildings are shaded pink. (Source: St Kilda Historical Society)

The subject pair of houses were first recorded in the rate book for December 1878 (RB nos 882 and 883), described as four-roomed wood houses with NAVs of £28 and £26 and leased to Lewis Goldsmith, surveyor, and Michael Murphy, clerk. Over the ensuing decades, they were occupied by several other tenants.

The 1897 MMBW plan (Figure 4) shows the footprints of the attached houses, each with front and side verandahs. At the rear there were water closets positioned on the shared boundary.

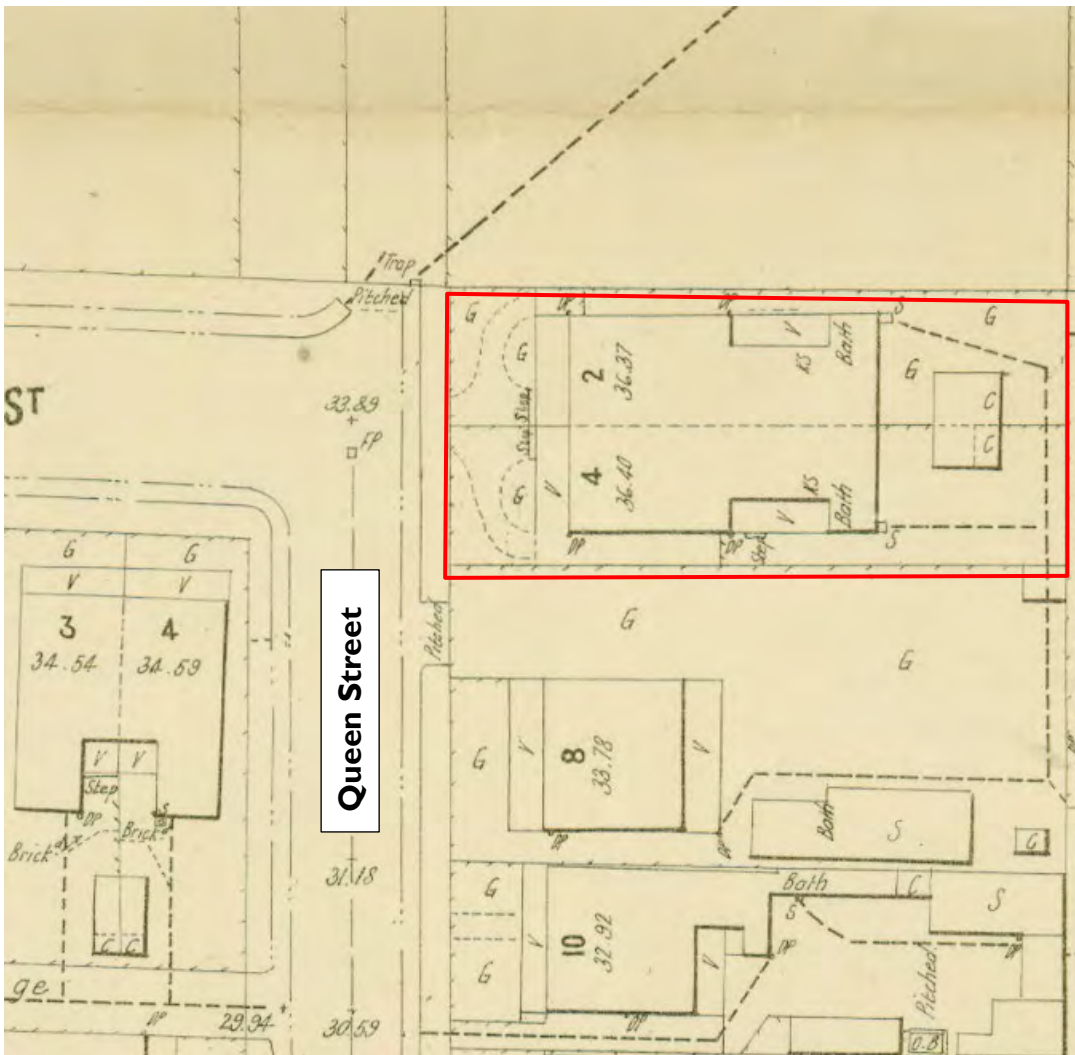


Figure 4 - MMBW Detail Plan No. 1423 (dated 1897) (Source: State Library of Victoria)

John Drew died in 1901 and probate of his will was granted to his son John Vincent, farmer of *Darlimurla* in Gippsland and daughters Caroline Eugina Emma, Edith Blanche and Bertha Alice of 30 Chapel Street St Kilda (CT v.308 f.454). In 1904 the subject site (and land associated with no.8) was transferred to the sole ownership of Caroline Eugina Emma Drew (CT v.3004 f.678). In 1950, the land was subdivided into two parts, that containing nos 2 and 4 and that containing no. 8.

The 1945 aerial photograph (Figure 5) shows the subject pair consistent with the footprint shown on the earlier MMBW plan, comprised of a front gable roofed section and a rear skillion section. Note three chimneys can be seen (two at the front and one at the rear).



Figure 5 - Aerial photograph dated 1945. (Source: Landata, Proj No 5, Run 17E, Frame 58013)

In 1951, following Caroline Drew's death, ownership was transferred to Mary Ellen Cuthbertson. In 1994, nos 2 and 4 were subdivided into separate parcels (PS 336823E).

References

Certificates of Title (CT)

Plan of Subdivision (PS)

Cooper, J.B., 1931, *The History of St Kilda. From its settlement to a city and after. 1840 to 1930*, Volume 2

Parish Plan - at Elwood, Parish of Prahran, P81-13 (PP)

Port Phillip Thematic Environmental History (TEH), February 2021

Sands and McDougall's street directories (SM)

St Kilda Rate Books (RB) 1859-1900 viewed at Ancestry.com

Description

The site is rectangular and located on the east side of Queen Street. The attached pair of single storey timber cottages are set back a few metres from the front boundary. There are narrow setbacks from the side boundaries.

The original 1878 building footprint to the front survives consistent with the 1897 MMBW plan. It is comprised of a transverse gable roof section that is divided by a red brick party wall with a rendered coping which is corbelled at the front of the verandah section. There are full width front verandahs to each cottage. The rear skillion sections do not appear to survive.

The roof is clad in corrugated sheet metal. A bichrome brick chimney (brown and cream brick) with a corbelled cap survives to no. 2. The chimney has been removed to no. 4. Another brick chimney survives to the rear on the party wall.

The façades are clad in ashlar boards, and the sides walls are clad in weatherboards. There are louvred vents to the roof spaces. The front verandahs are supported by turned timber posts (different pattern to each cottage) and have matching cast iron friezes with a floriated scroll pattern and a narrow fringe, and a narrow timber fascia with a semi-circular motif above. The hipped verandah roof is clad in corrugated sheet

metal and has a convex profile. There are timber brackets to the cornice above the verandah to no. 2 but not to no. 4. The brick dividing wall has an arched niche. The decks are timber.

The façade compositions are mirrored, with one window and one door to each dwelling. The windows have moulded timber frames with panelled mullions in a tripartite format with double hung sashes. The entrances have narrow sidelights and highlights.

The front gardens have various low plantings. The front fences are neither original nor early.

Comparative analysis

The subject pair are examples of modest 1870s timber houses in the St Kilda/Balaclava area, of which many were built but few survive. Such houses were commonly replaced with brick from the latter part of the 19th century onwards.

While there are many modest timber cottages dating from the late 1880s and early 1890s represented in the Heritage Overlay, examples from pre-1880 are much rarer. Other surviving examples of comparable pre-1880 single storey timber houses within the St Kilda East/Balaclava area include:

- 149 & 151 Argyle Street (1872) and 1 Queen Street (1876). (Citation 2418). An attached pair and a freestanding house, built by the same owner builder. Symmetrical/mirrored façade compositions, transverse gable roofs, brick chimneys and full width front verandahs. 149 & 151 Argyle Street are an unusual early (pre-1880) paired example that share an undivided gable roof.
- 22 Blenheim Street, Balaclava (1872, additions 1890s). (Citation 2437). Asymmetrical (although originally symmetrical), full width verandah, transverse gable roof, brick chimneys.
- 34 Young Street, St Kilda East (1870). (Citation 2309, HO401). Double fronted, symmetrical, full width straight-roofed verandah built to the front boundary with timber frieze, transverse gable roof, short brick chimney.
- 16 Balston Street, Balaclava (c.1863). (Citation 2303, HO395). Double fronted, symmetrical, full width bullnose verandah with non-original timber posts and cast iron, transverse gable roof, brick chimney to gable end, altered windows.
- 62 Octavia Street, St Kilda (c.1862). (Citation 2389, HO6 precinct). Double fronted, symmetrical, full width verandah with straight roof with timber frieze and cast-iron bracket (possibly not original), transverse slate-clad gable roof, brick chimney.
- 41 Rosamond Street, Balaclava (thought to be pre-1873). (Contributory within HO439). Double fronted, symmetrical, full width verandah with early 20th century type of cast iron frieze, hipped roof, brick chimney, windows possibly altered.
- 51-57 Leslie Street, St Kilda East. No. 53 thought to be built in 1873 and nos 51+55 in 1875. The date for no. 57 is unclear. (Not in heritage overlay). Double fronted, symmetrical, full width verandahs, transverse gable roofs, some with brick chimneys.

The subject pair are one of only two known surviving pre-1880 paired examples in the St Kilda East/Balaclava area, the others being located opposite at 151 and 153 Argyle Street. Although they have undergone some change, as almost invariably occurs with early timber houses, they are largely intact, more so than most other examples of this period. Importantly, they retain original building formats, and where fabric has been replaced it has generally been in a similar manner or in keeping with the original character/period. They are typical of the period having a symmetrical composition, transverse gable roofs, brick chimneys and full width verandahs.

Assessment

This place has been assessed in accordance with the processes and guidelines outlined in the Australia ICOMOS *Charter for Places of Cultural Heritage Significance (The Burra Charter) 2013*, using the Hercon criteria.

Recommendations

Add to the Heritage Overlay as an individual place.

Apply external paint controls in the Schedule to the Heritage Overlay (to ensure complementary colour schemes are employed).

Primary source

RBA Architects & Conservation Consultants, *H07 Elwood St Kilda Balaclava Ripponlea Precinct heritage review Stage 2*, 2021

Other studies

Andrew Ward & Associates, *Port Phillip Heritage Review*, 1998

Other images



South side of no. 4

City of Port Phillip Heritage Review

Place name: House
Other names: -

Citation No:
2423



Address: 5 Wando Grove, St Kilda East

Heritage Precinct: Not applicable

Category: Residential: House

Heritage Overlay: HO549

Style: Early Interwar: Bungalow

Graded as: Significant

Constructed: 1918

Victorian Heritage Register: No

Designer: Howard R Lawson

Amendment: C206port

Comment: New citation

Significance

What is significant?

The house at 5 Wando Grove, St Kilda East, constructed in 1918 for Thomas Armstrong and designed by Howard R Lawson, is significant.

The house is single storey with an attic. Contributory features include the prominent steeply pitched hipped roof is clad in terracotta tiles, central hipped dormer with four windows, hipped roof bays, wide eaves with exposed rafters, tall brick chimneys with protruding brick detailing, face red brick walls, porch with square brick piers and a low brick wall, faceted bay window, timber framed windows with multi-paned upper sashes, and a recessed entrance with a timber board door and a multipaned window on one side.

Alterations and additions are not significant.

How is it significant?

The house at 5 Wando Grove, St Kilda East is of local historic and aesthetic significance to the City of Port Phillip.

Why is it significant?

The house is historically significant as representative of the intensive development that occurred during the early Interwar period in this part of St Kilda/St Kilda East in the context of local population expansion. Originally forming part of the extensive grounds of the Victorian period mansion *Oakleigh Hall*, the subject site derives from a small 1917 subdivision on the east side of Wando Grove of seven allotments, five of

which were soon after developed with houses designed by prolific architect/designer Howard R Lawson (including 342, 344 and 346 Dandenong Road and 3 Wando Grove, the latter now demolished). (Criterion A)

The house is of aesthetic significance as a highly intact example of the early Interwar period in the Bungalow style. Typical of the style, the influence of the Arts and Crafts aesthetic is evident in the wide eaves with exposed rafter ends and face red brick walls. The impression of a symmetrical composition and the generally contained footprint is suggestive of the Craftsman subtype of bungalow, although not strictly conforming. The house is distinguished by its dominant steeply pitched hipped roof and low walls, whereas other contemporary examples more commonly had gable roofs and tall façades. Howard R Lawson designed many houses and flats in St Kilda but the subject house is one of only two known single storey examples to survive, and of these it is the most distinctive. (Criterion E)

Thematic context

Victoria's framework of historical themes

6. Building towns, cities and the garden state: 6.3 Shaping the suburbs, 6.7 Making homes for Victorians

Port Phillip thematic environmental history

5. Buildings and cultural landscapes: 5.2 Shaping the suburbs (5.2.2 Private development), 5.3 Diverse Housing (5.3.3 Suburban bungalows)

History

Contextual history

The development of St Kilda began following the first land sales in 1842 and by 1854 there were over two hundred houses. The plans compiled in 1855 by James Kearney shows that most of these were situated to the west of Brighton Road (later High Street and now St Kilda Road). The St Kilda East area, by comparison, was largely undeveloped and most buildings were located within the block bounded by Brighton Road, Wellington Street, Chapel Street, and Alma Road. Improvements to public transport including the opening of the railway station at Carlisle Street, and the establishment in the late 1880s of cable tram routes along High Street (St Kilda Road) and Chapel Street encouraged development during the land boom, however, this remained sporadic and ground to halt during the economic depression of the 1890s.

There was almost no increase in St Kilda's population in the decade from 1891 to 1901. However, as development recovered in the early twentieth century the number of residents in St Kilda almost doubled between 1901 and 1921 rising from 20,500 to 38,500 as land was highly sought-after by a new generation of homebuilders seeking smaller detached dwellings, duplexes or flats. Whole new streets of neat brick cottages and villas appeared, however, in St Kilda East this largely remained a period of consolidation and infill on vacant land within the established residential areas, rather than expansion into the still largely undeveloped areas east of Hotham Street, although development did begin to creep along the length of Dandenong Road, following the route of the new electric tram introduced in 1911.

House, 5 Wando Grove

The subject site formed part of Crown Portion 176A Parish of Prahran, comprised of three and a half acres, which was purchased in February 1858 by W Jones.

Until the mid-1880s, all the land within the block now bounded by Alma, Lansdowne, Dandenong, and Orrong roads, totalling about 25 acres, was occupied by *Oakleigh Hall* a mansion built around 1864 for

merchant Ambrose Kyte. The main entrance to the estate was from Dandenong Road, where there was a gatehouse.

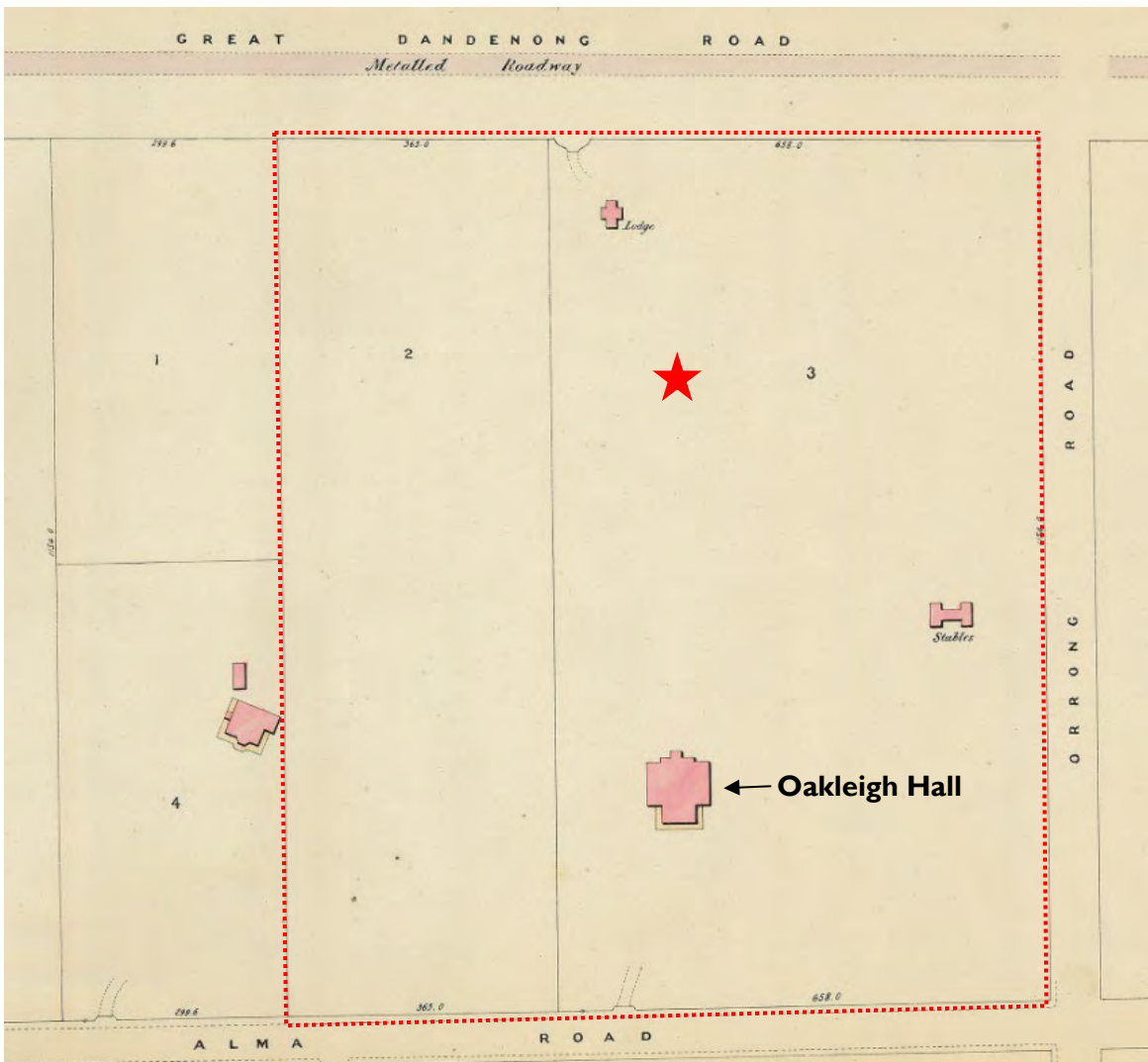


Figure 1 - Plan of the Borough of St Kilda, North Ward No. 4 (J.E.S. Vardy, 1873). Showing Oakleigh Hall and the boundaries of the estate (outlined), and the approximate location of the subject site (star).

In 1885, the then owner of Oakleigh Hall, Sir Samuel Wilson, sold the property to John Moore Highett (*Argus* 26 Sept 1885 p14). The grounds were subdivided at this time, and Hughenden Road and Wando Grove (the latter may have followed part of the original carriage drive) were formed, although land fronting Wando Grove remained undeveloped (apart from the former Oakleigh Hall gatehouse) until into the 20th century. Oakleigh Hall, in the current-day location of Celeste Court, survived until 1964.

