

Postal Address
Private Bag No.3,
PO St Kilda Victoria 3182,
DX 35706 Balclava
Enquiries
208-220 Bank Street,
South Melbourne Victoria
Phone (03) 9209 6666
Facsimile (03) 9534 9105

"COMPS" Better Building Solutions for Victorians@

Planning & Building Services Located at:-
South Melbourne Office
208-220 Bank Street, South Melbourne

Phillip Beard
Urban Planner



Yours faithfully,

If you are aggrieved by any condition on this permit you may appeal to the Victorian Civil and Administrative Tribunal to have that matter discussed. The last page of the Planning Permit form has some details regarding this process.

PLEASE READ AND CONSIDER THE CONDITIONS CAREFULLY.

Note: Any variation from the Planning Permit and Approved Plans will require prior written consent from Council, this may require you to submit a new application for a planning permit from Planning & Building Services at the City of Port Phillip. An Enforcement Notice will be issued to a building surveyor who fails to comply with the Building Regulations as they relate to Planning consent. Enforcement action under the Planning & Environment Act 1987 may also involve the owner where they have shown disregard for the conditions of this Planning Permit issued under the Port Phillip Planning Scheme.

You may also need building or other approvals from the Council, so you should ensure that these matters are also attended to prior to acting on this Planning Permit.

This application has been considered and it has been decided that it is appropriate that a Planning Permit be issued by delegation to Officers. I attach a copy of this Planning Permit which contains certain conditions. You should make sure that you are familiar with these conditions before you act on this permit.

I refer to your application for a Planning Permit for the development of the land at the above address for the purpose of replacement/reconstruction of a major promotional sign.

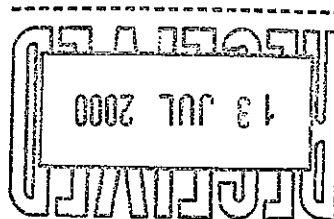
Re: Planning Application for land at:-
Address: 1 FITZROY STREET, ST. KILDA

Dear Sir/Madam,

Adspace Outdoor
C/o Fulcrum Planning
PO Box 381 Richmond
3121

6 July, 2000

Enquiries: Phillip Beard
Telephone: 9209 6362
Reference No: 678/2000



CITY OF
PORT PHILLIP



Building Approvals in 24 hours? YES WE CAN! Phone 9209 6253 now.

M33

Date

12/7/00

Signature for Responsible Authority

[Handwritten Signature]

The Responsible Authority may extend the periods referred to if a request is made in writing before the permit expires or within three months afterwards.

- 1. The development as shown on the endorsed plans must not be altered without the written consent of the Responsible Authority.
- 2. This permit shall not be construed as permitting any animation of the sign hereby permitted except with the further written approval of the Responsible Authority.
- 3. The location and details of the structure shown on the endorsed plan must not be altered without the written consent of the Responsible Authority.
- 4. External sign lighting must be designed, baffled and located to the satisfaction of the Responsible Authority to prevent any adverse effect on adjoining land.
- 5. This permit will expire if one of the following circumstances applies:
 - (a) The development is not started within 1 year of the date of this permit.
 - (b) The development is not completed within 2 years of the date of commencement of works.

THE FOLLOWING CONDITIONS APPLY TO THIS PERMIT:

To develop the land for the purpose of replacement/reconstruction of a major promotional sign in accordance with the endorsed plans and subject to the following conditions.

THE PERMIT ALLOWS:

1 FITZROY STREET, ST. KILDA

ADDRESS OF THE LAND:



PLANNING PERMIT

Application Number: 678/2000

Planning Scheme: Port Phillip

Responsible Authority: City of Port Phillip

IMPORTANT INFORMATION ABOUT THIS NOTICE

WHAT HAS BEEN DECIDED?

The Responsible Authority has issued a permit.

WHEN DOES A PERMIT BEGIN?

A permit operates:

from the date specified in the permit, or

if no date is specified, from

- (i) the date of the decision of the Victorian Civil and Administrative Tribunal, if the permit was issued at the direction of the Tribunal, or
- (ii) the date on which it was issued, in any other case.

