

Attachment 5

Amendment C203port (Planning Scheme Review): Provisions updated in response to Panel recommendations.

Document list:

- a. Clause 15.01-2L-02 Environmentally Sustainable Development Policy
- b. Clause 15.03-1L Heritage Policy
- c. Schedule to Clause 43.01 Heritage Overlay
- d. Schedule to Clause 59.15 Local VicSmart Applications
- e. *Heritage Design Guidelines* (City of Port Phillip, 2022)

15.01-2L-02 Environmentally sustainable development

C203port

Policy application

This policy applies to residential and non-residential development, excluding subdivision, in accordance with the thresholds detailed in this policy.

Objective

To achieve best practice in environmentally sustainable development from the design stage through to construction and operation.

Strategies

Achieve Best Practice environmentally sustainable development that:

- Is relevant to the type and scale of development;
- Responds to site opportunities and constraints;
- Utilises a combination of locally available techniques, methodologies and system that demonstrated to achieve optimum ESD outcomes; and
- Encompass the life of the build.

~~Encourage environmentally sustainable development that:~~

- ~~▪ Is consistent with the type and scale of development.~~
- ~~▪ Responds to site opportunities and constraints.~~
- ~~▪ Adopts best practice through a combination of methods, processes and locally available technology that demonstrably minimise environmental impacts.~~

Energy performance

Reduce both energy use and energy peak demand through design measures such as:

- Building orientation.
- Shading to glazed surfaces.
- Optimising glazing to exposed surfaces.
- Inclusion of or space allocation for renewable technologies.

Integrated water management

Reduce total operating potable water use through appropriate design measures such as water efficient fixtures, appliances, equipment, irrigation and landscaping.

Encourage the appropriate use of alternative water sources (including greywater, rainwater and stormwater).

Incorporate best practice water sensitive urban design to improve the quality of stormwater runoff and reduce impacts on water systems and water bodies.

Indoor environment quality

Achieve a healthy indoor environment quality, including thermal comfort and access to fresh air and daylight, prioritising passive design over mechanical heating, ventilation, cooling and lighting.

Reduce indoor air pollutants by encouraging use of low-toxicity materials.

Minimise noise levels and noise transfer within and between buildings and associated external areas.

Transport

Design development to promote the use of walking, cycling and public transport, in that order; and minimise car dependency.

Promote the use of low emissions vehicle technologies and supporting infrastructure.

Waste management

Promote waste avoidance, reuse and recycling during the design, construction and operation stages of development.

Encourage use of durable and reuseable building materials.

Ensure sufficient space is allocated for future change in waste management needs, including (where possible) composting and green waste facilities.

Urban ecology

Protect and enhance biodiversity by incorporating natural habitats and planting indigenous vegetation.

Reduce urban heat island effects through building design, landscape design, water sensitive urban design and the retention and provision of canopy and significant trees.

Encourage the provision of space for productive gardens, particularly in larger residential developments.

Policy guidelines

Consider as relevant:

Residential

A Sustainable Design Assessment (including an assessment using BESS, STORM or other methods) for:

- 2- 9 dwellings.
- A building used for accommodation other than dwellings with a gross floor area between 50 square metres and 1000 square metres.

A Sustainability Management Plan (including an assessment using BESS/Green star, STORM/MUSIC or other methods) and a Green Travel Plan for:

- 10 or more dwellings.
- A building used for accommodation other than dwellings with a gross floor area of more than 1000 square metres.

Non-residential

A Sustainable Design Assessment (including an assessment using BESS and STORM/MUSIC or other methods) for:

A non-residential building with a gross floor area of 50 square metres to 1000 square metres.

A Sustainability Management Plan (including an assessment using BESS/Green star, STORM/MUSIC or other methods) and a Green Travel Plan for:

A non-residential building with a gross floor area of more than 1000 square metres.

Mixed use

Applicable assessments for the residential and non-residential components of the development.