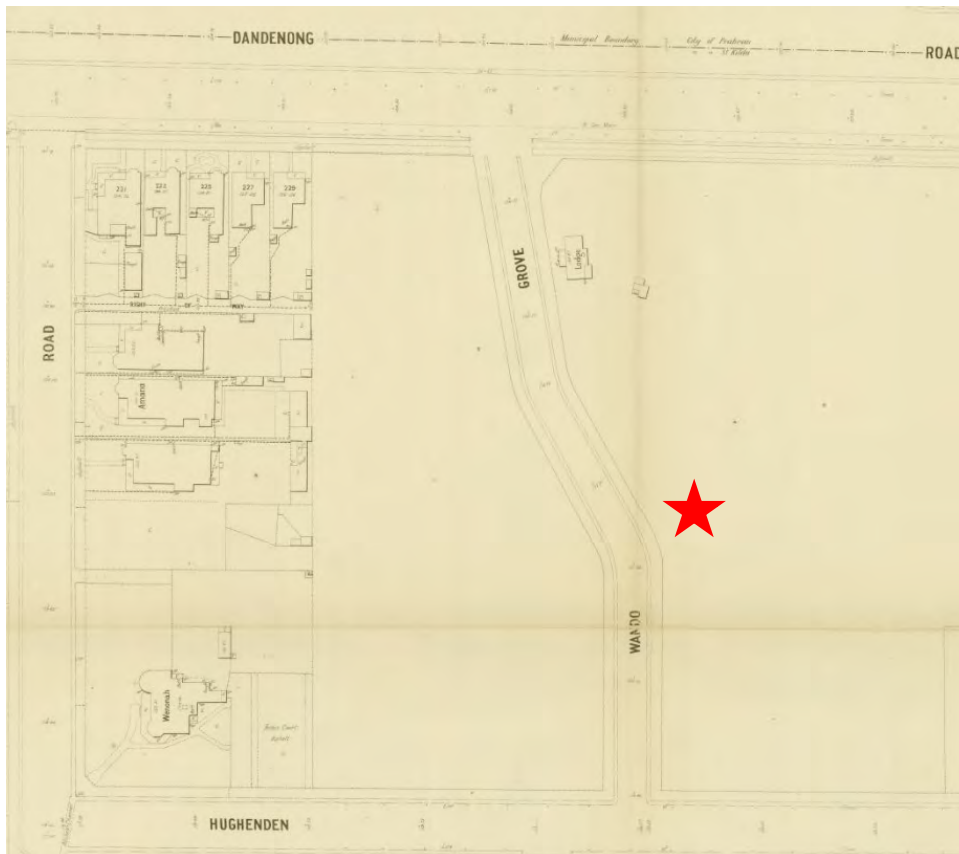


Figure 2 - MMBW Detail Plan No. 1411, dated 1901. (Source: State Library of Victoria)

From 1888, land totalling 1¾ acres on the east side of Wando Grove, at the corner of Dandenong Road, was owned by successive members of the à Beckett family; first barrister William Arthur Callander à Beckett of St Kilda, then his brother Malwyn à Beckett, and lastly his son William Gilbert à Beckett (CT). Subdivision created seven allotments which were sold between 1917 and 1918. Allotment 7, the subject site, was purchased in March 1918 by Thomas Armstrong (CT).

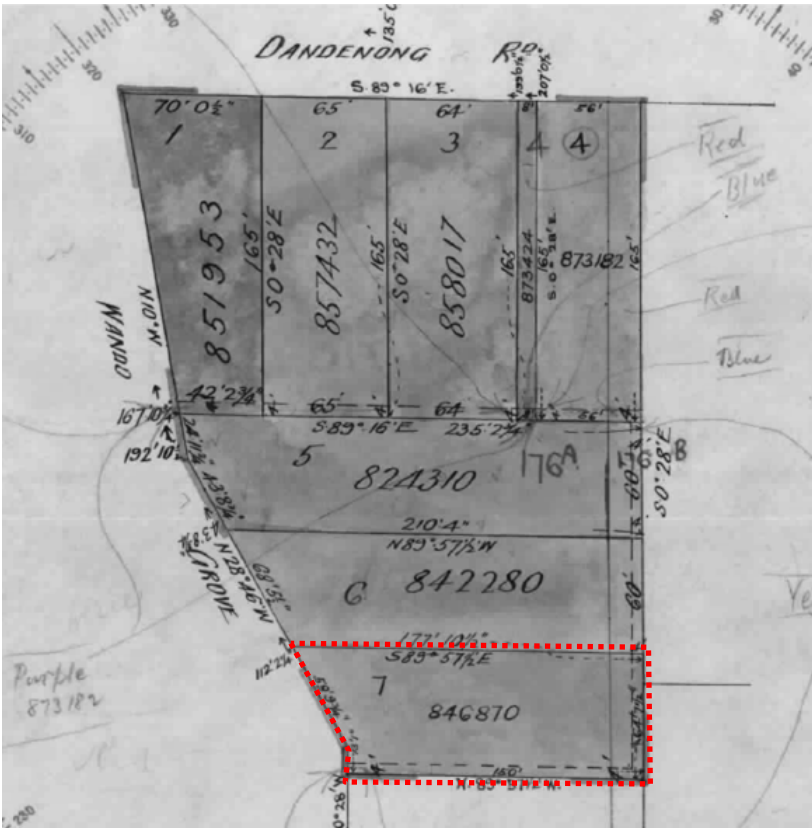


Figure 3 - Subdivision plan showing the seven allotments on the east side of Wando Grove which were sold between 1917 and 1918. The subject site is outlined. (Source: Certificate of Title Vol.2026 Fol.045)

Thomas Armstrong, a draper, and his wife Mary commissioned Howard Lawson to design (and likely also build) the subject house, which was completed in 1918. The Armstrongs were living at the house in November 1918 (*Argus* 25 Nov 1918 p1 - death notice for Clifford Allan Armstrong)

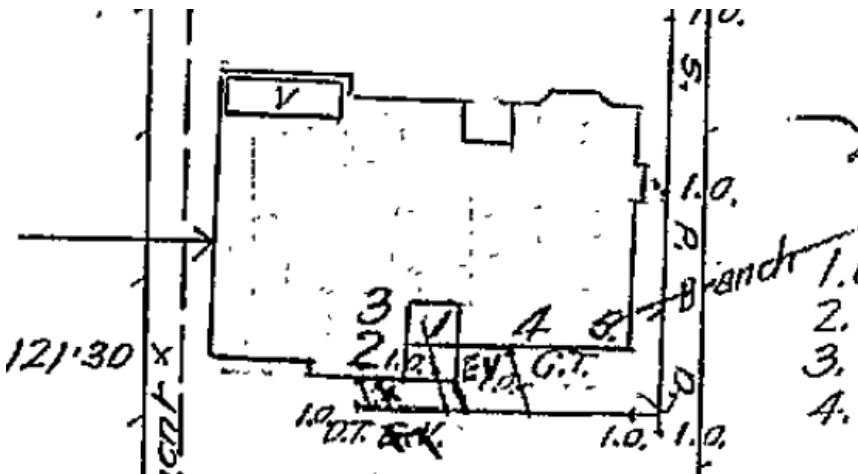


Figure 4 - Plan of Drainage (no.109835) dated 1918, showing footprint of the house. (Source: South East Water)

Howard Lawson was also responsible for four other houses in the same subdivision between 1918 and 1919, including his own residence 'Broxted' at 342 Dandenong Road (previously he had lived in nearby Shirley Grove), as well as 344 and 346 Dandenong Road and 3 Wando Grove (now demolished).

By the early 1920s Wando Grove was fully developed. The 1945 aerial photograph below shows that the front garden of the subject site was lawn with a path bordered by shrubs leading from the northwest corner to the house.

Following the death of Thomas in 1935 and Mary in 1938, ownership was transferred to three of their unmarried daughters who lived there for the rest of their lives (CT).



Figure 5 - 1945 Aerial Photograph (Source: Landata, Proj No 5, Melb. and Metropolitan Area Project, Run 18E, Frame 58102)

Howard Ratcliff Lawson (1886-1946) – Architect/Designer

Beginning in 1902 when he was 17 years old, Howard Lawson studied architecture and building construction at the Working Men's College (now RMIT) for three years (Goad 2012). Early on, he worked as a building manager for his uncle, Ernest Henry Ratcliff who was director of the Glen Iris Brick and Tile Company as well as a builder and investor. In 1912, Lawson garnered public attention for the efficiencies he achieved as the builder of the Britannia Theatre in Bourke Street, Melbourne.

From 1916, Lawson began referring to himself as an architect, and he became increasingly active as a spokesperson for both building efficiency and better town planning. Advertising his services as the 'architect who builds', Lawson designed and built flats and houses in a distinctive Arts and Crafts mode. In 1922 however Lawson was denied membership to the newly formed Architects Registration Board of Victoria and the opportunity to register as an architect, on the basis he was involved in construction as well as design (Blue 2020).

Lawson was an early pioneer of building conversions and often incorporated recycled materials into new buildings. Two of his best-known works are the Beverley Hills flats at South Yarra (c. 1935–1936) and the Garden of the Moon at Arthur's Seat. He designed numerous buildings in the St Kilda area.



Figure 6 - A 1918 advertisement. (Source: *The Prahran Telegraph* 2 March 1918, p4)

References

Blue, Virginia, 'Howard R Lawson: the architect who built', *Provenance: The Journal of Public Record Office Victoria*, issue no. 18, 2020.

Certificates of Title (CT): Vol. 1765 Fol. 923; Vol. 1794 Fol. 649; Vol. 1831 Fol. 186; Vol. 1881 Fol. 109; Vol. 2026 Fol. 045; Vol. 4106 Fol. 103.

Clare, John, 'The Post-Federation House in Melbourne: Bungalow and Vernacular Revival styles 1900-1930', Research Report, University of Melbourne, Oct. 1984.

Goad, Philip and Julie Willis (eds), *The Encyclopedia of Australian Architecture*, 2012, p402

Newspapers, various

Port Phillip Thematic Environmental History (TEH), February 2021

Sands & McDougall's street directories (SM)

Description

The subject site is located on the east side of Wando Grove and has an angled front boundary. The house is partially obscured from the street by trees in the front garden and a non-original solid timber front fence.

The single storey Bungalow style house has a broadly symmetrical expression, although the composition is actually asymmetrical. The prominent steeply pitched hipped roof is clad in terracotta tiles. There is a central hipped dormer with four windows and at either end there are two smaller hipped roof bays. The wide eaves have exposed rafters. Three tall brick chimneys feature projecting brick detailing to the upper part.

The walls are face red brick in stretcher bond. At the south end there is a porch (set beneath one of the smaller projecting hipped roofs) with square brick piers and a low brick wall. At the north end is a faceted bay (beneath the other small projecting hipped roof). The timber framed windows have double hung sashes with multi-paned upper sashes (of varying widths). Beneath the windows are brick corbels in a band of headers. The entrance is recessed and there is a timber board door and a multipaned window on one side.

Later rear additions are concealed from the street.

Comparative analysis

5 Wando Grove is significant as a highly intact Bungalow style residence, with some Craftsman influence, of the early Interwar period designed by Howard R Lawson.

The Bungalow style is characterised by informal design reflective of the influence of the Arts and Crafts aesthetic, especially in their combination of 'natural materials'. Bungalow style buildings typically feature broad simple roofs (usually gabled early in the Interwar period), exposed rafter ends to timber lined soffits, gable ends with battening (giving a half-timbered effect) or timber shingles, and the walls and other elements are commonly expressed in brick or render (roughcast or smooth) or contrasting combinations of both. Typical of the style, the subject house has wide eaves with exposed rafter ends and face red brick walls. The hipped roof is unusual for the early Interwar period, a time when gable roofs were dominant; hipped forms became more common in the 1930s.

The subject house has a broadly 'Craftsman' expression, a subtype of the Bungalow style derived from the designs spread by Gustav Stickley's magazine, *The Craftsman* (1901-16) – a principal propagator of the American Arts and Crafts movement – as well as a contemporary interest in Australia with 'primitive simplicity'. While not strictly conforming to the standard characteristics of the Craftsman type, which is generally defined by a rectangular form generally without projections, symmetrical façade, and a single-ridged front-facing or transverse gable roof, the subject house nonetheless gives the impression of symmetry and it is largely contained within a rectangular footprint.

Howard R. Lawson was a prominent and prolific builder and designer of houses and flats in St Kilda in the late 1910s and early 1920s. Lawson's houses and flats in St Kilda are characterised by Arts & Crafts and Bungalow materials, form and detailing including roughcast and shingled walls and low-pitched gabled roofs with wide eaves. His early projects in St Kilda include blocks of flats - 'Wimmera' at 11 Wimmera Place, 'Clairvaux' at 44 Blessington Street and 46 Blessington Street (all 1917) – and 'Grosvenor Mansions' the conversion of a terrace row of eight houses into sixteen flats at 74-88 William Street, Balaclava (1918-19). He designed and built at least twelve houses or flats in Dandenong Road alone by 1919 including his own residence 'Broxted' at no. 342 and nos 344, 346, 356 and 358.

The subject house is one of only two known single storey examples of Lawson's work to survive in the municipality, and of these it is the most distinctive. Other single storey examples include:

- 14 Shirley Grove, built 1915 (Contributory within HO6 precinct). An altered Victorian era house with a steeply pitched gable roof. Features a hipped dormer which is similar to the subject house.
- 1 Hennessey Avenue, built 1918 (Not in HO). Contemporary with the subject house, but a Californian bungalow type. Gable roof with roughcast rendered walls.

There are a number of other individually significant late Federation or early Interwar attic bungalows included in the HO in St Kilda or Elwood. As was typical at the time, all of these are gable roofed and most have an asymmetrical composition (the key exception being 76 Blessington Street). The main gable ends of all of these (except for 27 Normandy Road) are oriented to the street resulting in tall walls. The subject house is distinguished from these examples by having a steeply pitched hipped roof that appears to envelop the house, resulting in a dominant roof and low walls.

- 29 Westbury Street, St Kilda East, built 1913, designed by Leonard J. Flanagan (Citation 956, HO6 precinct)
- Caversham, 7 Lawson Avenue, Elwood, built 1914 (Citation 2044, HO403 precinct,)
- Dartington, 16 Selwyn Avenue, Elwood, built 1914 (Citation 802, HO8 precinct)
- Eumana, 76 Blessington Street, St Kilda (1914) (Citation 297, St Kilda Botanical Gardens and Environs Precinct)
- 31 Redan Street, St Kilda, built 1914-15, designed by Edwin J Ruck (Citation 787, HO6 precinct)
- 329 Barkly Street, Elwood, built 1916 (Citation 194, HO403 precinct)
- 11 Hennessey Avenue, Elwood, built 1919, designed by Carleton & Carleton (Citation 2014, St Kilda Botanical Gardens and Environs Precinct).

- 18 Normandy Road, Elwood, built 1919, designed and constructed by Matthew Sherlock (Citation 747, HO8 precinct).
 - 69A Alma Road, St Kilda, built 1920, designed by Sydney Smith & Ogg (Citation 144, HO6 precinct).
 - Sur La Mer, 382 Barkly Street, Elwood, built 1921, (Citation 2182, HO8 precinct)
-

Assessment

This place has been assessed in accordance with the processes and guidelines outlined in the Australia ICOMOS *Charter for Places of Cultural Heritage Significance (The Burra Charter) 2013*, using the Hercon criteria.

Recommendations

Add to the Heritage Overlay as an individual place. Specific controls are not required.

Primary source

RBA Architects & Conservation Consultants, *HO7 Elwood St Kilda Balaclava Ripponlea Precinct Heritage Review Stage 2, 2021*

Other studies

Andrew Ward & Associates, *Port Phillip Heritage Review, 1998*

Other images





Area to be included in HO



City of Port Phillip Heritage Review

Place name: Chudleigh Court
Other names: -

Citation No:
2426



Address: 9 Dickens Street,
Elwood

Heritage Precinct: Not applicable

Category: Residential: Flats

Heritage Overlay: HO544

Style: Postwar - Modernist

Graded as: Significant

Constructed: 1958

Victorian Heritage Register: No

Designer: Bailey and Tilley Home
Plan Service

Amendment: C206port

Comment: New citation

Significance

What is significant?

Chudleigh Court at 9 Dickens Street, Elwood, designed by Bailey & Tilley Home Plan Service in 1958 and constructed by Ronald Wilfred Sheldon for Abraham and Deborah Rosenberg, is significant.

Chudleigh Court consists of two adjoining blocks – front/main block and small rear/southern block. The cream brick buildings have an elongated form with a skillion roof clad in metal sheeting. The roof has a wide eaves overhang whose soffit is lined with timber-boards and there are exposed rafter ends and brackets. The narrow north/street elevation has steel-framed windows to the west end and metal lettering to the east end. The triangular balconies to the east/garden side have timber-framed openings, whereas there are steel windows to the gallery on the west/driveway side. The metal balustrading to both sides features a triangular pattern.

Other contributory elements include the low brick front fence and the two blocks of original garages in the south-west corner (northern and southern), with communal laundry facilities and a small caretaker flat above the southern block.

Alterations and additions are not significant.

How is it significant?

Chudleigh Court at 9 Dickens Street, Elwood is of local historic and aesthetic significance to the City of Port Phillip.

Why is it significant?

Chudleigh Court is historically significant as being demonstrative of the extensive flat building program that has characterised much of the 20th century history of the municipality but especially the southern parts and which gained pace after World War II with the introduction of the Own-Your-Own (OYO) option. The postwar flat typology evolved especially within the Jewish community and imbued the area with a progressive, international character. The site is also significant in that it reflects a common land development circumstance in this part of the municipality as a substantial Victorian period villa on a relatively large allotment that was replaced with a block of flats. During the mid to late 1950s, the demand for flat development in the area, recognised as Melbourne's flat epicentre, was so great that many individuals/couples entered the development market. In this case, the Rosenbergs capitalised on their large holdings in a desirable area near to amenities, such as cafes etc. for 'flatites' (as flat dwellers were known) and the synagogue for the Jewish community. (Criterion A)

Chudleigh Court is aesthetically significant as an intact and distinctive block of Modernist flats from the latter part of the post-World War II period. The use of cream brick and geometric patterns to the metal balustrading characterises the period however it is an early example of this emerging trend and distinguished from the norm by the skillion roof form and triangular projections on the east elevation creating relatively generous, semi-private garden zones in front of each flat which also allow for large windows to that side. (Criterion E)

Thematic context

Victoria's framework of historical themes

6. Building towns, cities and the garden state: 6.3 Shaping the suburbs, 6.7 Making homes for Victorians

Port Phillip thematic environmental history

5. Buildings and cultural landscapes: 5.2 Shaping the suburbs (5.2.2 Private development), 5.3 Diverse Housing (5.3.5 Higher-density housing)

History

Contextual history

The early twentieth century saw a marked decline in the viability of large mansions across Melbourne's suburbs in general, but it was particularly felt in the more affluent inner southern suburbs such as St Kilda and Brighton, where land was highly sought-after by a new generation of homebuilders seeking smaller detached dwellings, duplexes or flats. The trend toward higher-density living in St Kilda began with the conversion of mansions and terrace houses into boarding houses in the early 1900s and continued with the first purpose-built flats that appeared at the beginning of World War I. A 1919 newspaper article noted:

It was held to be no longer necessary to labour with a house and all the domestic drudgery that entailed when by borrowing Continental ideas, people who could afford it could live in flats... Land has become so valuable the villa of the Victorian days, in a crowded thoroughfare, no longer shows anything like an adequate return of interest on the land's present capital value. It is more profitable to pull the house erected thereon down, and to erect flats. When the flat became popular in England the experiment was made in St Kilda, and it did not take long to discover there was a genuine demand for flats (Prahran Telegraph, 18 October 1919, p.4)

Higher-density housing in the form of boarding houses paved the way to flat development. Flats first appeared in Melbourne around 1906 and slowly spread to the suburbs. They followed a strong pattern of development, appearing close to transport routes, particularly along or within walking distance of tram routes, to allow easy travel to the city. With their proximity to the beach and parklands, good public

transport networks and seaside character, the suburbs of St Kilda and Elwood were especially popular locations for flats. Flats became a dominant characteristic of St Kilda and Elwood, and still make up a high percentage of dwellings in those areas. They include some of the earliest surviving flats in Melbourne, some of the best examples of architectural styles and types of flats, and as a group demonstrate the increasing popularity of the lifestyle of flat living from the early twentieth century (TEH).

There was huge growth in flat development in St Kilda and Elwood in the 1920 and 1930s, attracting migrants, single people, and people of diverse sexuality. In 1920 there were 527 purpose-built flats in 92 blocks in St Kilda municipality. By 1925 this had increased to 884 flats in 164 blocks, including large complexes such as the Ardoch flats in Dandenong Road. By 1935, despite a slowing of development due to the Great Depression, there were more than 2,800 flats in over 500 blocks. A further 2,000 flats were added by 1940; however, the onset of World War II slowed development. Nonetheless, by 1947 St Kilda contained 5,500 purpose-built flats, a quarter of all flats in Melbourne (TEH).

During the early 1950s, a crisis was developing however as the number of building permits being issued for flats was woefully inadequate – in 1952, the St Kilda municipality issued 6 permits (of 42 across the city) for 49 units and (Argus, 1 March 1954, p10).