WHEN DOES A PERMIT EXPIRE?

1. A permit for the development of land expires if: -
 - * the development or any stage of it does not start within the time specified in the permit, or
 - * the development requires the certification of a plan of subdivision or consolidation under the Subdivision Act, 1988 and the plan is not certified within two years of the issue of the permit, unless the permit contains a different provision; or
 - * the development or any stage is not completed within the time specified in the permit, or if no time is specified, within two years after the issue of the permit or in the case of a subdivision or consolidation within five (5) years of the certification of the plan of subdivision or consolidation under the Subdivision Act, 1988.
2. A permit for the use of land expires if: -
 - * the use does not start within the time specified in the permit, or if no time is specified, within two (2) years after the issue of the permit, or
 - * the use is discontinued for a period of two (2) years
3. A permit for the development and use of land expires if: -
 - * the development or any stage of it does not start within the time in the permit; or
 - * the development or any stage after the issue of the permit; or
 - * the use does not start within the time specified in the permit, or if not time is specified, within two (2) years after the completion of the development or
 - * the use is discontinued for a period of two (2) years.
4. If a permit for the use of land or the development and use of land or relating to any of the circumstances mentioned in Section 6A(2) of the Planning and Environment Act, 1987 or to any combination of use, development or any of those circumstances requires the certification of a plan under the Subdivision Act, 1988 unless the permit contains a difference provision
 - * the use or development of any stage is to be taken to have started when the plan is certified; and
 - * the permit expires if the plan is not certified within two (2) years of the issue of the permit.

WHAT ABOUT APPEALS?

- * The person who applied for the permit may appeal against any condition in the permit unless it was granted at the direction of the Victorian Civil and Administrative Tribunal where, in which case no right of appeal exists.
- * An appeal must be lodged within 60 days after the permit was issued, unless a Notice of Decision to grant a permit has been issued previously, which case the appeal must be lodged within 60 days after the giving of that notice.
- * An appeal is lodged with the Victorian Civil and Administrative Tribunal.
- * An appeal must be made on a Notice of Appeal form which can be obtained from the Victorian Civil and Administrative Tribunal, and be accompanied by the prescribed fee.
- * An appeal must state the grounds upon which it is based.
- * An appeal must also be served on the Responsible Authority.
- * Details about appeals and the fees payable can be obtained from the Victorian Civil and Administrative Tribunal.

EXISTING 14 STOREY BUILDING

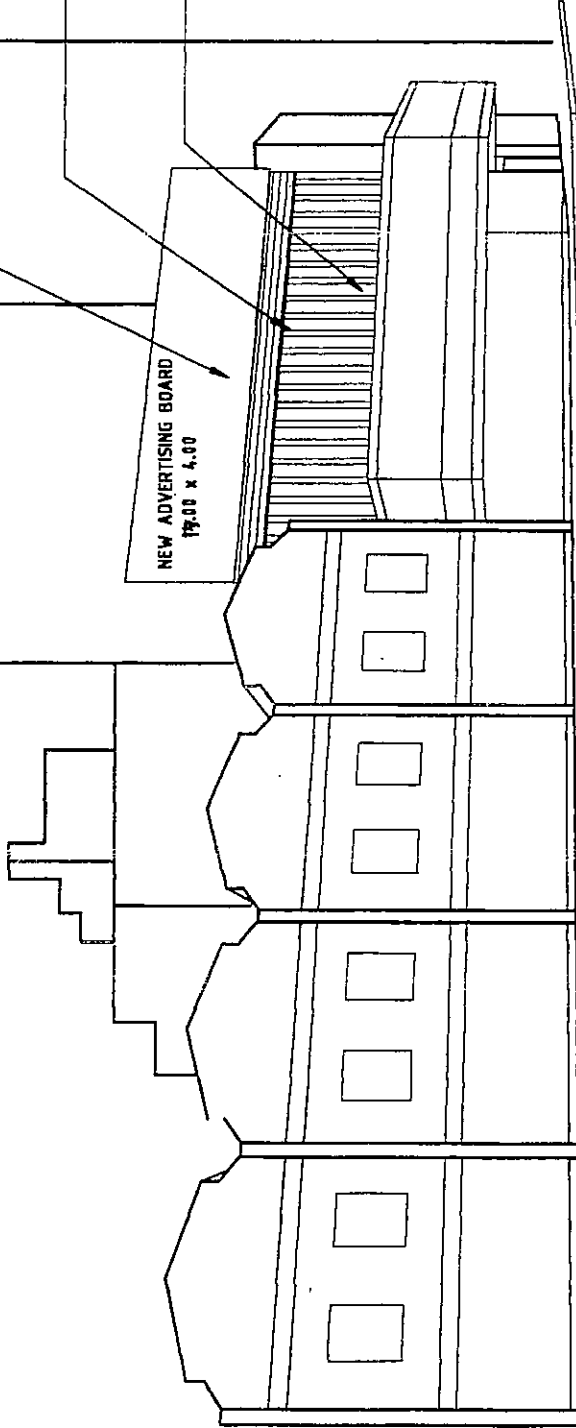
17.00 x 4.00mm ILLUMINATED/NEON
ADVERTISING BOARD