Consider as relevant the following tools to support a Sustainable Design Assessment or Sustainability Management Plan:

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- *Sustainable Design Assessment in the Planning Process (IMAP, 2015)*
- *Built Environment Sustainability Scorecard 'BESS' (Council Alliance for a Sustainable Built Environment 'CASBE')*
- *Green Star (Green Building Council of Australia)*
- *Model for Urban Stormwater Improvement Conceptualisation 'MUSIC' (Melbourne Water)*
- *Nationwide House Energy Rating Scheme 'NatHERS' (Department of Climate Change and Energy Efficiency) Stormwater Treatment Objective - Relative Measure 'STORM' (Melbourne Water)*
- *Urban Stormwater Best Practice Environmental Management Guidelines (Victorian Stormwater Committee, 1999)*
- *Waste Management and Recycling in Multi-Unit Developments - Better Practice Guide (Sustainability Victoria, 2018)*

Commencement

This policy does not apply to applications received by the responsible authority before **insert gazettal date**.

Expiry

This policy will expire when it is superseded by a comparable provision of the Victoria Planning Provisions.

15.03-1L

Heritage policy

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Proposed C203port

Policy application

This policy applies to all land within a Heritage Overlay.

Strategies General

~~Retain~~, **Conserve** and ~~protect~~ **enhance** Significant and Contributory buildings as identified in the incorporated document in Schedule to Clause 72.04 ‘*City of Port Phillip Heritage Policy Map*’.

Conservation of heritage places and new development are guided by the statement of significance, **the urban context** and any relevant documentary or physical evidence.

Encourage high quality, contemporary design **responses for new development** that respects and complements the heritage place by using a contextual approach that:

- Responds to and reinforces the ~~valued characteristics~~ **contributory features** of the heritage place, including:
 - Building height, scale, massing and form.
 - Roof form and materials.
 - Siting, orientation and setbacks.
 - Fenestration and proportion of solid and void features.
 - Details, colours, materials and finishes.
- ~~Protects and e~~ **Conserves and enhances** the setting and views of heritage places.

Maintain the integrity and intactness of heritage places.

Conserve and enhance the significant historic character, ~~and~~ intactness **and integrity** of streetscapes within heritage precincts including:

- The layering and diversity of historic styles and character where this contributes to the significance of the precinct.
- The consistency of historic styles and character where this contributes to the significance of the precinct.

Avoid development that would result in the incremental or complete loss of significance of a heritage place by:

- Demolishing or removing a building or feature identified as Significant or Contributory in the incorporated document in Schedule to Clause 72.04 ‘*City of Port Phillip Heritage Policy Map*’.

- Altering, concealing or removing a feature, detail, material or finish that contributes to the significance of the heritage place.
- Distorting or obscuring the significance of the heritage place ~~or detracting from its interpretation and appreciation~~ by ~~copying~~ using historic styles ~~in~~ and detail ~~where these previously did not exist.~~

Demolition and relocation

Prioritise the conservation, restoration or adaption of a heritage place over demolition.

Discourage the complete demolition of any building or feature that contributes to the significance of a heritage place unless the building or feature is structurally unsound and the defects cannot be rectified.

Avoid demolition where it would result in the retention of only the façade and/or external walls of a Significant or Contributory building.

Support demolition of part of a Significant or Contributory building or feature if it will not adversely impact upon the significance of the place and any of the following apply:

- It will remove an addition ~~or accretion~~ that detracts from the significance of the place.
- ~~The part demolition is consistent with site specific heritage design guidelines listed in an incorporated document in the Schedule to Clause 72.04.~~
- It is associated with an accurate replacement, or reconstruction of the place.
- It will allow an historic use to continue.
- It will facilitate a new use that will support the conservation of the building.

Avoid the demolition of a Significant or Contributory building unless new evidence has become available to demonstrate that the building ~~does not possess the level of heritage significance attributed to it in the incorporated document *Port Phillip Heritage Review and City of Port Phillip Heritage Policy Map* is not of heritage significance and does not contribute to the heritage place.~~

Avoid the relocation of a building or feature that contributes to the significance of a heritage place unless ~~a suitable new location is secured and~~ either:

- The relocation is the only reasonable means of ensuring the continued existence of the building or feature and the option of retaining it in the current location is not feasible.
- The building or feature has a history of relocation and/or is designed for relocation.