The erection of more blocks of flats is one of the most urgent housing needs of Melbourne.

Agents find it impossible to meet the big inquiry for this type of home.

Another boom in flat-building began in the mid-1950s. This was fuelled by population growth and a housing shortage after World War II, changes to building codes and the introduction of company title (and later stratum and strata-title) that enabled flats to be sold individually as 'own your own' units (TEH).

In an 1956 article entitled 'St Kilda Grows as Flat Centre' the zeitgeist was well articulated (Argus, 27 April 1956, p17):

In recent years the major portion of new building work in St. Kilda has been in flats, and this will continue.

The district can still do with many more flats to meet the demand of the big floating population associated with a quickly growing city like Melbourne.

St. Kilda has all the advantages for flat life of a big city. It is well-served by transport from and to the city – less than four miles distant.

Shops have developed to meet the needs of "flatites;" and there are now numerous cafes serving meals at all hours.

Real estate agents have- waiting lists of tenants for flats and apartments of all kinds.

... A feature of real estate activity in St. Kilda at present is the sale, of "own-your-own" flats. Since it has become possible for each flat owner to have a certificate of title, sales have been made more freely.

The buildings which are being subdivided in this manner must be of modern construction with concrete floors, and comply with certain regulations.

... New Australians are reported to be showing, interest in this form of home ownership.

... Investors are showing a renewed interest in blocks of flats, and are reported to be buying where the net return is below bank interest rate. They regard the present return as a minimum.

Between 1961 and 1971, flats increased from 38% to 62% of all dwellings in St Kilda. The boom in flat building saw St Kilda's population increased by 10,000 people at a time when the populations of other inner-city suburbs were declining (TEH).



Chudleigh Court

The subject site formed parts of Crown portions 95 and 96 in the Parish of Prahran which were sold in the 1850s (pre-1857). Crown portion 95, comprised of two and a half acres, was purchased by T L M Winter, a land agent and territorial magistrate. Crown portion 96, comprised of just over two acres, was purchased by merchant Thomas James Nankivill.

In 1882, the larger part of the subject site was excised from Crown portion 95 and acquired by William Richards of High Street St Kilda (CT v.1332 f.342). It appears that a house was erected on the site soon after. The rate book for December 1883, records a 9-roomed brick villa, with a NAV of £120, owned and occupied by grocer William Richards in Dickens Street (RB no.1447).

The site changed hands several times over the next few decades. In 1887, ownership was transferred to William Brown, solicitor, of 79 Chancery Lane Melbourne. For a brief period between 1910 and 1911, it was owned by architect Sydney Wigham Smith of noted practice Sydney Smith, Ogg & Serpell. Then in 1911, it was acquired by Simon Davis, clothing manufacturer of Villiers Street North Melbourne, who owned it until his death in 1931.

The 1898 MMBW plan (Figure 1) shows the villa at 9 Dickens Street with a stables and other outbuildings at the rear. At that time there was a rear lane. It was one of several villas in this part of Dickens Street between Tennyson Street and Brighton Road, and to the south were a number of substantial properties.

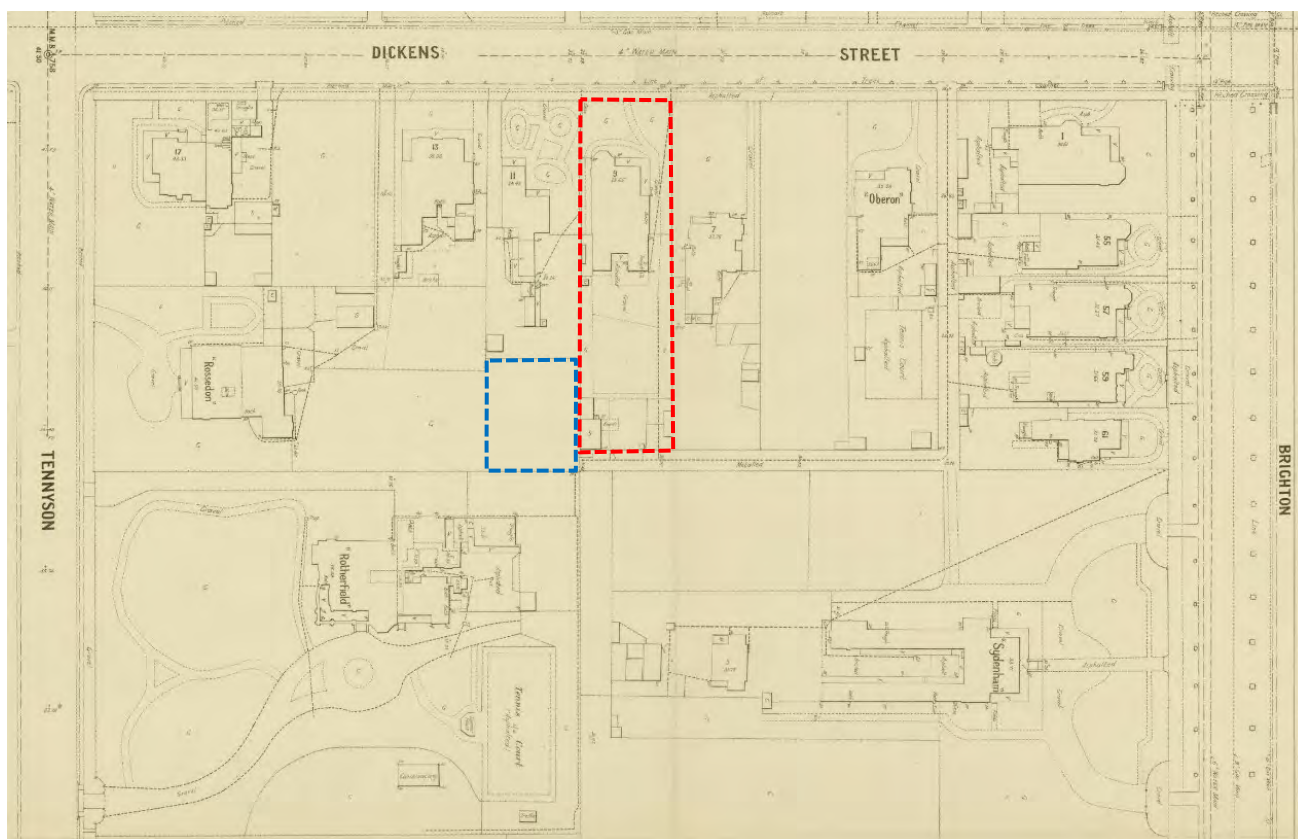


Figure 1 - MMBW detail plan no. 1384, dated 1898. The subject site is outlined, the original parcel associated with no.9 (red) and the additional parcel (blue). (Source State Library of Victoria)

A 1924 aerial photograph (Figure 2) shows the villa at 9 Dickens Street during the early Interwar period, as the area was becoming more densely developed with the subdivision of larger estates and the creation of new streets (e.g. Hennessy Street). Dickens Street, with ready access to the electric trams along Mitford Street (from 1906) and Brighton Road (from 1926) and proximity to the St Kilda Botanic Gardens became a popular location for flats during the Interwar period when seventeen blocks of flats were built, including ten in the five years from 1933 to 1938.



Figure 2 - Aerial photograph, 1924. ('Just above St. Kilda looking towards Luna Park', E Ebell) (Source: State Library of Victoria, H91.365/3)

From about 1929, 9 Dickens Street was tenanted by Moritz and Adelaide Rosenberg, and Moritz's adult daughter Ruth (SM). Moritz, who had migrated to Australia from Russia in the late 19th century, died in 1934 (Age 26 Feb 1934 p1). The following year the property was purchased by his widow and his two daughters, Ruth and Deborah (CT v.5967 f.315). Adelaide died in 1947 (BDM 6265/1947). In June 1949, ownership was reassigned to Deborah and her English-born husband Abraham Rosenberg, a shoe retailer.



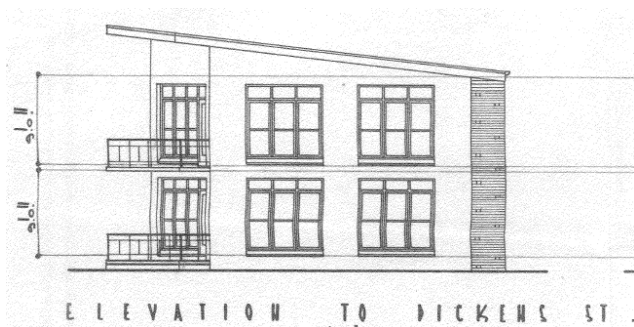
Figure 3 - Aerial photograph dated 1945, showing the approximate boundaries of the subject site. (Source: Landata, Proj No 5, Melbourne and Metropolitan Area Project, Run 16, Frame 57848)

Chudleigh Court was constructed on the cusp of the next boom in flat building in the street. In the decade from 1959 to 1969 15 blocks of flats were erected in Dickens Street. Chudleigh Court was conceived, and likely also constructed, in two stages between 1957 and 1958.

In March 1957, a building permit was issued to the Rosenbergs for 8 brick flats estimated to cost £15,000 (BP U3444). The undated stamped permit drawings, prepared by Bailey & Tilley Home Planning Service, shows these flats located to the rear of the retained 19th century villa (BF). The builder was Ronald Wilfred Sheldon of 3 Riverside Avenue East Kew. This is the only site Sheldon is associated with in the municipality.

In April 1957, a second building permit was issued for brick garages, caretaker's quarters and laundry, for an estimated cost of £4,000, located on neighbouring land on the west side (BP U3530). The land for the garages was however formally acquired by the Rosenbergs in October 1957, creating an 'L' shaped parcel. At the same time, the Rosenbergs placed ownership of the property in the name of Chudleigh Court P/L (CT v.8190 f.709).

In February 1958, a third building permit was issued for an additional eight flats, in place of the 19th century villa at the front of the site, to be constructed as an extension to the earlier building and replicating the floor plans and external design (BP 57/131). The previously approved flats appear to have been constructed by this time as they are indicated as 'existing flats' on the drawing. Again, the undated stamped permit drawings were prepared by Bailey & Tilley Home Planning Service, and the builder was Ronald Wilfred Sheldon.



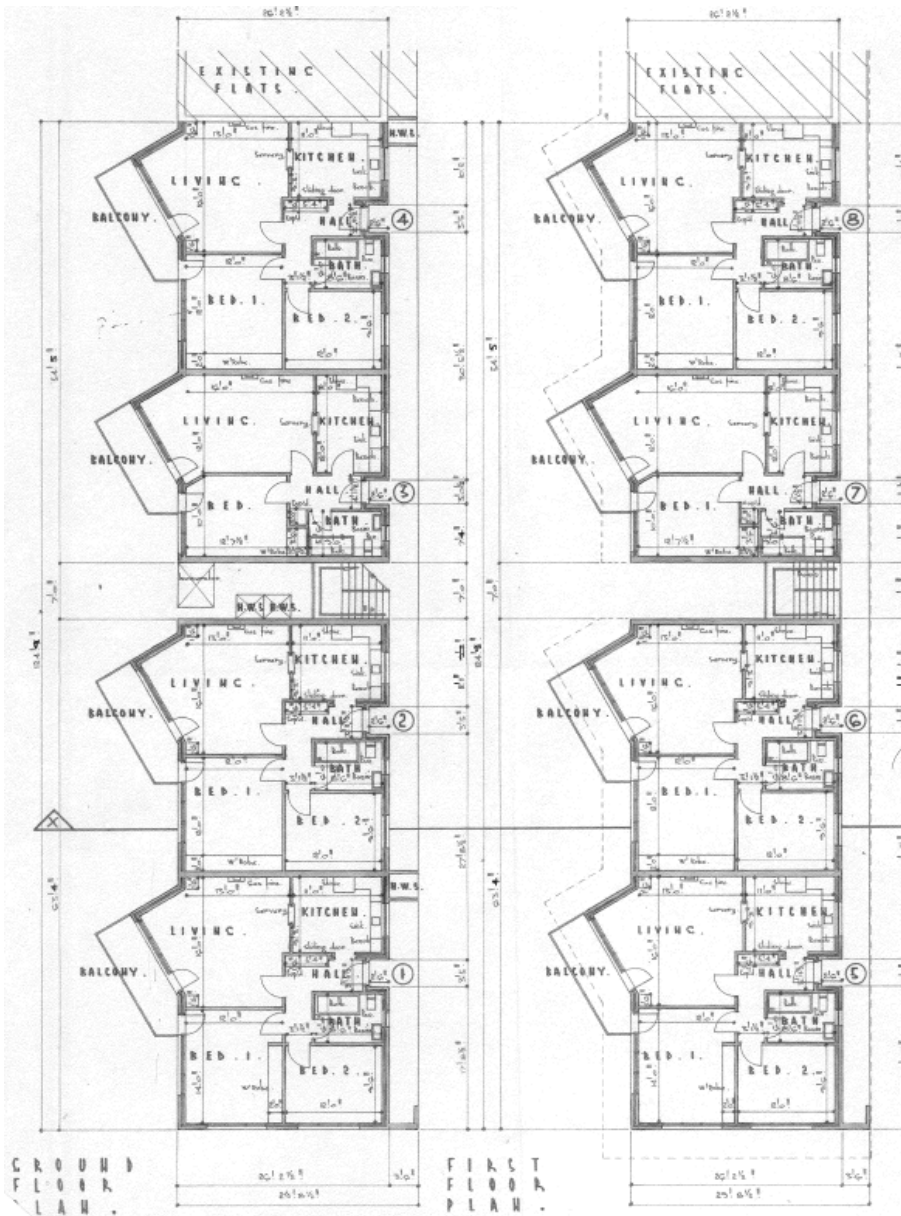


Figure 4 - Undated drawings (elevations and plans) relating to building permit 57/131 issued February 1958. (Source: Council Building File)

The flats were largely built as depicted in the drawings except there is only one window to each flat on the north/Dickens Street elevation.

All sixteen flats had been completed by September 1958, when they were advertised for sale in the *Australian Jewish News* (Figure 5) as ‘superb own your own luxury units’ located just a few minutes from the ‘beach, tram, synagogue’.

In April 1960, a building permit was issued for a brick fence (BP 57/1264).

FOR PRIVATE SALE
"CHUDLEIGH COURT"
9 DICKENS STREET, ELWOOD

16 Superb Own Your Own Luxury Units, cont. 1 or 2 Bed-rooms, Spacious Kitchen, Large Living room, SUNDECK, GARAGE. Beautifully fitted throughout with B.I.C., B.I.R., El. H.W.S. Few mins. Beach, Tram, Synagogue From £5,200.

TERMS: £2,500 DEP, Bal. £10 p.w. incl. 6½% p.a. Int.
 OPEN FOR INSPECTION ANY SATURDAY AND SUNDAY 2—4 p.m.
 or by Appt. with AUCTION SPECIALISTS

I. A. WATT & CO. R.E.S.I.
 (Princ. FRANK DURRA)
 358 COLLINS STREET, MELBOURNE. MU 2111 — MU 4516
 After Hours: XJ 5134 — FW 2181.

Figure 5 – Newspaper advertisement (Source: *The Australian Jewish News*, 19 Sept 1958, p15)

Bailey & Tilley Home Plan Service

Bailey & Tilley Home Plan Service was a partnership between Norman Victor Tilley and Harold Edwin Bailey. The business was established by at least 1949, when an advertisement for a 'boy' for draughting appeared in the *Argus* (12 Feb 1949 p26). Their offices were located at 583 Glenhuntly Road, South Caulfield. While the partnership was supposedly dissolved in June 1955, the business evidently continued to operate (*Argus* 19 Mar 1956 p10). In 1956, one article describes the business as 'plan drafting and building', and another advertises 'house, shop, factory, and renovation plans prepared by experienced draughtsmen at moderate prices' (*Argus* 19 Mar 1956 p10; *Argus* 4 Oct 1956 p15). Although Bailey & Tilley were listed as architects in the 1955 and 1960 Sands and McDougall's directories, they appear to have primarily operated as a drafting service.

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Ancestry.com

Births Deaths & Marriages Victoria records (BDM)

Certificates of Title (CT)

Newspapers: *Argus*, *Australian Jewish News*

O'Hanlon, Seamus, 'Home together, Home apart: Boarding house, hostel and flat life in Melbourne c.1900-1940', PhD Thesis, History Department, Monash University

Parish Plan - at Elwood, Parish of Prahran, P81-13 (PP)

Port Phillip Thematic Environmental History (TEH), February 2021

Realestate.com.au (RE), images dating to early 2021

Sands & McDougall's Directories (SM)

Sawyer, Terry, (1982) 'Residential flats in Melbourne: the development of a building type to 1950', Honours thesis, Faculty of Architecture, Building and Planning, The University of Melbourne

St Kilda Council Building File (BF)

St Kilda Council Building Permits (BP)

Description

The flat, L-shaped site has an area of 2000m². There is a concrete-paved driveway along the west boundary and garden areas to the east side of the block with lawn and perimeter garden beds. A low cream brick fence with curved ends extends across the front, north boundary allowing views of the building and garden area from the public domain.

The building consists of 16 flats in two blocks – the front/main block has seven flats to each level, and the smaller rear/southern block has one flat to each level. The rear block is partly visible to the west side.

In the south-west corner, are two blocks of garages (six each). There are communal laundry facilities above each garage block in addition to a small caretakers flat above part of the southern garage block. The rear wall of the caretaker's flat is visible from Hennessy Street.

The larger front building has an elongated form with a skillion roof clad in metal sheeting. The roof has a wide eaves overhang whose soffit is lined with timber-boards and there are exposed rafter ends to the east side and brackets to the north side.

The walls are cream brick in stretcher bond. The narrow north elevation presents to the street. It is largely blank with a steel-framed window at each level at the west end and name of the building in metal curvilinear lettering at the east end.

To the east side, the rectilinear footprint breaks forward (northwards) with triangular projections attached to which is a triangular balcony. These projections serve to create semi-private zones in front of each flat. The balconies have concrete decks and metal balustrading with a continuous, elongated triangular pattern. The windows to this side are tall, timber-framed, and comprised of an upper highlight and double-hung sash below.

The entry to individual flats is from the west side – recessed at both levels and accessed by a concrete gallery to the first floor with the same metal balustrading as employed to the east side. The windows to the west side are steel casements set in a timber frame (RE).

Internally, the floor plan was consistent to the 14 flats in the main/front wing. There was a central entry hall (with cupboard) and bathroom, with two bedrooms to the northern end (the main one with built-in wardrobes) and living and kitchen connected by a servery to the southern end. The floor plan of the two flats to the rear wing was more elongated.

Comparative analysis

The southern parts of the municipality – St Kilda (East) and Elwood - have manifold Post-war flats. Whilst many are generic, there is a relatively high concentration of distinctive examples. Many of the latter are architect-designed examples, although builders/developers with draughting services were responsible for some. There is poor documentation for how the latter (builder/developers) operated, that is what personnel were employed and what training or experience they had. Among the architects, several were émigrés who were active in the area and at the forefront of the evolution of this building type such as Mordecai Benshemesh, Michael R E Feldhagen, Dr Ernest Fooks, and Kurt Popper, often working for Jewish clients and accommodating the influx of Central and Eastern European Jewish refugees who were accustomed to apartment living. In addition, several Australian-born architects were responsible for flats but rarely multiple examples.

The subject building is indicative of the approach that evolved during the end of the Postwar period – circa mid to late 1950s/early 1960s. Moving further into the 1960s, there was a shift to what is often defined as the late 20th century period, when the influence of Brutalism becomes apparent in the bolder forms and use of brown brick. Although cream brick was also common during the earlier phase of the Postwar period, during the late 1940s and early 1950s, a Functionalist mode held sway at that time with parapets and steel-

framed windows. From about the mid-1950s, whilst roofs were typically flat, they were usually expressed with soffits, often deep, and openings were typically timber-framed.

Among the contemporary work of non-émigré architects, there is considerable variety though limited compass except for some with the blocks at 21 Redan Street and 33 Pine Avenue, where some triangular or splayed geometry has been employed.