1.00mm CLADDING LIGHTING TO
INDUSTRY STANDARDS

4.5mm FRAME WORK TO
UNDERSIDE OF BOARD

NO ANIMATION WITHOUT
FURTHER WRITTEN APPROVAL

NEW ADVERTISING BOARD
17.00 x 4.00



FITZROY STREET

PLANNING & ENVIRONMENT ACT 1987
PORT PHILIP PLANNING SCHEME

Plan referred to in permit to use and/or develop
land.

Permit No.

678/2000

Sheet.....2.....of.....3.....

Auburn
Town Planner

Date: 12/7/00



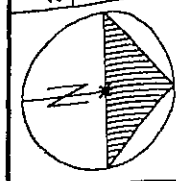
NEW STREET PERSPECTIVE



AUBURN
Drafting

128A Bridge Road, Richmond, Victoria 3121
Ph 9629 8985

ADVERTISING BOARD - 10/11 FITZROY ST. & ESPLANADE
ONE FITZROY STREET, FITZROY



NEW STREET PERSPECTIVE

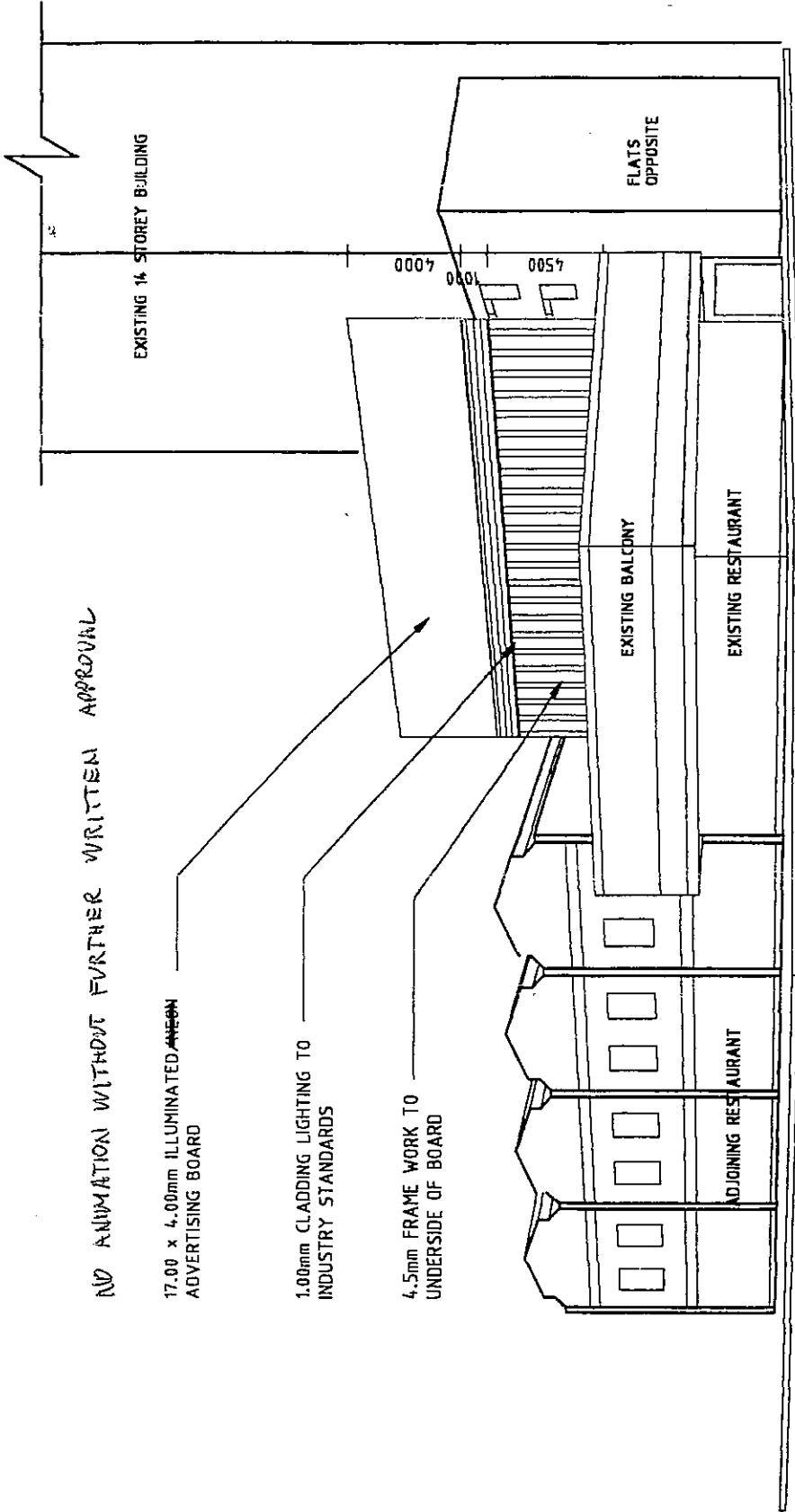
date	25 May 2000	drawn by	H D
job no	AZ027	drawing no	07A
scale	1:500/1:200/1		

NO ANIMATION WITHOUT FURTHER WRITTEN APPROVAL