Conservation

Prioritise the maintenance and repair, rather than replacement of features, details, materials or finishes that contribute to the significance of heritage places.

Encourage accurate like for like replacement of features, details, materials or finishes that contribute to the significance of heritage places if they are damaged and cannot be repaired ~~or are missing.~~

Encourage the accurate restoration or reconstruction of heritage places to a known earlier state, particularly publicly visible features such as:

- Verandahs, balconies and awnings.
- Doors and windows.
- Wall materials and details.
- Roof materials and details.
- Shopfronts.
- Chimneys
- Front fences.
- Historic signage.

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Support full reconstruction in exceptional circumstances (for example, if a building has been destroyed by fire) when there is sufficient physical or documentary evidence to enable accurate reconstruction, and where any of the following apply:

- The building forms part of a row, terrace or group that have a degree of uniformity that should be maintained **and can be replicated**.
- The building or feature is an integral part of a related group of buildings or features ~~(for example, a church hall adjacent to a church)~~.
- The building or feature is a landmark ~~or contributes to an important view or vista~~ **and** ~~there is strong community attachment to the building or feature.~~

Encourage the conservation of alterations and additions where they contribute to the significance of the place.

Conserve original colour schemes **and** ~~E~~ensure new colour schemes are appropriate to the architectural style of the building **where external paint controls are triggered.** ~~and-~~

Discourage the painting of originally unpainted surfaces.

For buildings originally used for commercial or industrial purposes, encourage conservation of features such as equipment, machinery or signage that provide evidence of the original use.

Alterations

~~Avoid~~ Discourage alterations to:

- **Contributory fabric of** ~~t~~he principal façade, roof or any walls or surfaces visible from the public realm including a side **street or** laneway for Significant and Contributory places. [GJM – to allow alterations to later or altered elements]
- Any feature, detail, material or finish specified in the statement of significance for Significant places.

Support alterations to visible or contributory fabric of Significant or Contributory places if it will not adversely impact upon the significance of the place and any of the following apply:

- It will allow an historic use to continue.
- It will facilitate a new use that will support the conservation of the building.
- It will improve the environmental performance of the building.

Additions

Support additions to residential buildings that are:

- Fully or substantially concealed if the associated building is within a heritage streetscape with a consistent scale or is a Significant place.
- Partially concealed if the associated building is within a heritage streetscape with a diverse scale and is not a Significant place.

Support additions to commercial and industrial buildings that are set back a minimum depth of the primary roof form (commercial buildings) or two structural bays (industrial buildings) to retain original or early fabric including the principal façade/s and roof features, and which:

- respect the scale and massing of the existing heritage building or streetscape; and
- maintain the prominence of the heritage features of the building or streetscape and do not detract from, or visually dominate, the heritage building or streetscape; and
- are visually recessive against the heritage fabric.

Additions to buildings situated on corner sites (including to a laneway) should respond to the host building and the heritage character of both the primary street and side street or lane.

~~Support alternative approaches to additions if it will not adversely impact upon the significance of the heritage place and any of the following apply:-~~

~~it is located in a streetscape where there is diversity of siting, form, massing or scale of existing buildings.~~

- ~~The heritage place is situated on a site where a different built form is encouraged by other provisions in the planning scheme.~~
- ~~The additions are in accordance with site specific heritage design guidelines listed in an incorporated document in the Schedule to Clause 72.04.~~

New buildings

Support new buildings that respect and complement Significant and Contributory buildings in relation to form, scale, massing, siting, details and materiality ~~in a consistent streetscape, or where the setting of the heritage place is intact.~~

~~Support alternative approaches to the design of new buildings when any of the following apply:~~

- ~~It is located in a streetscape where there is diversity of siting, form, massing or scale of existing buildings.~~
- ~~It is located on a site where a different built form is encouraged by other provisions of the planning scheme.~~
- ~~The new building is in accordance with site specific heritage design guidelines listed in an incorporated document in the Schedule to Clause 72.04.~~

Car parking Vehicle access

Discourage vehicle crossovers and driveways at the front of a Significant heritage place or any property within a heritage precinct where vehicle access was not historically provided for.