- Flats, 21 Redan Street, St Kilda, 1958, John & Phyllis Murphy (Citation 785, HO503). An unusual two-storey red brick building, comprised of two-level flats with separate entries, with a prow-like form and gable roof. Triangular forms are employed under the encompassing roof to provide privacy.
- Flats, 33 Pine Avenue, Elwood, 1959, Leslie J W Reed (Citation 2339, HO429). Cream brick, tile-clad hipped roof, with a flat roof, stairwell block to the front, screen walls, and a splayed profile to the upper-level balconies, which have conventional railing detailing. The windows are timber-framed, including spandrels to the facade.
- Flats, 39 Southey Street, Elwood, 1959, L.G. Grant & Associates (Contributory within St Kilda Botanical Gardens & Environs precinct) Flat roof, cream brick with extensive use of decorative brickwork and screens to the front, as well as a bowed concrete canopy to the entrance supported on steel poles.
- Flats, 63-69 Tennyson Street, Elwood, 1959-60, A V Jennings (Citation 2344, HO436). A series of four mirrored blocks in cream brick with flat roofs, stepped form with undercroft carparking supported by piloti, and banks of windows with spandrels.

Among the émigré architects, comparison can be drawn with some of the work of Mordecai Benshemesh and Ernest Fooks, but less so with Kurt Popper and Michael R.E. Feldhagen, Popper's contemporary output is generally indicative of a restrained version of contemporary Modernism. Although his contemporary work shares a similar material palette, he generally employed more contained footprints and forms. The early work of Feldhagen, beginning in the early 1960s, is typically distinguished by the use breeze block and other contrasting materials to create more varied and decorative exteriors, usually in a Featurist mode.

Several blocks of flats designed by the Palestinian-born, Australian educated architect Mordecai Benshemesh are included within the heritage overlay (with others yet to be assessed). His early work, dating from about 1951 to 1956, was overtly Functionalist. Subsequently his work varied with the group constructed in 1960 bearing comparison with *Chudleigh Court*.

- Two notable blocks were completed in 1959. The iconic *Edgewater Towers* at 12 Marine Parade, St Kilda (Citation 2049) and another at 22 Westbury Street (Contributory within HO6 precinct). The former is in a different category, as it is a multi-storey International style building in white painted concrete with continuous bands of glazing to each elevation. The latter bears some similarities with the subject site in the general material palette but has a flat roof and circulation is by glazed stairwells, which serve to separate adjacent balconies and so provide some privacy for neighbouring occupants.
- Group of three at 306 Dandenong Road (*Leaworra*), 16 Lansdowne Road and 8 Westbury Street (*Wolverton*), St Kilda East, 1960 (Citation 2429). All three buildings are intact and three storey, have cream brick walls and flat roofs with wide, sheet-lined soffits to the front/main elevations, and timber-framed openings. They have balconies with angled geometry either in the vertical (canted) or horizontal (splayed) plane orientated to take best advantage of the solar access and the site configuration. The stairwells have louvred glass. Decorative elements or treatments include ceramic tiling, some panels to the balustrades, projecting bricks, and/or staggered glazing bars to the windows. All retain their original low cream brick fence and associated letter box enclosures. The circulation is different in that the flats are divided into blocks with either two or three enclosed stairwells (at the front) rather than the open stairs and galleries to *Chudleigh Court*.

Locally based, Slovakian-born Ernest Fooks (originally Fuchs) designed many buildings in the municipality, but to date only a few of these have been recognized within the heritage overlay, though several are

currently under review. *Park View*, built about the same time, similarly has a varied footprint however the massing is different to that of *Chudleigh Court* as is some of the detailing

- *Park View*, 5 Herbert Street, St Kilda, 1958-59 (Citation 2427). Triangular/splayed balconies have been employed to create private zones however in the case of *Park View* the stepped configuration was primarily to optimise views of the St Kilda Botanical Gardens opposite. The building has a flat roof and the circulation is similarly along external galleries, though the stair is in a separate/discrete unit with projecting bricks. Window units to the garden elevations (west and north) feature spandrel panels and the balconies have a combination of glass and metal balustrading.
- Flats, 5 May Street, Elwood 1957 (Not in HO). Cream brick, two storey flats with a tiled hip tile roof, in a U-plan around a central garden courtyard. Typically Fooksian elongated window proportions with some larger mullions and coloured spandrels. Concrete balconies with metal balusters.
- Flats, 12 Milton Street, Elwood 1961 (Contributory within St Kilda Botanical Gardens & Environs precinct). Intact, cuboid form being slightly stepped at front, cream brick with spandrels and elongated window proportions. Similar to *Park View* but on a narrower site.

Assessment

This place has been assessed in accordance with the processes and guidelines outlined in the Australia ICOMOS *Charter for Places of Cultural Heritage Significance (The Burra Charter) 2013*, using the Hercon criteria.

Recommendations

Add to the Heritage Overlay as an individual place.

In the Schedule to the Heritage Overlay apply:

- outbuilding controls (original garages).
- fence controls (original front fence)

Primary source

RBA Architects & Conservation Consultants, *H07 Elwood St Kilda Balaclava Ripponlea Precinct heritage review Stage 2*, 2021

Other studies

Andrew Ward & Associates, *Port Phillip Heritage Review*, 1998

Other images



Building from the east side



Building from the west side

Area to be included in HO



City of Port Phillip Heritage Review

Place name: Park View
Other names: -

Citation No:
2427



Address: 5 Herbert Street, St Kilda

Heritage Precinct: Not applicable

Category: Residential: Flats

Heritage Overlay: HO545

Style: Postwar - Modernist

Graded as: Significant

Constructed: 1958-59

Victorian Heritage Register: No

Designer: Dr Ernest Fooks

Amendment: C206port

Comment: New citation

Significance

What is significant?

Park View at 5 Herbert Street, St Kilda, designed by Dr Ernest Fooks in late 1958 and constructed by local builder Rudolph Kalish during 1959, is significant.

Park View has a flat roof, clad in sheet metal, with a wide eaves overhang, and a stepped footprint to the north side to maximise views of the St Kilda Botanical Gardens opposite. The splayed balconies to the latter are cantilevered with a central steel pole and have panels to the front with metal balustrading that incorporates circular motifs to the longer sides. The timber-framed windows to the main elevations (north and east) are organized in bands alternating with spandrel panels (painted blue but originally brown). The circulation core is external and consists of a tower with projecting bricks, which is separated from the main part of the building by a metal screen, and galleries to the south side.

The original garage block in the south-west corner and low cream brick fence to the front boundary which incorporates a recess for letterboxes also contribute to the significance of the place.

Alterations and additions are not significant.

How is it significant?

Park View at 5 Herbert Street, St Kilda is of local historical and aesthetic significance to the City of Port Phillip.

Why is it significant?

Park View is historically significant as being demonstrative of the extensive flat building program that has characterised much of the 20th century history of the municipality but especially the southern parts and which gained pace after WWII with the introduction of the Own-Your-Own (OYO) option. The site is also significant as it reflects a common pattern of land development in this part of the municipality whereby the extant building replaced a Victorian house/mansion, which had itself been converted to flats in the interim. The postwar flat typology evolved with the work of several émigré architects, who were responsible for a high proportion of the architect-designed examples and who often worked with Jewish developers. These imbued the area with a progressive, International character, and which was supported by the often local Jewish community. It also has associations with the Slovakian-born architect Dr Ernest Fooks, whose office was located in St Kilda, was at the forefront of postwar flat design, and responsible for other key buildings in the area. (Criterion A)

Park View is of aesthetic significance as an early and seminal example with limited comparison of a more nuanced approach to Modernist flat design, undoubtedly influenced by Fooks' recent international trip on which he, along with his wife Noemi, researched the latest trends. The elements which distinguish the building are the stepped footprint, orientated to maximise views, separate and prominent stairwell tower with distinct detailing (staggered glazing bars and projecting bricks), splayed balconies, and characteristic Fooksian elements such as timber-framed spandrel panels and elongated window proportions. The emerging variant of Modernism in which materials, colour, and patterning (in the brickwork and to the balustrading) to differentiate buildings are also evident here, providing a complex interplay of forms and detailing. Its overall intactness is complemented by the retention of the cream brick front fence. (Criterion E)

Thematic context

Victoria's framework of historical themes

6. Building towns, cities and the garden state: 6.3 Shaping the suburbs, 6.7 Making homes for Victorians

Port Phillip thematic environmental history

5. Buildings and cultural landscapes: 5.2 Shaping the suburbs (5.2.2 Private development), 5.3 Diverse Housing (5.3.5 Higher-density housing)

History

Contextual history

The early twentieth century saw a marked decline in the viability of large mansions across Melbourne's suburbs in general, but it was particularly felt in the more affluent inner southern suburbs such as St Kilda and Brighton, where land was highly sought-after by a new generation of homebuilders seeking smaller detached dwellings, duplexes or flats. The trend toward higher-density living in St Kilda began with the conversion of mansions and terrace houses into boarding houses in the early 1900s and continued with the first purpose-built flats that appeared at the beginning of World War I. A 1919 newspaper article noted:

It was held to be no longer necessary to labour with a house and all the domestic drudgery that entailed when by borrowing Continental ideas, people who could afford it could live in flats... Land has become so valuable the villa of the Victorian days, in a crowded thoroughfare, no longer shows anything like an adequate return of interest on the land's present capital value. It is more profitable to pull the house erected thereon down, and to erect flats. When the flat became popular in England the experiment was made in St Kilda, and it did not take long to discover there was a genuine demand for flats (Prahran Telegraph, 18 October 1919, p.4)

Higher-density housing in the form of boarding houses paved the way to flat development. Flats first appeared in Melbourne around 1906 and slowly spread to the suburbs. They followed a strong pattern of development, appearing close to transport routes, particularly along or within walking distance of tram routes, to allow easy travel to the city. With their proximity to the beach and parklands, good public transport networks and seaside character, the suburbs of St Kilda and Elwood were especially popular locations for flats. Flats became a dominant characteristic of St Kilda and Elwood, and still make up a high percentage of dwellings in those areas. They include some of the earliest surviving flats in Melbourne, some of the best examples of architectural styles and types of flats, and as a group demonstrate the increasing popularity of the lifestyle of flat living from the early twentieth century (TEH).

There was huge growth in flat development in St Kilda and Elwood in the 1920 and 1930s, attracting migrants, single people, and people of diverse sexuality. In 1920 there were 527 purpose-built flats in 92 blocks in St Kilda municipality. By 1925 this had increased to 884 flats in 164 blocks, including large complexes such as the Ardoch flats in Dandenong Road. By 1935, despite a slowing of development due to the Great Depression, there were more than 2,800 flats in over 500 blocks. A further 2,000 flats were added by 1940; however, the onset of World War II slowed development. Nonetheless, by 1947 St Kilda contained 5,500 purpose-built flats, a quarter of all flats in Melbourne (TEH).

Another boom in flat-building began in the mid-1950s. This was fuelled by population growth and a housing shortage after World War II, changes to building codes and the introduction of company title (and later stratum and strata-title) that enabled flats to be sold individually as 'own your own' units (TEH).

During the early 1950s, a crisis was developing as the number of permits being issued was woefully inadequate however – in 1952, the St Kilda municipality issued 6 permits (of 42 across the city) for 49 units and (*Argus* 1 Mar 1954 p10).

The erection of more blocks of flats is one of the most urgent housing needs of Melbourne.

Agents find it impossible to meet the big inquiry for this type of home.

In an article entitled, 'St Kilda Grows as Flat Centre' the zeitgeist was captured (*Argus*, 27 April 1956, p17)

In recent years the major portion of new building work in St. Kilda has been in flats, and this will continue.

The district can still do with many more flats to meet the demand of the big floating population associated with a quickly growing city like Melbourne.

St. Kilda has all the advantages for flat life of a big city. It is well-served by transport from and to the city – less than four miles distant.

Shops have developed to meet the needs of "flatites;" and there are now numerous cafes serving meals at all hours.

Real estate agents have- waiting lists of tenants for flats and apartments of all kinds.

... A feature of real estate activity in St. Kilda at present is the sale, of "own-your-own" flats. Since it has become possible for each flat owner to have a certificate of title, sales have been made more freely.

The buildings which are being subdivided in this manner must be of modern construction with concrete floors, and comply with certain regulations.

... New Australians are reported to be showing, interest in this form of home ownership.

... Investors are showing a renewed interest in blocks of flats, and are reported to be buying where the net return is below bank interest rate. They regard the present return as a minimum.

Between 1961 and 1971, flats increased from 38% to 62% of all dwellings in St Kilda. The boom in flat building saw St Kilda's population increased by 10,000 people at a time when the populations of other inner-city suburbs were declining (TEH).

Park View

The site forms part of the original two-acre Crown Portion 87 at St Kilda purchased by E Fowler in late 1853 (PP), though initially by James Gill (*Argus* 25 Nov 1853 p5). Both men however were partners in the merchant/importing company Gill, Fowler & Co (B).

By 1855, this part of St Kilda had undergone minimal development and Herbert Street was not defined (K). On the 1864 Cox plan, whilst the gardens and Herbert Street are outlined, there was no development at the north end of Herbert Street, and the site formed part of larger parcel of land (C).

A house was built on the site for John Nicholson in 1868 designed by the noted architect George R Johnson and said to have been a fine Gothic Revival villa (RP). In September 1869, it was described as an 'ornate cottage' (*Argus* 28 Sep 1869 p3). The house stood for about 80 years before being demolished for the extant building.

The footprint of the original brick house was first depicted in 1873, which consisted of a projecting bay and offset verandah to the front (Figure 1). John Nicholson remained the occupant and there were also two timber outbuildings to the northern boundary.



Figure 1 - Footprint of original house in 1873. Vardy Plan, South Ward No.9. (Source: St Kilda Historical Society)

The first Torrens title was issued for the site in 1875, when it was acquired by William Bell Jackson. At that time, the holdings consisted of about 1 acre - that is, it also included the land now associated with 7 Herbert Street as well as 10A + 12 Mitford Street and (CT v779 f650). Jackson resided there for about seven years and was a respected colonist (*Argus* 26 Oct 1922 p9).

During the late 19th and early 20th century, the property changed hands with some regularity, being to the Federal Building Society in 1882 (CT v1343 f586), then to Emily Morison, Herbert Street in 1885, the United Property Co Ltd in 1890, the Federal Bank of Australia in 1892, and Louis William Rowden of Frankston in 1897 (CT v1732 f301).

According to the 1897 MMBW (Figure 2), the footprint of the original house, whose address was then no.7, seemed not to have been altered. There were paved areas to the front and a large paddock to the rear extending to Mitford Street. Although a name was not identified on the MMBW plan for the place, by 1902, it was being referred to as Yatton (*Herald* 26 Feb 1902 p4).

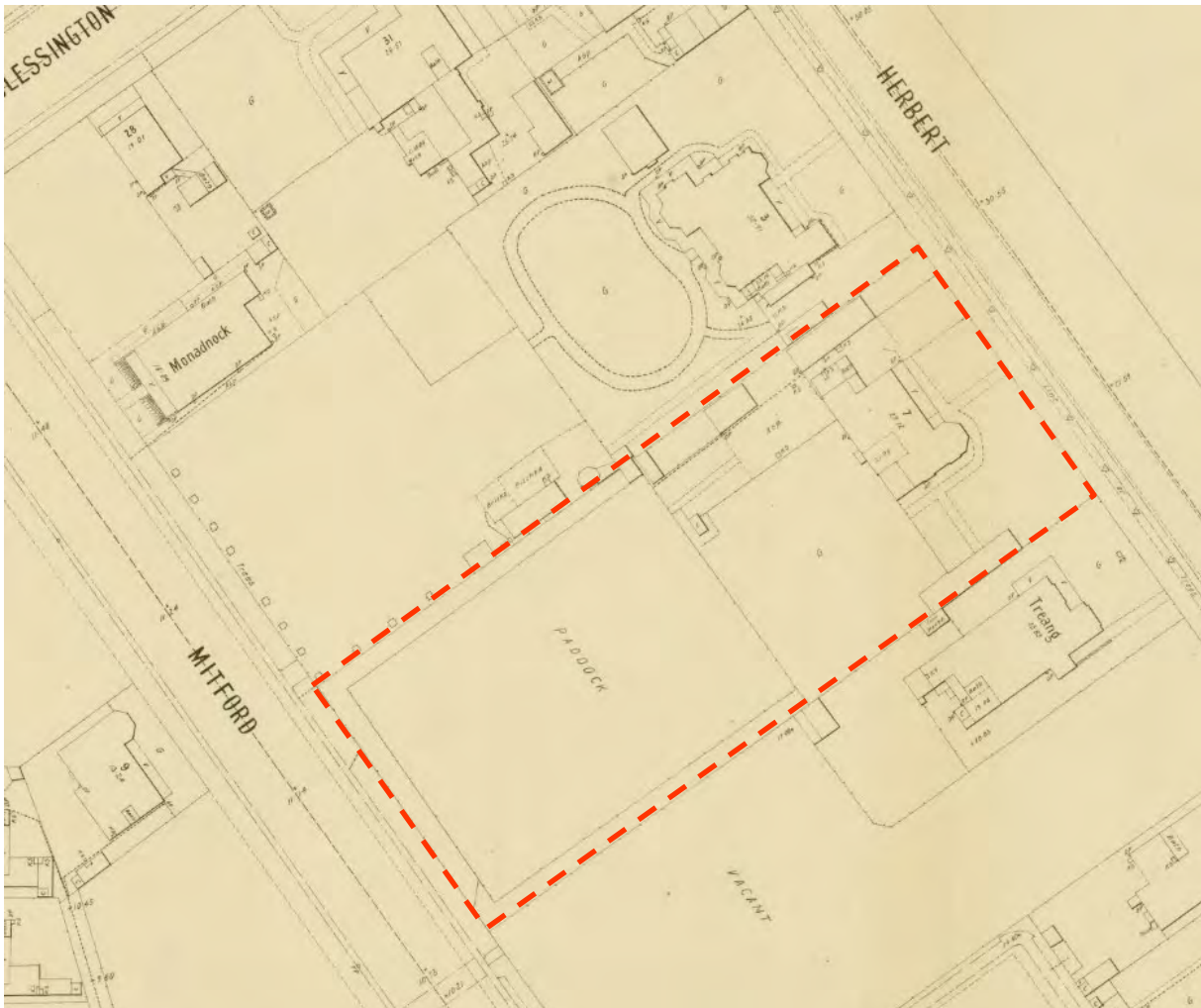


Figure 2 - 1897 MMBW detail plan no. 1380, showing the holdings associated with the site at that time. (Source: State Library of Victoria)

In 1908, a local plumber - John Earl Carnochan of Jackson Street, St Kilda – acquired the site and subdivided the holdings in two stages, (CT v3194 f721). In 1910, what is now 10A + 12 Mitford Street was excised and in 1919, the subject site was sold to John Michael Copeland of Fitzroy. Carnochan retained what is now 7 Herbert Street for himself (CT v4278 f469). (Figure 3)

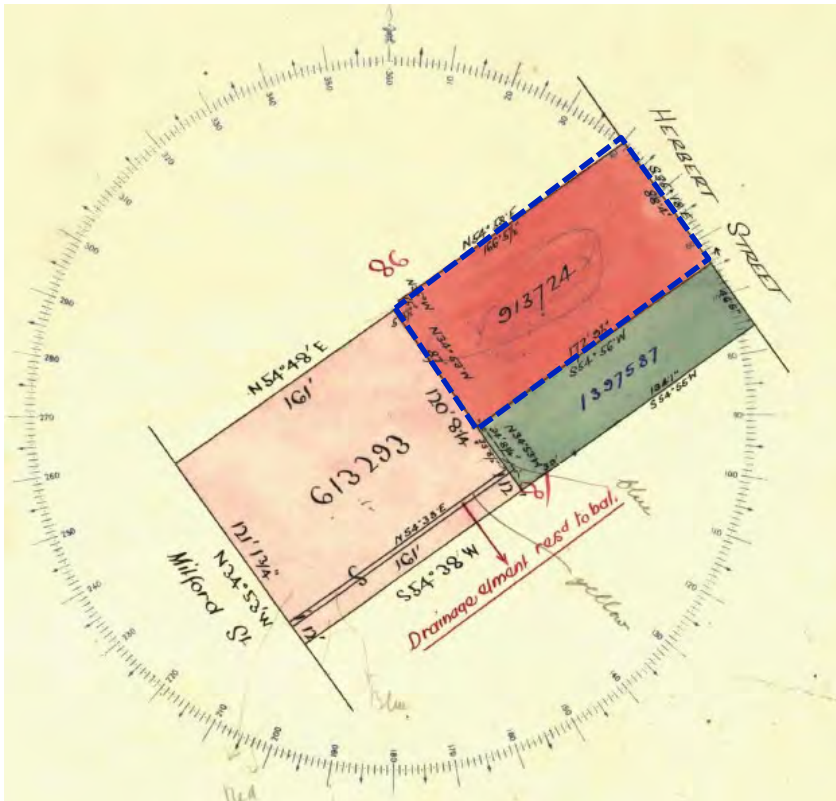


Figure 3 - Subdivision of John Earl Carnochan’s holdings during the early 20th century. Subject site dashed in blue. (Source: Certificate of Title v4278 f469)

John Copeland retained the site for about 15 years, although failed to sell it in 1931 when it was described as ‘double-fronted brick villa, of 9 Rooms, Billiardroom. on Land 88 x 172, Fronting St Kilda Gardens, Suitable for Hospital or Rest Home’ (Age 11 Jul 1931 p2). The site was sold three years later in 1934 to Campbell Lawson of Port Melbourne. At that time, more detail was provided as follows:

MOST SUBSTANTIAL OLD TYPE BRICKVILLA, with Slate Roof. The House contains 8 Rooms, Scullery, Bathroom & c.. also cellar and a splendid Detached Full Size Billiard Room. The outbuildings comprise brick garage, weatherboard laundry, tool shed, W.C, and man's room. THE LAND is an Exceptional Block, and is well laid out in Garden, with well grown trees (Age 20 Jan 1934 p2)

During the 1940s and early 1950s, the Dunbar Guest House was operating at the site (SM). The 1945 aerial photograph (Figure 4) shows the original house and other buildings to the north boundary. A site plan of 1948, when a permit for some additions was being sought indicates that there was a flat(s), 3 single bungalows, 1 double bungalow, and a wash house (BP).