17.00 x 4.00mm ILLUMINATED ANEMON ADVERTISING BOARD

1.00mm CLADDING LIGHTING TO INDUSTRY STANDARDS

4.5mm FRAME WORK TO UNDERSIDE OF BOARD



FITZROY STREET

PLANNING & ENVIRONMENT ACT 1987
PORT PHILIP PLANNING SCHEME

Plan referred to in permit to use and/or develop land.

Permit No. 678/2000

NEW PERSPECTIVE

Sheet 3 of 3

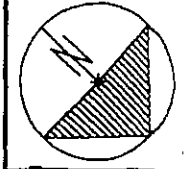
Date 12/1/10

M. J. ...
Town Planner

AUBURN
Drafting
128A Bridge Road, Richmond, Victoria 3121
Tel 9427 0799 Fax 9429 8985
email: brethton@internetwork.com.au

ADVERTISING BOARD - (CNR FITZROY ST. & ESPLANADE)
ONE FITZROY STREET, FITZROY

NEW PERSPECTIVE



date	25 May 2000	drawn by	M D
job no	A2027	drawing no	06A
scale	1:500/1:200/		

PLANNING & ENVIRONMENT ACT 1987
PORT PHILIP PLANNING SCHEME

Plan referred to in permit to use and/or develop land.