The streets surrounding and facing to the St Kilda Botanical Gardens had become a popular location for flats and some of the first purpose-built flats in St Kilda were constructed here including Clarendon (1915) and Clairvaux (1917), both in Blessington Street. The many mansion houses also provided suitable opportunities for flat conversions. In Herbert Street the first flats were created as the conversion of a house at no.9, while the first purpose-built block, Lloydon, was erected in 1922 at no.23, which was soon followed by St Omar at no.21. Then, during post-war flat building boom almost all the remaining houses were replaced by flats in the period from 1959 to 1972.



Figure 4 - 1945 aerial photograph, showing location of subject site. (Source: Landata, Proj No 5, Run 17E, Frame 58011)

John Michael Copeland died in 1950 and probate was granted to two of his relatives. Margaret Isabel Aird, then residing at the site, acquired it during late 1953 (CT v4278 f469). At this time, she was identified as a guest house proprietor (*Argus* 15 Jul 1955 p17).

In late 1958 Spigelman & Shor purchased the site for £4000. Permission had been granted to demolish the existing house and other buildings on the site in November 1958. The work was overseen by Perry & Hawke of Hawksburn and the estimated cost was £300. Three buildings were identified on a contemporary plan. The local builder Rudolph Kalish of 9 Tennyson Street, Elwood constructed the flats at an estimated cost of £40,000. The permit application was approved on 1 December 1958 (BP).

Kalis(c)h was born in Berlin in 1932 and departed on the *Skaubryn* from Bremerhaven, Germany in May 1955 arriving in Melbourne (Passenger List). His company, Rudolph Kalish Constructions P/L continued to operate into the mid-1970s, at which time they were advertised as 'experienced Master Builders for over 25 years' (*Australian Jewish News* 6 Jun 1975 p32). He died in 1990. Fooks collaborated with Kalish on other blocks of flats including at 119 Brighton Road, Elwood in 1958 (BP), 12 Milton Street, Elwood in 1961 (*Age* 7 Jan 1961 p31) and 21A Dickens Street in 1966 (BP).

The original drawings by the architect responsible for the design, Dr Ernest Fooks, whose office at the time was located in Woonsocket Court, St Kilda were dated October 1958 (BP). Fooks had just returned from a seven-month tour in Europe and USA with his wife, during which scrutinising contemporary blocks of flats were a major focus (*Age* 12 Nov 1958 p10).

The drawings provide details of many of the key elements, most of which were realised and/or have been retained. They show that a bituminous felt over 'Stramit' decking was the initial roof construction. There were to be timber-framed windows to the main elevations – façade/east and garden/north side and steel-framed windows to the south (rear) side. The free-standing circulation core has as a long, timber window wall to the south side and a grille to the front (wrought iron screen, though likely steel), and a concrete

hood over the entrance. The flats were to have concrete floors with timber boards over. The galleries and stairs with landings to the south side are concrete with steel poles and palisading to the balustrade.

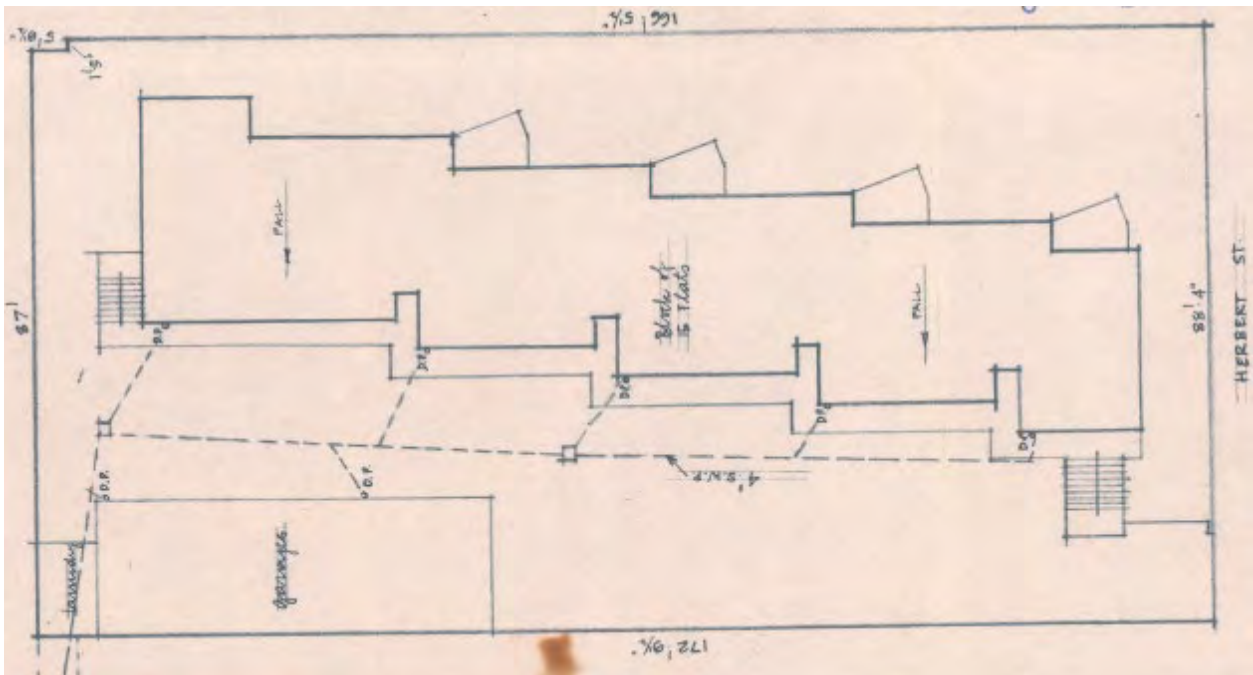


Figure 5 – Site plan, 1968 (Source: BP)

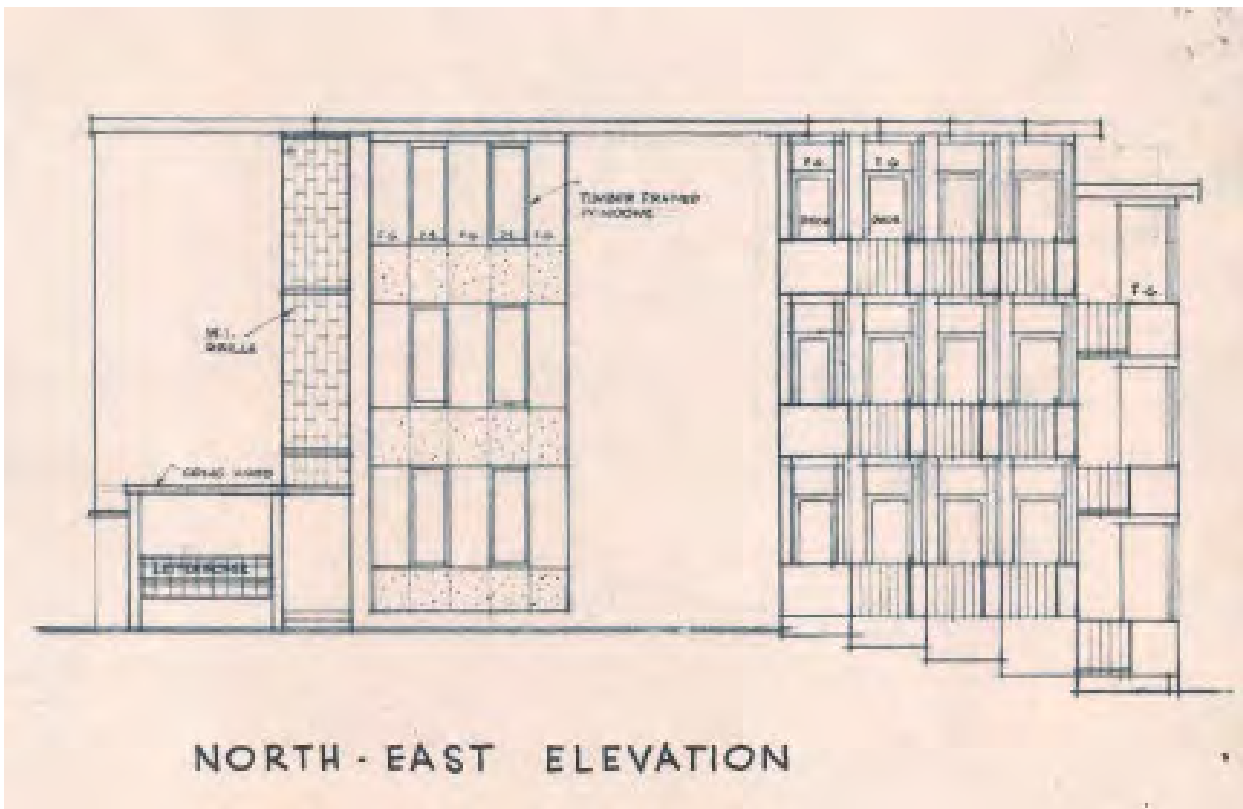


Figure 6 – 1968 drawing showing the front or north-east elevation (Source: BP)

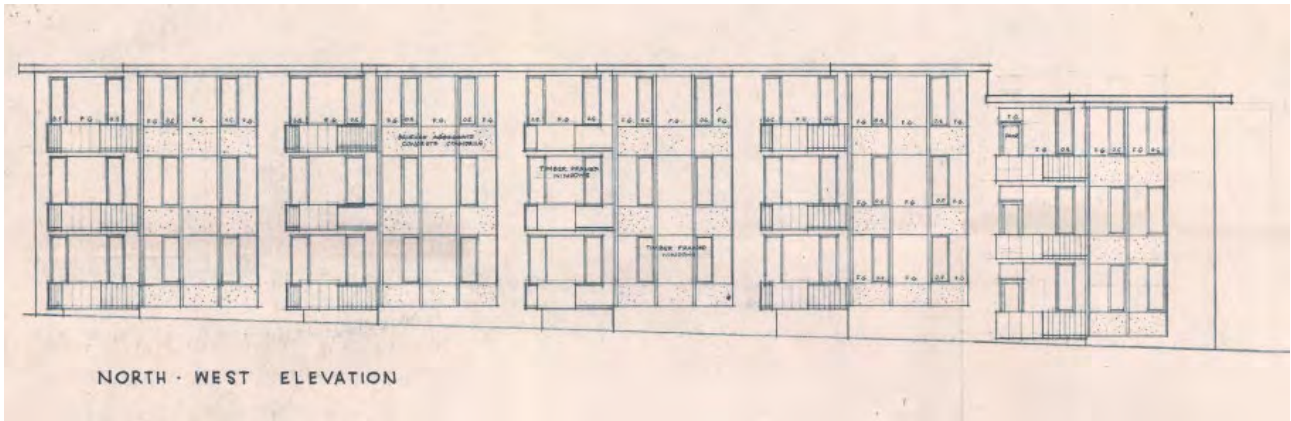


Figure 7 – 1968 drawing showing the north-west or garden side elevation (Source: BP)

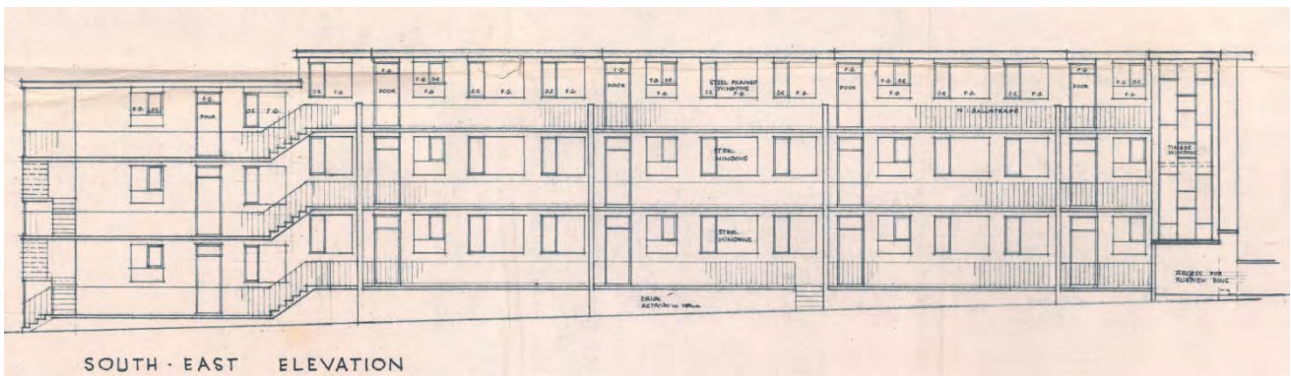


Figure 8 – 1968 drawing showing the south-east or rear elevation (Source: BP)

The developers (the husbands and their wives) were all identified on the title - Harry (chemist) and Freda Spigelman in conjunction with Gus (manufacturer) and Sonia Shor at 83 Acland Street, St Kilda – as registered tenants in common of the property on 18 March 1959. The individual flats were sold from 5 January 1960 over a 16-month period with the last being settled in the following May (CT v4278 f469). The building had presumably been completed by March 1960 when the subdivision plan was lodged (LP 51,176).



Figure 9 – c.1960s image of Park View. Note the spandrel panels were originally brown. (Source: SLV, gs000118 (incorrectly grouped with the block at 4 Rae Court, Windsor))

Ernest Fooks

Born during 1906 in Bratislava (then part of the Austro-Hungarian Empire, later Czechoslovakia, now Slovakia), Ernest Fuchs was educated in Vienna, where he completed a degree in architecture in 1929 and subsequently a doctorate in town planning in 1932. He started his own practice at that time but in 1939 fled the rising anti-Semitism in Europe, marrying Latvian-born Noemi Matusevic in Canada en route to Australia (Edquist, 2012).

In Melbourne, he became assistant town planner for the Housing Commission of Victoria for nearly a decade (until 1948) working on projects across the State. During this time, he wrote extensively, and lectured, on town planning issues leading to his appointment in 1944 as the first lecturer of town planning at the Melbourne Technical College (now RMIT). In 1946, he outlined his ideas and solutions to planning in Melbourne in *X-Ray the City!: the Density Diagram, Basis for Urban Planning*.

On becoming an Australian citizen in 1945, he changed his surname to Fooks. From 1948, he established a successful architectural practice, specialising in 'own your own' flats for developers completing over forty blocks of flats in St Kilda, Caulfield, Toorak, South Yarra and Hawthorn. In 1955, he self-developed an office with four bachelor flats attached at 1 Woonsocket Court, St Kilda (extant but much altered). Fooks also designed numerous single-family residences, beginning with modest-scale examples in the austerity driven period of the late 1940s and early 1950s but evolving as prosperity increased to more ambitiously scaled and detailed examples subsequently. In this sphere, he was influenced by courtyard focused precedents and the use of Japanese-inspired screens, culminating in his own-famed house in Caulfield (1966).

Other projects included some commercial (such as shops) and educational buildings (e.g. Mt Scopus Memorial College, Burwood), as well as three notable community facilities – the B'nai B'rith in Hotham Street, Balaclava in 1959, Adass Israel Synagogue in Glen Eira Avenue, Ripponlea (designed 1961, built 1965), the National Jewish Memorial Centre and Community Facility in Canberra, completed in 1971. The B'nai B'rith commission is said to stem from Noemi's encouragement to be involved with local community affairs (Edquist, 2012).

Fooks passed away in 1985. Despite the coverage in magazines such as *Australian House and Garden* and extensive output of both built work and in publishing, his work has only recently become more widely acknowledged in general architectural circles (Peterson, 2009).

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Port Phillip Thematic Environmental History (TEH), February 2021

Rate books (RB)

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Description

The large rectangular site has an area of about 1400 sq. metres and slopes about 2 metres from the east to the west. The front boundary is defined by a low cream brick fence which incorporates a recess for letterboxes. There are perimeter garden beds with some shrubs and a few trees, both young and more established specimen, and there is an area of lawn much of the north side of the site.

The main building is located centrally on the site with a garage block in the south-west corner which is accessed by a concrete paved driveway along the southern boundary. The garage block is comprised of six separate garages - two face the street with original doors with four behind (facing north) - and a laundry room at end.

Due to the slight slope, the building steps down in three parts to the west - front (6 flats), middle (6 flats), and rear (3 flats). The building is in good condition and has a high degree of external intactness.

The flats are staggered along the site allowing for views to the Botanic Gardens opposite from all the flats. At each level the plan of the front four flats is consistent, whilst that of the fifth (rear) is flipped as it bookends the block. There is a living and bedroom to the front (north), with kitchen, bathroom and a second bedroom to the rear (south).

The roof is flat with boxed eaves and a wide overhang, whose soffit is lined with slatted boards. The original roof cladding was bituminous roof, which routinely failed and from the aerials, it is likely that it has been reclad/clad over with metal sheeting. The height of the wide fascia seems to have been increased (as compared to the previous 1960s photograph).

The walls are cream brick in stretcher bond. The façade is part blank with a strongly defined bank of five windows across the three levels with alternating band of blue spandrel panels (originally brown) and wide rows of windows (alternating fixed and awnings).

The front of the free-standing circulation core/tower with stair is articulated by projecting bricks in stacked configuration, similar to what he employed in the following year at B'nai B'rith. A screen with geometric patterning consisting of vertical railings interspersed with circles separates the core from the main building so that the galleries are visible. The long window to the south side of the tower has a staggered configuration of glazing bars.

The north side is largely glazed in a manner similar to that evident on the street frontage. The windows are however wider and organised in tripartite units. The bay with the splayed, canted balconies – the balustrade of which aligns with the adjacent spandrels. The balustrade has a dark (brown/black) glass panel to the front and is metal to the side with circular motifs and a supporting steel pole to the centre. The decks are concrete and there is a timber-framed, largely glazed door.

The south side is largely obscured from the public realm by the free-standing circulation core but from current realestate.com images. The articulation varies to the south side in that there are no spandrels and the windows form more discrete units, albeit in similarly consistent bands. The windows appear to be timber although steel was identified on the original drawings. Access to the flats is from this side along open concrete galleries which has a metal balustrade with vertical railings.

Comparative analysis

The southern parts of the municipality – St Kilda (East) and Elwood - have manifold Post-war flats. Whilst many are generic, there is a relatively high concentration of architect-designed examples which are more finely detailed or distinguished by their site responsiveness. Dr Ernest Fooks was one of several émigré

architects that were active in the area and at the forefront of the evolution of this building type along with Mordecai Benshemesh, Michael R E Feldhagen and Kurt Popper, often working for Jewish clients and accommodating the influx of Central and Eastern European Jewish refugees who were accustomed to apartment living. In addition, several Australian-born architects were responsible for flats but rarely multiple examples.

The subject building is indicative of the approach that evolved during the end of the Postwar period – circa mid to late 1950s/early 1960s. Moving further into the 1960s, there was a shift to what is often defined as the late 20th century period, when the influence of Brutalism becomes apparent in the bolder forms and use of brown brick. Although cream brick was also common during the earlier phase of the Postwar period, during the late 1940s and early 1950s, a Functionalist mode held sway at that time with parapets and steel-framed windows. From about the mid-1950s, whilst roofs were typically flat, they were usually expressed with soffits, often deep, and openings were typically timber-framed.

Noted academic, Professor Harriet Edquist considers *Park View* one of the best examples of Fooks' flats, being 'beautifully sited facing St Kilda gardens', and possibly influenced by the work of Frederick Romberg (another Jewish European-trained émigré architect), specifically the Newburn flats, 30 Queens Road, Melbourne (1939-42), with their canted format along the north elevation, as well as Scandinavian design (RP).

Locally based Ernest Fooks designed many buildings in the municipality, but to date only a few of these have been recognized within the heritage overlay, though several are currently under review. Two blocks of flats in Elwood built about the same time are comparable to *Park View* - those at 5 May Street and 12 Milton Street – but they are less distinctive than the subject site. Like other architects, his buildings designed immediately following WWII were indicative of the Functionalist style. Fooks also designed other building types for the Jewish community including the B'Nai B'Rith House (1959) and the Adass Israel Synagogue (1961-66).

- Flats, 5 May Street, Elwood, 1957. Cream brick, two storey flats with a tiled hip tile roof, in a U-plan around a central garden courtyard. Typically Fooksian elongated window proportions with some larger mullions and coloured spandrels. Concrete balconies with metal balusters.
- Raleigh House, 406 Inkerman Street, St Kilda East, 1958 (Not in HO). Modernist house, brick (overpainted), cuboid forms, distinctive window configuration, screen to one large window, largely intact.
- Flats, 12 Milton Street, Elwood 1961 (Contributory within St Kilda Botanical Gardens & Environs precinct). Intact, cuboid form being slightly stepped at the front, cream brick with spandrels and elongated window proportions. Similar to the subject building but on a narrower site with limited potential for varying the footprint.
- Flats, 21A Dickens Street, Elwood, 1966 (Contributory within St Kilda Botanical Gardens & Environs precinct). Later brown brick and render, suggesting a burgeoning Brutalist character.

Several blocks of flats designed by the Palestinian-born, Australian educated architect Mordecai Benshemesh are included within the heritage overlay (with others yet to be assessed). His early work, dating from about 1951 to 1956, was overtly Functionalist. Subsequently his work varied with the group constructed in 1960 bearing the most comparison with *Park View*.

- Two notable blocks were completed in 1959. The iconic *Edgewater Towers* at 12 Marine Parade, St Kilda (Citation 2049) and another nearby to *Wolverton* at 22 Westbury Street (contributory within HO6 precinct). The former is in a different category, as it is a multi-storey International style building in white painted concrete with continuous bands of glazing to each elevation. The latter bears some similarities with the subject group in the material palette, the balcony detailing (metal balustrade with panels), fully glazed stairwells with louvres, but has more regular patterns of glazing and lacks some of the more distinguishing details of this group such as fan-like balconies and decorative treatments (e.g. tiling or projecting brick work).

- Group of three at 306 Dandenong Road (*Leaworra*), 16 Lansdowne Road and 8 Westbury Street (*Wolverton*), St Kilda East, 1960 (Citation 2429). All three buildings are intact and three storey, have cream brick walls and flat roofs with wide, sheet-lined soffits to the front/main elevations, and timber-framed openings. They have balconies with angled geometry either in the vertical (canted) or horizontal (splayed) plane orientated to take best advantage of the solar access and the site configuration. The stairwells have louvred glass. Decorative elements or treatments include ceramic tiling, some panels to the balustrades, projecting bricks, and/or staggered glazing bars to the windows. All retain their original low cream brick fence and associated letter box enclosures. The circulation is different in that the flats are divided into blocks with either two or three enclosed stairwells (at the front) rather than the open stairs and galleries to the rear at *Park View*.

The work of the Viennese Kurt Popper is generally indicative of a restrained version of contemporary Modernism. His preferred design mode similarly changed over time, and although his contemporary work shares a similar material palette, he generally employed more contained footprints and forms.

- Flats, 124-126 Alma Road, 1954 + 47 Westbury Street, St Kilda, 1956 (Contributory within HO6). Similar, adjacent blocks in a Functionalist mode. Cream brick (one on red brick plinth), with parapeted roof, steel-framed windows, some with concrete framing, and balconies with concrete decks and metal railing.
- Flats, 22A Acland Street, St Kilda, 1957 (Contributory within HO5). Of a similar type to the subject site, though with a regular footprint. Cream brick with panels of pale blue tiles to the façade and balconies with metal balustrading with diamond pattern. It however has a tile clad, hipped roof.
- Flats, 17 & 17A Burnett Street, St Kilda 1958-59 (Contributory within HO5). More conventional with a hipped roof clad in tile in two mirror-image blocks. Distinguished by the expressed rendered frame to the corner windows.
- Flats, 21 Dickens Street, Elwood, 1965 (Contributory within HO7). A relatively late cream brick example with minimal eaves overhang as the balconies, with faceted metal panels to the balustrade, are recessed.

Among the contemporary work of other designers/architects, there is considerable variety with the main comparisons being Chudleigh Court and 33 Pine Avenue, and to a lesser extent, the block at 21 Redan Street, where some triangular or splayed geometry has also been employed.

- *Chudleigh Court*, 9 Dickens Street, Elwood, 1958, Bailey and Tilley Home Plan Service (Citation 2426). The three-storey, cream brick block has a skillion roof form with triangular projections and balconies on the east (garden) elevation. The garden side openings are timber-framed, whereas steel-framed windows are employed to the gallery side. The metal balustrading features a triangular pattern.
- Flats, 21 Redan Street, St Kilda, 1958, John & Phyllis Murphy (Citation 785, HO503). An unusual two-storey red brick building, consisting of two-level flats with separate entries, with a prow-like form and gable roof. Triangular forms are employed under the encompassing roof to provide privacy.
- Flats, 33 Pine Avenue, Elwood, 1959, Leslie J W Reed (Citation 2339, HO429). Cream brick, tile-clad hipped roof, with a flat roof, stairwell block to the front, screen walls, and a splayed profile to the upper-level balconies, which have a conventional railing detailing. The windows are timber-framed, including spandrels to the facade.
- Flats, 39 Southey Street, Elwood, 1959, L.G. Grant & Associates (Contributory within St Kilda Botanical Gardens & Environs precinct). Cream brick but with extensive use of decorative brickwork and screens to the front and a bowed concrete canopy to the entrance supported on steel poles.
- Flats, 63-69 Tennyson Street, Elwood, 1959-60, A V Jennings (Citation 2344, HO436). A series of four mirrored blocks, cream brick, stepped form with undercroft carparking, spandrels and banks of windows.

- *Rocklea Gardens*, 46-40 Hotham Street, St Kilda East, 1960, designed by Theodore Berman. (Citation 2017, HO293). International style, continuous band of windows/openings with balconies, and spandrel panels at either end of the elongated façade.
-

Assessment

This place has been assessed in accordance with the processes and guidelines outlined in the Australia ICOMOS *Charter for Places of Cultural Heritage Significance* (The Burra Charter) 2013, using the Hercon criteria.

Recommendations

Add to the Heritage Overlay as an individual place.

In the Schedule to the Heritage Overlay apply:

- external paint controls (to encourage reinstatement of the original colour scheme to the spandrels - currently they are painted blue but originally they were dark brown, similar to the glazed panels to the balconies).
 - fence controls (original front fence)
-

Primary source

RBA Architects & Conservation Consultants, *HO7 Elwood St Kilda Balaclava Ripponlea Precinct heritage review Stage 2*, 2021

Other studies

Andrew Ward & Associates, *Port Phillip Heritage Review*, 1998

Other images





Circulation tower with staggered glazing bars



Canted balconies

Area to be included in HO



City of Port Phillip Heritage Review

Place name: Dick Whittington Tavern
Other names: Alma Hotel (former)

Citation No: 2447



Address: 34 Chapel Street, St Kilda
Category: Commercial: Hotel
Style: Interwar
Constructed: 1924
Designer: Joseph Plottel
Amendment: C206port
Comment: New citation

Heritage Precinct: Not applicable
Heritage Overlay: HO553
Graded as: Significant
Victorian Heritage Register: No

Significance

What is significant?

The Dick Whittington Tavern (former Alma Hotel) at 34 Chapel Street, St Kilda, constructed in 1924 and designed by Joseph Plottel is significant.

Features that contribute to the significance of the place include:

- Two-storey scale.
- Hip roof clad in terracotta tiles with a wide, timber-lined soffit. Also six red brick chimneys with moulded, rendered caps.
- Brick walls in stretcher bond (mostly over-painted).
- Symmetrical façade with a recessed balcony featuring paired columns.
- Paired windows flanking the balcony with geometric patterns in leadlight and stained glass to the upper sashes. Also paired windows to the north elevation and windows with exposed concrete lintels to the south recess and rear/east elevation.
- Entry area at the south end of the ground floor including a basalt threshold and original cream and black tiling.

Alterations and additions are not significant, including alterations to the ground floor and late 20th century single-storey additions to the north and east sides. The current paint colour scheme is not significant.

How is it significant?

The Dick Whittington Tavern is of local historical, aesthetic, and social significance to the City of Port Phillip.

Why is it significant?

The Dick Whittington Tavern is historically significant as a hotel constructed during the Interwar period as a replacement for an earlier smaller hotel on the site which had been in continuous hotel use since 1860. It is representative of the common decision to modernise Victorian-era hotels during the Interwar period, whereby earlier buildings were typically remodelled, upgraded, expanded or, as occurred less frequently, fully replaced. The Chapel Street address is reflective of the traditional practice of prominently locating hotels along major thoroughfares. (Criterion A)

The Dick Whittington Tavern is of aesthetic significance as a partly intact (that is, intact to the upper floor and roof), early Interwar period hotel in the Georgian Revival style. The Georgian Revival style is not common in the municipality, especially among the group of remaining Interwar period hotels. Indicative of the style the design incorporates restrained classicising detailing, symmetrical façade and recessed balcony with paired columns. The noted architect, Joseph Plottel, undertook many commissions in the St Kilda area but this is the only hotel he is known to have designed in the municipality. (Criterion E)

The Dick Whittington Tavern is of social significance for its longstanding association (for a century in the current building and over 150 years at the site) with members of the local community, who mostly reside in St Kilda/St Kilda East/Balaclava. The current community values the Dick Whittington Tavern as a local landmark and welcoming atmospheric meeting place that is important to the character and social fabric of the local area. (Criterion G)

Thematic context

Victoria's framework of historical themes

5. Building Victoria's Industries and Workforces: 5.6 Entertaining and socialising

Port Phillip thematic environmental history

3. People: 3.5 Expressing identity and culture

History

Contextual history

Providing food, refreshments, entertainment and accommodation, hotels – or pubs – have been popular places to eat, socialise and stay in the City of Port Phillip since the arrival of European settlers. Wilbraham Liardet was the first to open a hotel in the area, the Brighton Pier Hotel, in October 1840. During the gold rush period from 1851 to 1876, 51 new hotels were opened in Port Melbourne alone.

Before the creation of civic buildings, hotels were often used as meeting places for early councils, social groups and committees, as well as general socialising. Some of the oldest buildings in the City of Port Phillip are hotels that have stood the test of time, such as the Golden Gate Hotel (1853), Prince of Wales Hotel (1863), the George (which began as the Terminus in 1857), the Esplanade (which began as the New Bath Hotel in 1856), the Golden Fleece Hotel (1872) and the Balaclava Hotel (formerly Carlisle Hotel 1869). Some, like the Hotel Victoria built in 1888 on Beaconsfield Parade, Albert Park, remain but no longer used as hotels. Others, like the Greyhound Hotel (1853) have been demolished. Hotels have been particularly associated with working-class people as centres of Australian drinking culture, and continue to provide vital social venues for the community today.

Dick Whittington Tavern

The subject site formed part of Crown portion 138A of about 5 acres which was purchased in the 1850s (pre-1857) by Edward De Carle and Henry Holmes (PP).

The original hotel on the site was built in 1860 for James Hayes. The March 1860 rate book describes it as 'unfinished' (RB no.1128). The next year, the March 1861 rate book records an eleven-roomed brick building and stables named the Alma Hotel (RB no.1203). James Hayes owned the hotel until his death in 1876 (*Argus* 7 Apr 1876 p1).

The 1873 Vardy plan (Figure 1) shows the hotel during the time it was owned by James Hayes. At that time it occupied a smaller land parcel that stretched between Chapel and Queen streets. At the corner of Chapel and Crews streets there was a grocer shop and residence owned by John Drew.

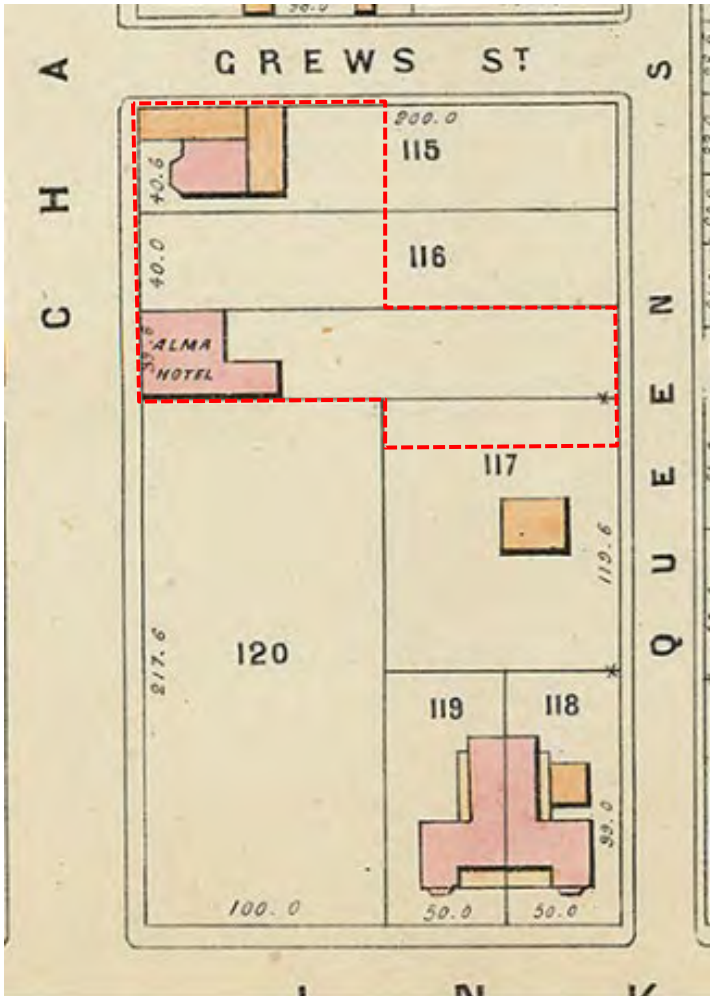


Figure 1 - Plan of the Borough of St Kilda, North Ward No. 6 (J.E.S. Vardy, 1873). The approximate current boundaries of the subject site are indicated.

The 1897 MMBW plan (Figure 2) shows the footprint of the hotel. The hotel had been enlarged - the corresponding 1897 rate book records 18 rooms. On the footpath in front of the hotel there was a trough and at the rear of the hotel there was a fernery. Rear access to the hotel was established via a right of way off Queen Street. On Queen Street, there were two houses (brick house at no. 11 and timber house at no. 13) where the carpark currently is.

Billiards was apparently a popular activity at the Alma Hotel. There was a billiard room and billiard tournaments were held, such as that in April 1898 (*Prahran Chronicle* 9 Apr 1898 p3). In 1899, licensee Mary Elizabeth Webster was fined £5 for permitting billiards to be played after hours (*Age* 25 May 1899 p6).

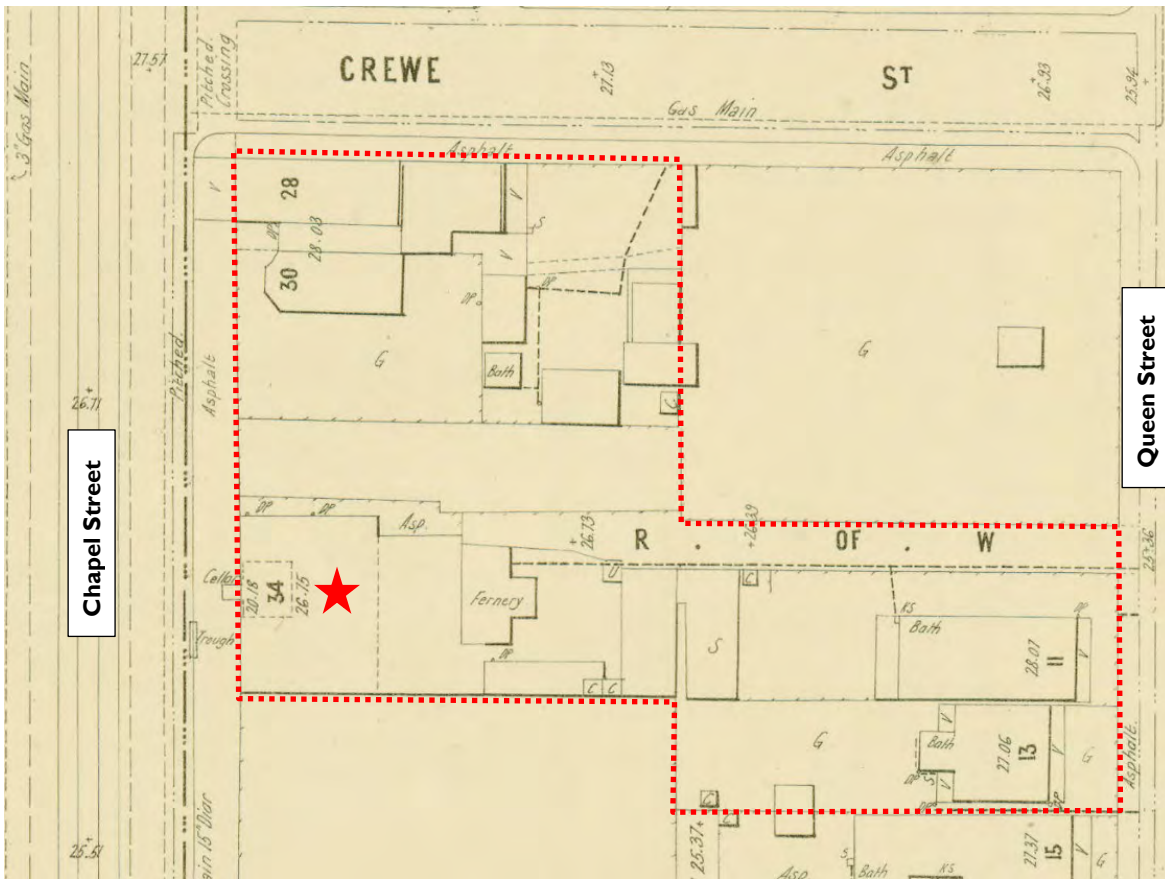


Figure 2 - MMBW detail plan no. 1423, dated 1897. The approximate current boundaries of the subject site are indicated.

In early July 1924 the noted architect Joseph Plottel placed a tender advertisement for rebuilding the Alma Hotel (*Argus* 5 Jul 1924 p5). Seminel & Co were selected as the builders. On 14 July, a building permit was issued to owner Marc Gurney for a new brick hotel (BP no. 5788). Construction was apparently underway soon after, as in October it was reported that a 71-year-old worker fell from a ladder and suffered serious injuries (*Herald* 1 Oct 1924 p14).