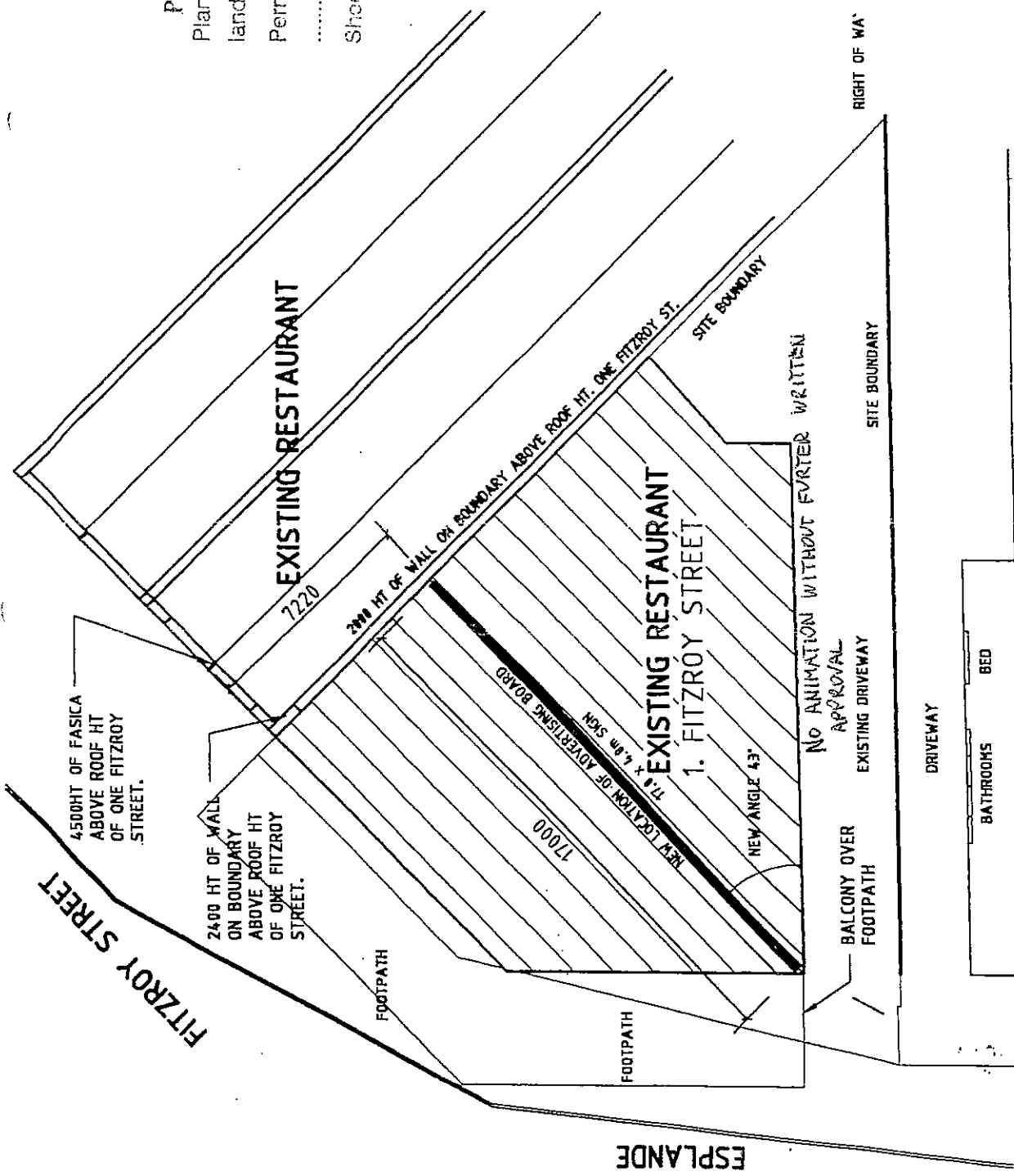
Permit no.

678/2000

Sheet 1 of 3

M. Welton
Town Planner

Date: 12 / 7 / 00



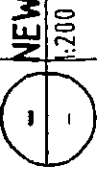
ADVERTISING BOARD - (ON FITZROY ST. & ESPLANADE)
ONE FITZROY STREET, FITZROY
ADVERTISING BOARD
NEW SITE PLAN

date: 18 April 2000
job no: A2027
scale: 1:200
drawing no: 02
drawn by: M D

AUBURN
Drafting
128A Bridge Road, Richmond, Victoria 3121
Tel 9427 0799 Fax 9429 8985
email: brethton@internets.com.au

EXISTING 5 STOREY FLATS

NEW SITE PLAN



1:200