Figure 3 - West/front elevation. Undated drawing by Joseph Plottel (Source: Council Building File)



Figure 4 - East and north side elevations. Undated drawing by Joseph Plottel. (Source: Council Building File)

In 1936, after 26 years as owner and licensee, Marc Gurney sold the Alma Hotel to Caroline Moran who had run the Court House Hotel in Footscray for the previous 12 years (*Argus* 11 May 1936 p4).

The 1945 aerial photograph (Figure 5) shows the extant hotel building. Also shown is a c.1930s house on the corner of Crews Street which replaced the earlier combined grocery and residence.



Figure 5 - Aerial photograph dated 1945. The approximate current boundaries of the subject site are indicated. (Source: Landata, Proj No 5, Run 17E, Frame 58012)

It was probably not until the 1970s that the site was expanded to include land on the corner of Crews Street (CT vol. 9012 fol. 520). Also during the 1970s, the hotel appears to have been renamed the Dick Whittington Tavern.

Joseph Plottel - Architect

Joseph Plottel was born in Yorkshire in 1883 and trained in London. In 1906 he moved to Melbourne where he worked for the railways department then in the office of Nahum Barnet. He opened his own office in 1911 designing a wide variety of building types including factories, offices, shops, civic buildings, houses and apartment blocks. Plottel undertook more than a dozen commissions in the St Kilda area including a number of flats (e.g. Eildon Mansions 34 Eildon Road in c.1922 and Clarendon 26-28 Blessington St in 1915 & 1935), two examples of combined shops and flats (Waverley 115-119 Grey Street in 1920 and The Warwick 75&75A Fitzroy Street in 1933), and for the Jewish community, notably the St Kilda Synagogue in Charnwood Crescent in 1925. (Grow, 2012).

References

Aizen, Becky, *Pots, Punks and Punters: a history of the hotels of St. Kilda and South Melbourne*, 2004

Building Files held by Port Phillip City Council

Certificates of Title (CT)

Grow, R, 'Joseph Plottel' in Philip Goad and Julie Willis (eds), *The Encyclopedia of Australian Architecture*, 2012.

Newspapers: *Herald*; *Argus*; *Prahran Chronicle*

Parish Plan - at Elwood, Parish of Prahran, P81-13 (PP)

Port Phillip Thematic Environmental History (TEH), February 2021

Rate Books for St Kilda 1859-1900, accessed via ancestry.com

St Kilda Council building permits (BP)

Description

The building is located at the south-western part of a large, flat site with an area of 1,720m². The L-shaped parcel of land has a frontage to Chapel Street, but extends along nearly half of Crews Street, and has a narrow frontage to Queen Street. Except for the hotel building, most of the land is paved in concrete with some limited areas of planting to the car parking areas to Crews and Queen streets.

The building consists of the original 1920s section with late 20th century, single-storey additions to the north and east sides, including a wide canopy to front.

The original section is two storey with a hip roof clad in terracotta tiles. It is punctured by six red brick chimneys with a moulded, rendered cap. There is a wide, timber-lined soffit to all sides except the south, where the building is constructed to the boundary.

The brick walls in stretcher bond are painted except for some of the rear first floor areas - a recess to south side and the east wall - where the original red brick remains unpainted. The brickwork to the façade was likely differentiated, such as the window sills. According to the blueprints, the dado to the ground floor was possibly tiled.



Aerial, showing site boundary (dashed) and original 1924 section, star (Source: Nearmap 21.04.21)

The first floor remains intact whilst the ground floor has been altered. The first floor façade is symmetrical with a recessed balcony indicative of the influence of the Georgian Revival style. There are paired columns to the balcony with those abutting the wall being a half post. Flanking the porch are paired windows with geometric patterns in leadlight and stained glass (in muted tones) to the upper sashes, as compared to multi-paned are indicated on the drawings. To the balcony, there are windows to the centre and doors flanking. There is a metal railing not evident on the drawing.

Windows to the north elevation are paired and the concrete lintels to the windows are visible to the south recess and rear/east elevation.

To the ground floor, there are some recessed entries and aluminum-framed windows, both fixed and folding. A cantilevered canopy with a wide fascia extends the length of the façade and continues along the north side. A canopy extended along the front with a broad triangular peak to the centre (including the name) and block to either end. At the south end of the façade is the indications of an original entry by way a basalt threshold and original cream and black tiling.

A small, two storey, red brick section with a skillion roof, clad in sheet metal, is partly visible to the south boundary.

The single storey additions are for the main part rendered with channeling, and a black tile dado to the front part (west and north elevations).

Comparative analysis

There are many hotels included in the Heritage Overlay, either as individual places or included in a precinct. The hotels predominantly date to the Victorian period, however many were remodeled during the Interwar period in a contemporary style, as was a common approach to the modernisation of hotels at the time in response to recommendations made by the Licenses Reduction Board. Only a few were built as new buildings during the 20th century, though often replacing an earlier hotel on the site. Most are located on corners and/or main thoroughfares.

The Georgian Revival style was popular from about the mid-1920s to the mid-1930s, and less common in the municipality than most of the other Interwar period styles. Typically incorporating some restrained classicising detailing, it is associated with 'good manners' and more so with residential buildings than commercial. Characteristics of the style include a symmetrical facade, walls can be face brick or rendered, windows are multi-paned (with 6-pane sashes), and entries might include a fanlight or a porch with Tuscan order columns. The design of the Dick Whittington Tavern expresses the style by way of restrained classicising detailing, a symmetrical facade and a recessed balcony with paired columns. The architect, Joseph Plottel, undertook many commissions in the St Kilda area but this is the only hotel he is known to have designed in the municipality.

The Newmarket Hotel, 36 Inkerman Street, St Kilda (Significant in HO5), possibly dating to 1921 when brick additions were undertaken, is unusual as it demonstrates a bungalow influence on an urban building. It has a symmetrical red brick, including quoining, with a gable roof clad in terracotta tiles. The windows have been removed but had been boxed-framed to the upper level.

During the 1920s, most hotels were designed in a classicising mode, whether new buildings or pre-existing hotels that were remodeled. This is the most common architectural style of the Interwar period as applied to hotels. These buildings are usually rendered, have a parapet often with a pediment and a cornice, and individual windows (a remnant of the Victorian period building). Examples which are generally intact include:

- Post Office Club Hotel, 306 St Kilda Road, St Kilda (Contributory within HO6). Retains original tiles to ground floor exterior. Diamond glazing bars to upper sashes (first floor).
- Elephant & Wheelbarrow, 169 Fitzroy Street, St Kilda (Contributory within HO5). Freestyle design with a curved corner, oriel windows and arched openings.
- Bayview Hotel, 279 Cecil Street, South Melbourne (Contributory within HO3). Has a recessed balcony with columns to first floor, intact tiled dado to ground floor, stained glass to some windows.
- Queens Arms Hotel (former), 336 St Kilda Road (Sydney Smith & Ogg, 1924) (Significant within HO6, Citation 927). Parapet with triangular pediments and featuring a corner tower.
- Several other hotels in similar vein include the Cricket Club, Emerald, Golden Fleece, Limerick Arms, Montague, O'Connell's Centenary, and Rising Sun. Some of these were designed by Sydney, Smith, Ogg & Serpell.

The Grosvenor Hotel, 10 Brighton Road, Balaclava (Citation 301), designed by Harry Norris in 1928 is a rare instance of the Spanish Mission style applied to a hotel within the municipality.

During the mid to late 1930s, the Moderne/Functionalist style became popular and there are several examples in the Municipality. Typically, they include a parapet, are rendered, and have a horizontal emphasis by way of banding or speed lines. Some feature Art Deco detailing to the bands, etc.

Social Value

Between 22 March to 18 April 2021 community engagement was undertaken to gauge the potential social significance of the Dick Whittington Tavern. The core components of this engagement included an online survey and story sharing board on Council's Have Your Say website, which were promoted to targeted interested groups.

In total, 69 people completed the survey for the Dick Whittington Tavern. Most of the respondents were aged 35-49 years (35), followed by 25-34 years (14) and 50-59 years (11), with a few respondents older than 60 and younger than 24. Respondents were overwhelmingly local residents, with almost all (63) residing in the immediate suburbs of Balaclava, St Kilda East and St Kilda area. More than half of respondents visit the hotel on a regular basis, either weekly (12) or monthly (26). About half (36) of the respondents have been visiting the hotel for more than 6 years, specifically 6-10 years (18), 11-20 years (13), 21-30 years (3), and more than 30 years (2). Three groups were identified as having a connection to the Dick Whittington Tavern.

When asked about what aspects of the hotel contribute to its character, 'location' (27) and 'atmosphere' (19) were the most popular responses. Less popular were 'façade/appearance from street' (7), 'outdoor areas' (5), 'architectural style' (2), 'bar' (1) and 'room layout' (1).

The majority of respondents associated the hotel with their local community and were overwhelmingly in agreement with statements such as 'the Dick Whittington Tavern is a local landmark', 'the Dick Whittington Tavern is important/special to the character of 'Balaclava/St Kilda East', 'I feel connected to my community when I visit the Dick Whittington Tavern', and 'the Dick Whittington Tavern is important as a meeting place'.

In terms of historical associations, respondents indicated a strong attachment to the name 'Dick Whittington Tavern'. Opinions were subtly in favour of there being an appreciable sense of history and describing the hotel as historical rather than contemporary.

Respondents generally favoured descriptive words such as welcoming, timeless, lively, homey, characterful, and popular.

Respondents were also given the opportunity to elaborate on their opinions in an open question: 'In your own words, what do you think the Dick Whittington Tavern means to your community? Who is it important to? How does it contribute to a sense of place or identity? What is it best known for?'. Numerous responses were received (41) of which the majority were supportive. The most emphasised theme was the importance of the Dick Whittington Tavern to the local community as a meeting place. Several respondents noted that the hotel is known for its friendly atmosphere, the food, trivia nights and its name. Two respondents referred to the undesirable fate of the Greyhound Hotel and another two mourned the relatively recent loss of the 'Dick Liquor' signage.

'Social value' is a collective attachment to a place that embodies meanings and values that are important to a community. Based on the responses to the survey, the social value of the Dick Whittington Tavern is demonstrated against the key indicators below. The indicators derive from the *Victorian Heritage Register Criteria and Threshold Guidelines* (Heritage Council Victoria, Dec. 2020).

- **The existence of a current community/group by whom the place is valued.**

There is an informal community of predominantly local people who are united through their common patronage and appreciation of the Dick Whittington Tavern.

Some comments provided by survey respondents paint a picture of this community:

It's a great place for the older community to meet that hasn't been bulldozed or turned into some trendy bar.

A great place to go for a counter meal with family, friends and children.

It's a real community hotel that understands the locals ...

A place of country pub vibe, down to earth and friendly, very very popular with the locals.

... I think a broad cross-section of the community feel welcome, accepted and appreciated there and enjoy each others differences.

...exceptionally friendly staff

Trivia night is fun and has always been my group of friends regular weekly catch up.

- **The strength of the community/group's attachment to the place.**

The Dick Whittington Tavern provides an important reference point in the community's sense of identity/place. The survey results suggest that the community's attachment to the Dick Whittington Tavern is more closely related to the location, atmosphere and sense of community it generates than its physical appearance. When asked to rate their level of attachment to the place on a scale of 1 to 10 the majority of respondents (50 out of 67) selected a level of 6 or above. Some comments provided by survey respondents provide some insight into the nature of the attachment:

I think it's a local institution. Great place to meet with character, unlike other newly built venues.

On face value the venue might be seen as just another place. But the name (which i love!), the services, the value, and the location, mean that it is incredibly important to the community. As someone new to the area, i see it has a spot in the heart of many locals ...

It is a stand alone ICON in East St Kilda ...

The Dick Whittington is an important part of Balaclava - it provides a gathering place and many happy memories for the community.

- **The time depth of that attachment.**

The Dick Whittington Tavern (previously called the Alma Hotel) has served the community as a meeting place continuously since 1860 at this site, albeit having been rebuilt in 1924. The attachment to the place has evolved with communal interaction over time. Amongst the current community there are some members who have been visiting the Dick Whittington Tavern for several decades, while others have a more recent association.

- **Whether the social values resonate across the broader community as part of a story that contributes to the municipality's identity.**

For over 180 years, hotels have facilitated an important social function in Port Phillip and continue to provide important social venues for the community today.

Assessment

This place has been assessed in accordance with the processes and guidelines outlined in the Australia ICOMOS *Charter for Places of Cultural Heritage Significance (The Burra Charter) 2013*, using the Hercon criteria.

Recommendations

Add to the Heritage Overlay as an individual place. Exclude the carpark off Queen Street from the extent of the HO.

Apply external paint controls in the Schedule to the Heritage Overlay (to ensure complementary colour schemes are employed and/or encourage paint removal from brickwork).

Primary source

RBA Architects & Conservation Consultants, *H07 Elwood St Kilda Balaclava Ripponlea Precinct heritage review Stage 2, 2021*

Other studies

Andrew Ward & Associates, *Port Phillip Heritage Review, 1998*

Other images



North-east corner



Façade, north end, showing stained glass windows (upper sash) and paired columns to the recessed balcony



Basalt threshold and original cream and black tiling to the deck

Area to be included in HO



The MT&OC offices and cable tram car shed are significant for the potential to provide further information on cable tram operations, as archaeological evidence such as tracks, or cable tunnels may survive under the floor of the former car shed. (Criterion C)

The MT&OC offices and cable tram car shed are of representative significance as a complex that combines the functions of cable tram storage, and offices used by staff employed in the operation and maintenance of the network. (Criterion D)

The MT&OC offices and cable tram car shed is significant for its association with the Melbourne Tramway & Omnibus Company and the Tramways Board, which each played an important role in the development of Melbourne's tramway and public transport network. It is associated with the first cable tram route established by the MT&OC in 1888, and in 1917 became part of the network taken over by the Tramways Board, which constructed additions to the building in 1918. (Criterion H)

Thematic context

Victoria's framework of historical themes

3. Connecting Victorians by transport and communications: 3.4 Linking Victorians by road in the twentieth century, 3.5 Travelling by tram

Port Phillip thematic environmental history

4. Transport: 4.4 Railway and tramway links

History

Cable trams in Melbourne

The Melbourne Omnibus Company was established in 1869 by Francis Boardman Clapp, William McCulloch, and Henry Hoyt. It initially operated 11 horse-drawn buses from Flinders Street and Spencer Street stations via Bourke Street to Fitzroy. The three-penny fare was cheaper than a cab ride and so business expanded with services to Richmond, Carlton, and North Melbourne. With the potential recognised for other traction forms, the company was reformed as the Melbourne Tramway and Omnibus Co Ltd (MT&OC) in 1877. The MT&OC extended its operations to other suburbs and by 1882 it had 470 employees and 1600 horses and 178 horse buses running on fifteen routes (Vines 2012:37-8).

The MT&OC introduced the cable operated tram system to Melbourne: after years of lobbying by the MT&OC the Victorian colonial government passed the *Melbourne Tramway and Omnibus Act* in 1883 citing the cable trams '... would be of great public and local advantage' (Vines 2012:41).

The first line to be completed was the Spencer Street-Richmond line, along Flinders Street, Wellington Parade and Bridge Road to the Hawthorn Bridge. It opened on 11 November 1885 and by 1891 the system grew to about 75 km of double track and 1200 cars and trailers, on 17 routes, which radiated from the centre of Melbourne to what are now inner and middle suburbs. Twelve engine houses and about sixteen tram barns were erected at key locations to power and store the cable cars. It was one of, if not the largest cable car systems in the world, comparable with the San Francisco and Chicago cable car networks (Vines 2012:42).

In Port Phillip, the first cable tram route along Swanston Street, St Kilda Road and Brighton Road between Queensberry Street, Carlton and Milton Street, Elwood opened on 11 October 1888. Two weeks later, a second route opened, running via St Kilda Road, Domain and Toorak roads, and Chapel Street to Carlisle Street. This was followed in 1890 by the route to South Melbourne (via Clarendon, Park, Montague and Victoria streets), which opened on 17 June and the Port Melbourne service via City Road and Bay Street. Both services crossed the Yarra on the new Queens Bridge, built in 1889. The last service established by

the MT&OC was the Windsor to St Kilda Esplanade service via Wellington and Fitzroy streets, The Esplanade to the terminus in Acland Street, which opened on 17 October 1891 (Vines 2012).

The Melbourne Tramway and Omnibus Company operated the system from 1885 to 1916, when the newly formed Tramways Board took it over for the Victorian Government. On the expiry of its lease on 30 June 1916, the MT&OC surrendered its authority to operate the city's cable network and the Royal Park horse tramway to the Tramways Board, the forerunner of the Melbourne & Metropolitan Tramways Board (MMTB), which was formed in 1919. The MT&OC ceased to function as a passenger carrier from 1 July 1916 and was ultimately de-registered in 1922. From the 1920s the MMTB progressively converted the cable tram lines to electric traction or bus operation with the last Melbourne cable tram operating on 26 October 1940 (Vines 2012:42).

MT&OC offices and car shed

The MT&OC built a car shed and administrative offices on this site in 1888 to serve their first cable tram route in Melbourne, which opened on 11 October on that year. It was listed in the St Kilda rate books as 'Tram sheds Bk & Iron' with a Net Annual Value of £550. The complex is shown on the Melbourne & Metropolitan Board of Works Detail Plan of this area, prepared in 1898 (Figure 1).

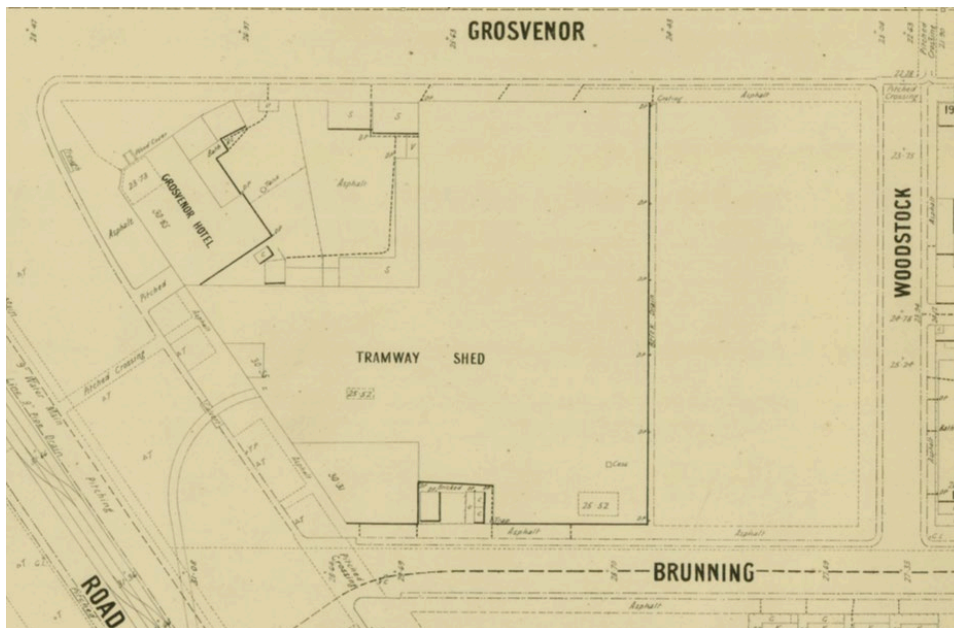


Figure 1: Extract of MMBW Detail Plan 1440 showing the cable tram shed complex in 1898

By 1917 the operation of the Brighton Road cable tram had been taken over by the Tramways Board and in 1918 the Board added a second floor to office building. Designed by the Board architect, Francis Barlow, this provided additional accommodation for the drivers including lockers and cloak rooms (Figure 2) (BP).

Between late 1925 and January 1926 the MMTB progressively converted the Brighton Road route to electric traction, and then in August 1926 extended the newly electrified route along Brighton Road to Glen Huntly Road where it connected with electric tramway to Carnegie. The Prahran & Malvern Tramways Trust had established the first section of the Carnegie route in 1913, from Elsternwick to Grange Road, and in December 1926 the MMTB extended it to the present terminus at Koornang Road (Yarra Trams).

Consequently, the cable tram car shed was no longer required, as the electric trams were to be stored at new depots established by the MMTB at Glen Huntly or South Melbourne. By 1930 part of the building was occupied by Tiger Steel & Welding Works Pty Ltd, while the Tramway Co. was still listed. However, by 1940 the only occupant was H. Fleming, a motor engineer (SM).

The complex was still extant in 1970 (Figure 3). However, in the early 1990s a substantial section of the car sheds was demolished to make way for a social housing development for older persons. The remaining section of the car shed, and the administrative office was acquired by the owners of the Grosvenor Hotel and adapted to become an extension of the dining and lounge areas and a drive through bottle shop.



Figure 2: Extract of 1918 building plans showing the front elevation to Brighton Road (Source: Port Phillip building file)



Figure 3: 1970 aerial photograph (Source: St Kilda Historical Society collection: 'Department of Crown Lands & Survey. Melbourne 1970 Project. Run 42E. 22.1.70')

References

Melbourne & Metropolitan Board of Works (MMBW) Detail Plan 1440, dated 1898

Port Phillip Thematic Environmental History (TEH) Version 1, July 2020

St Kilda building permit (BP): 3741, 31 October 1918 (Additions to office)

St Kilda rate books (RB): November 1888 (no. in rate 3392); 1891 (3591)

Sands & McDougall Directory (SM) 1925, 1930, 1935, 1940

Vines, Gary, *Melbourne Metropolitan Tramway Heritage Study*, 2012

Yarra Trams, 'Our history: Tramway milestones; Between the wars' <http://www.yarratrams.com.au/about-us/our-history/tramway-milestones/between-the-wars/> [viewed 25 April 2016]

Description

The former MT&OC offices and car sheds have been incorporated into the Grosvenor Hotel complex, and the original section of the hotel is situated at 10 Brighton Road (see Citation 301). This description relates only to the former MT&OC offices and car sheds at 16 Brighton Road as shown in Figure 4.

The former administrative office is a two-storey corner Federation/Edwardian building, which is constructed of red brick with cement dressings and has a hipped tile roof concealed by a solid parapet with a deep cornice below. There is another cornice between ground and first floor. The symmetrical façade to Brighton Road is divided into three bays by pilasters. The central pilasters extend through the parapet to support the central pediment, which sits above a recessed panel. The windows to the first floor (covered over or removed) have triangular lintels and the rendered chimneys have a string course and capping. The ground floor openings have all been changed or enlarged.

The surviving section of the former car shed wraps around the office building. It has brick walls and wide hipped roofs supported internally by large timber trusses. The façade elevations have been modified and new openings created. The floor is concrete, and remains of tram tracks or cable tunnels may survive beneath (Vines, 2012:182).



Figure 4: Aerial, showing extent of former MT&OC offices and car sheds (Map source: Nearmaps.com)

Comparative analysis

This is one of four surviving heritage places associated with the development of the cable tram network in Port Phillip. The others are:

- Former MT&OC Cable Tram Engine House, 105 Wellington Street, St Kilda (Individual HO360, Citation 2266). Erected in 1891, this was remodelled during the interwar period when it was converted to a motor garage.
- Former MT&OC Cable Tram Engine House, 357-361 City Road, South Melbourne (Significant within HO4 South Melbourne City Road Industrial precinct, Citation 1157). Erected c. 1890 to service the

Port Melbourne and South Melbourne routes, this building was significantly damaged by fire c.1995 and only the ornate façade remains.

- Former MT&OC Office, 176-178 Victoria Avenue, Albert Park (Significant within HO442 Albert Park Residential precinct). Built in 1890, the MMTB added a second storey in 1918, and in 1940 the building was converted into shops with flats above.

Buildings associated with the development of the cable tram network in Port Phillip that have been demolished include the car sheds in Port Melbourne (formerly at 65 Beach Street), and two in St Kilda (92-98 Chapel Street, and 95-111 Acland Street).

The former office building compares well with the other surviving MT&OC office, which was similarly extended by the MMTB in 1918, before being significantly altered in 1940 when it was converted to shops and flats. By comparison, the exterior of the Balaclava offices remains largely intact to the 1918 additions.

While the former car shed has been significantly altered, and partly demolished, it is nonetheless significant as the only surviving car shed in Port Phillip and the historic use can be interpreted by its association with the office building. Internally, the large timber trusses are a significant feature and provide evidence of the large spans required to provide clear and unencumbered space for the storage of the cable trams.

The *Melbourne Metropolitan Tramway Heritage Study*, prepared by Gary Vines in 2012 identified the offices and car shed as being of potential State significance.

Assessment

This place has been assessed in accordance with the processes and guidelines outlined in the Australia ICOMOS *Charter for Places of Cultural Heritage Significance* (The Burra Charter) 2013, using the Hercon criteria. The analysis of significance has considered the assessment of State significance by Vines (2012).

Recommendations

Transfer from HO7 to an individual heritage overlay. Retain external paint controls and apply internal controls to the timber trusses within the former car shed.

Primary source

David Helms, *HO7 Elwood St Kilda Balaclava Ripponlea Precinct heritage review Stage 2: Review of existing heritage citations (Part 2)*, 2022

Other studies

Vines, Gary, *Melbourne Metropolitan Tramway Heritage Study*, 2012

Other images



Internal roof trusses within former car shed

City of Port Phillip Heritage Review

Place name: Coles Store No.64 (Former)
Other names: -

Citation No:
2448



Address: 160 Acland Street, St Kilda

Category: Commercial: Shop

Style: Interwar: Moderne

Constructed: 1937-38

Designer: Harry A. Norris

Amendment: C206port

Comment: New citation

Heritage Precinct: Village Belle Commercial

Heritage Overlay: HO538

Graded as: Significant

Victorian Heritage Register: No

Significance

What is significant?

The former Coles Store No.64, designed by Harry A. Norris and constructed in 1937-38, at 160 Acland Street, St Kilda is significant. The Moderne-style facades and shopfronts and the interior to the extent of the original plaster cornice and ceiling vents contribute to the significance of the place.

Alterations and additions are not significant.

How is it significant?

The former Coles Store No.64 at 160 Acland Street, St Kilda is of local historic, representative, and aesthetic significance to the City of Port Phillip.

Why is it significant?

The former Coles Store No.64 is of historic significance as rare surviving example of the once ubiquitous chain of variety stores established by G.J. Coles during the interwar period when it became a household name in retailing in Australia. While over 90 stores were established very few of them survive today. (Criterion B)

The former Coles Store No.64 is of representative significance as an interwar Coles variety store, designed by company architect Harry A. Norris. Typical of the stores it is in the Moderne style and is notable (perhaps unique) for the asymmetric massing of the elevation to Acland Street, and for having a second frontage with a symmetric façade to Barkly Street. The significance of the place is enhanced the retention of original features such as the shopfronts, and the interior ceiling decoration. (Criterion D)

The former Coles Store No.64 is of aesthetic significance as a fine example of a retail store in the Moderne style. Typical of the style, the facades have a strong horizontal emphasis, which on the Acland Street elevation is balanced by the vertical feature. It is notable for the asymmetric treatment of the Acland Street elevation with its distinctive gridded bay, and for the careful consideration of details such as the way the horizontal glazing bars of the windows align with the grid and incised speed lines in the main façade. (Criterion E)

Thematic context

Victoria's framework of historical themes

5. Building Victoria's industries and workforce: 5.6 Entertaining and socialising

Port Phillip thematic environmental history

6. Commerce, trade, and work: 6.2 Markets, shops, and retail

History

Village Belle Shopping Centre

The Village Belle commercial centre developed around, and took its name from, the Village Belle Hotel, which was established in Barkly Street opposite the Acland Street intersection in c.1855. In the nineteenth century Acland Street was a residential area and contained mansions in large grounds and substantial villas and terraced houses. Beginning in the first decade of the twentieth century shops began to replace the nineteenth century residential buildings. For example, following the sale of Tarroona, which occupied the largest property on the north side permits were issued for two rows of six shops each in 1918 and 1919.

Development at the south end of Acland Street near Barkly Street in the 1910s and in the 1920s spread to the north end near Carlisle Street. A major catalyst for change was the redevelopment of the former cable tram car sheds on the south side in 1926, which were replaced with 10 two-storey shops at nos. 95-105 and 107-115. The growing importance of the centre was marked in the following year with the formation of the Village Belle Traders Association, which held its first 'shopping week' to promote the area. Further development followed in the 1930s and many of the new buildings were architect-designed. This included the new Coles Store, designed in 1937 by Harry A. Norris and built as part of a major redevelopment of a former roller skating rink and theatre at the north corner of Barkly Street. By the end of the 1930s the retail transformation of Acland Street was almost complete.

The development of the centre was associated with population growth in the surrounding areas due to the boom in flat building in the 1920s and 1930s.

G.J. Coles & Co.

In 1914, following a visit to America and Britain to observe international retailing methods, George J. Coles, in partnership with two brothers, opened the first Coles variety store in Smith Street, Collingwood. Encouraged by their success, G.J. Coles and Co. P/L was established as a proprietary company in 1921. Between 1922 and 1927 (when the company went public) a further eight stores were established in Melbourne, including the first Bourke Street store. Each store was numbered in order of opening.

In 1928 Coles opened the first interstate store in Sydney and began to remodel some of the older stores. In the following year they commenced construction on their flagship store in Bourke Street, Melbourne on the site of the former Coles Book Arcade. The new stores and remodels were designed by the company architect, Harry A. Norris, who in 1928 went on a tour of America to obtain the latest ideas in mechanical ventilation, café equipment and store fittings (Colesandco Vol. 1 No.1, January 1928).

By the start of World War II there were 86 stores nationally. After World War II, the company continued to grow, acquiring several competitors (for example, Selfridges, Penneys, Dickins) and constructing a large distribution centre at Port Melbourne. In 1959, Coles had 300 stores operating throughout Australia, and in 1962 the first of the ‘New World’ supermarkets was opened in Frankston (Golden Jubilee Report).

Coles Store No.64

In the nineteenth century the triangular block at the north corner of Acland and Barkly streets and bounded by Belford Street to the north was occupied by two mansion estates: Taroona and Oakwood. In 1912 the Elite Roller Skating rink was built on the corner at the intersection of Acland and Barkly Streets. It was converted to a picture theatre in 1915 before becoming a motor garage and then a market.

In 1937 plans were announced for the redevelopment of the site, which was to include a large store for G.J. Coles & Co. Ltd, a ‘modern market’, 20 retail shops and ‘residential chambers’, all to be built at an estimated cost of over £70,000. Demolition commenced in late 1937 and the complex was completed by 1938. Apart from the Coles Store, which was designed by Harry A. Norris, the other buildings were designed by A.G. Hedley, architect of Collins Street (*Herald*, 6 August 1937, p.14 ‘Big building plan for St Kilda’).

The building of the new Coles Store No.64 at St Kilda was reported in the October 1937 edition of the Colesanco Staff Magazine, and the article included an architectural render (Figure 1). By December of that year the building was well advanced, and it was opened in January 1938.

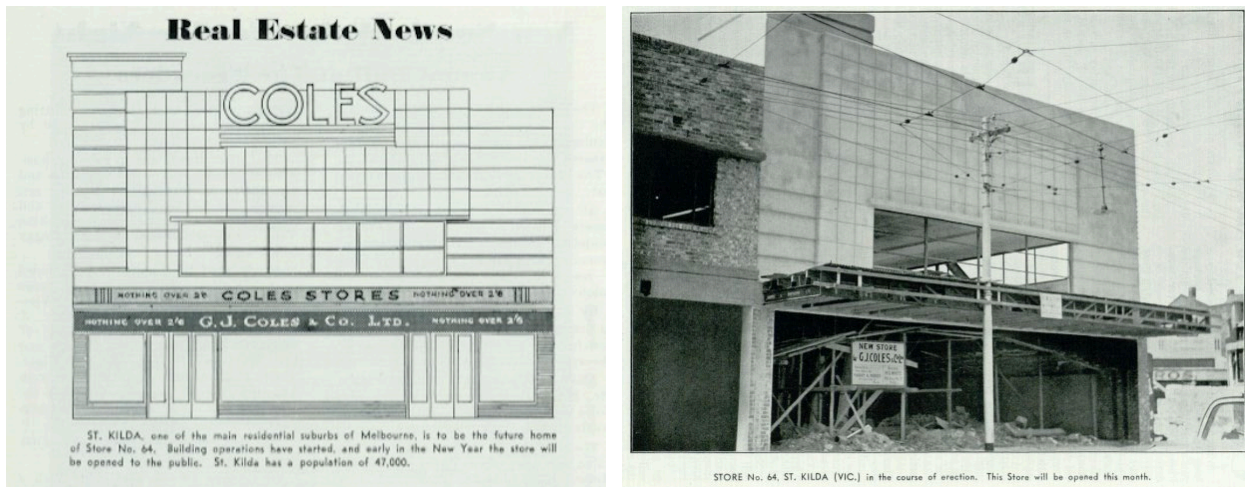


Figure 1 : At left, elevation of St Kilda Store No.64; At right, the store under construction. Below, the Acland Street elevation of the store soon after opening (Source: Colesanco Staff Magazine, October 1937, January 1938).



Harry A. Norris

Harry A. Norris (1888-1967) was articled to Ward & Carleton Architects of Melbourne between 1906 and 1911 and by 1920 had established his own rapidly growing practice in Collins Street. One of his first major projects, the Northcote Soldiers and Sailors Memorial Hall (1922), was designed in the Beaux Arts style, which exerted a strong influence in architectural circles in Victoria at the time (Goad & Willis).

Not long after establishing his own practice, Norris gained two important clients for whom he completed repeated commissions for several decades: retailer G.J. Coles & Co., and pharmaceutical manufacturers George and Alfred Nicholas. In 1928-29, G.J. Coles & Co. sent Norris to the United States of America to investigate chain store architecture. Norris, along with other Melbourne architects of the time, viewed North America as a template for architectural advancement. He participated in further tours of the United States in 1934, 1936 and 1937, studying commercial and industrial architecture. Norris went on to be a local pioneer of department stores and automotive showrooms. He designed and altered many stores for Coles in Melbourne and suburbs, as well as rural centres in Victoria and interstate Coles stores in New South Wales and South Australia (Goad & Willis).

Norris was also employed by the Nicholas family on a variety of projects including the speculative office and retail building known as the Nicholas Building (1925-26), the rural retreat Burnham Beeches (1930-33) in the Dandenong Ranges and the Vice Chancellors House at the University of Melbourne (1937). By the 1930s Norris had become a leading designer of modern, large scale commercial and retail buildings in Melbourne.

Notable buildings designed by Norris in the Moderne style included Foy and Gibson's Store (1935) on Bourke Street, Melford Motors (1937 and 1955 additions) on Elizabeth Street, Mitchell House (1936-7) on Elizabeth Street and the Capitol Bakery (1937) in South Yarra. During WWII Norris assisted in a national building and housing program and was advisory architect to the War Damage Commission.

Norris continued to practice after the war, but with limited output. In 1954, Norris renamed his firm the Office of Harry A. Norris. Three years later, the name of the firm changed again to Harry A & Frank L Norris after his youngest brother, Frank Leonard Norris (1903-1976) was elevated to partnership.

References

Colesandco Staff Journals

G.J. Coles & Coy Ltd, 'Golden Jubilee Report 1914-1964' (Records of Coles Myer held by SLV)

Goad, Phillip & Willis, Julie (eds.), *The encyclopedia of Australian architecture*, CUP, Port Melbourne 2012

Port Phillip Thematic Environmental History (TEH) Version 1, July 2020

St. Kilda Council building permits (BP): 9712, 16 June 1937 (Market, Coles store, shops); 9861, 4 February 1938 (installation of two neon signs)

Description

The former Coles Store No.64 is an interwar commercial building in the Moderne style. Unusually, it has two frontages with different facades to each.

The Acland Street elevation is asymmetrically massed and detailed with a taller feature at left that extends above the parapet. Projecting slightly forward of the front wall and placed off centre is a shallow bay with a grid pattern that has an off-centre cut out (that originally contained the Coles sign) and a metal framed horizontal window that extends to the edge of the bay at right and has a shallow flat hood. The windows have horizontal glazing bars that align with the lines of the grid pattern and the incised 'speed lines' to the main wall either side. The shopfront is symmetrical with two entrances and retains the original metal windows with curved corners, black tiles to the stallboards, and patterned terrazzo floors to the ingos. The soffit to the awning appears to be original. Above the awning is a metal sculpture work by local artist, Greg Irvine.

The Barkly Street elevation is symmetrical. Here the gridded feature extends above the parapet and has a central cut-out that once contained the Coles sign. The window extends the full width of the gridded bay and is divided into four bays by half-circular pilasters with incised lines that align with the horizontal glazing bars of the two inner windows. The outer windows are of a different design and include inward opening hoppers on the left side. The shopfront on this side retains what appears to be original metal framing, but the entry door has been partially enclosed. The awning soffit appears to be original.

Internally, there is original decorative plaster ceiling decoration including coved cornices with incised detailing and decorative vents.

The building is in good condition and has good integrity. The most significant external change has been the removal of the original Coles signage from the parapets to both Acland Street and Barkly Street. There are some alterations to the shopfronts to Acland and Barkly Street, including the replacement of original curved glass with faceted glass.

Comparative analysis

While the 'flagship' Coles Store at 299-307 Bourke Street, Melbourne survives, most of the interwar suburban Coles variety stores have been demolished or altered beyond recognition. Store No. 1 in Smith Street was recently demolished, and the façade rebuilt, but in a different location. In Port Phillip, there was a Coles Store in Clarendon Street, but it was established within an existing Victorian era shop and the façade has since been altered.

The design of this Coles store also appears unique amongst the stores of the period. Most were in the Moderne style with symmetrical façade elevations (Figure 2). St Kilda Store No.64 is distinguished by the asymmetrical massing of the façade, and for having two frontages, with a secondary façade in the Moderne style (with a symmetrical form) to Barkly Street. Overall, the store has a high degree of integrity which includes the original shopfronts to Acland Street, and the original decorative plaster ceiling details.

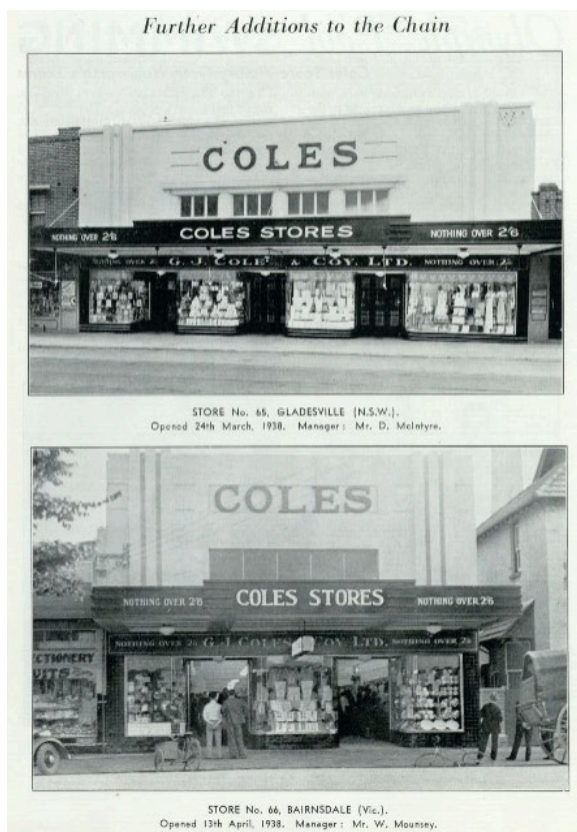


Figure 2: Typical examples of 1930s Coles stores with symmetrical facades (Source: Colesanco December 1937)

Assessment

This place has been assessed in accordance with the processes and guidelines outlined in the Australia ICOMOS *Charter for Places of Cultural Heritage Significance (The Burra Charter) 2013*, using the Hercon criteria.

Recommendations

2022: Retain external paint controls and apply internal controls.

1998: Include in the schedule to the Heritage Overlay Table in the Port Phillip Planning Scheme.

Primary source

David Helms, *H07 Elwood St Kilda Balaclava Ripponlea Precinct heritage review Stage 2: Review of existing heritage citations (Part 2)*, 2022

Other studies

Andrew Ward & Associates, *City of Port Phillip Heritage Review*, 1998

Other images



Barkly Street elevation and shopfront



Original shopfronts to Acland, showing (at right) terrazzo floor to the ingos (covered by mat in left image)