Avoid changes to existing crossovers that would impact upon the significance or setting of a heritage place.

Encourage vehicle access to be:

- From a rear laneway.
- For a corner property, from the side street to the rear yard of the property only if rear laneway access is not available.

Avoid on-site car parking in locations that would be visible from a street (other than a lane).

Fencing

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Encourage conservation of fences or gates that contribute to the significance of a heritage place.

Ensure the height, materials, [detailing](#) and colours of front fences are appropriate to the architectural style of the heritage place.

Encourage a consistent approach [to new fences](#) for heritage places that form part of a related group of buildings such as an attached pair or terrace row or houses, [including the reconstruction of historic fences if applicable](#) ~~forming part of a consistent streetscape~~

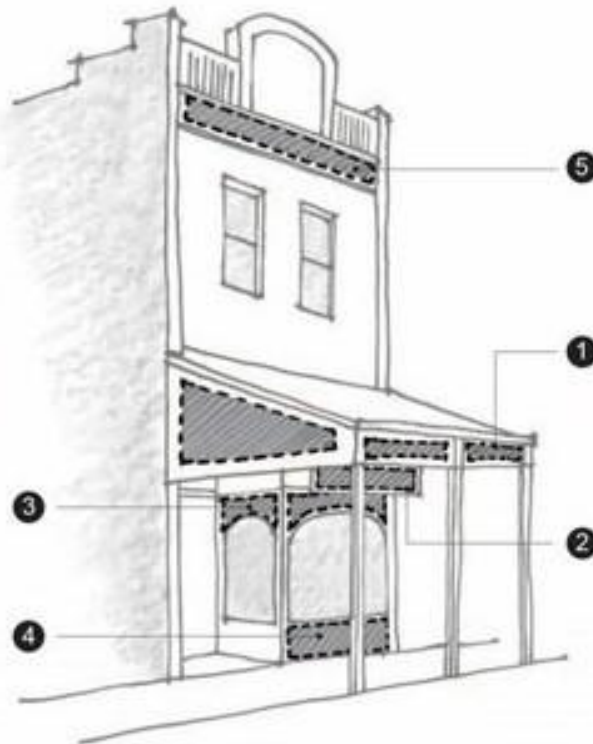
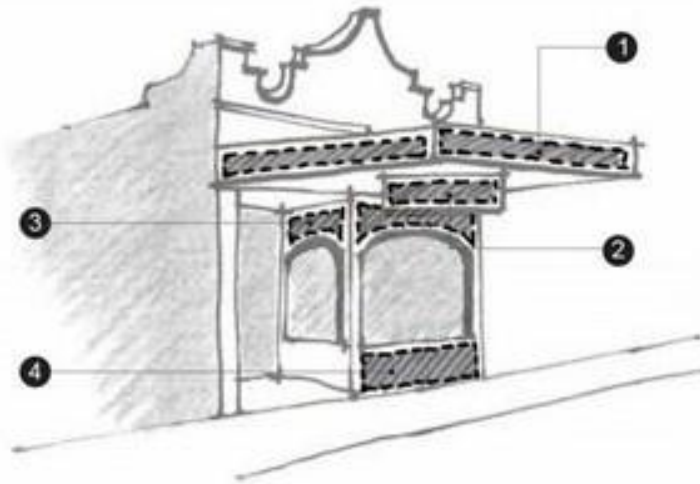
Encourage new fences or gates for Non-contributory places to be in a simple contemporary style that complements the fences historically found in the heritage precinct.

Signage

Encourage the conservation of historic signs.

Encourage signs to be in traditional locations on heritage buildings, as depicted in Figure 1.

Figure 1 - Traditional locations for signage on heritage buildings



- ① Fascia mounted: retaining space surrounding sign
- ② Below awning: attached to a lightweight frame
- ③ On windows: as a decorative frame feature
- ④ Below windows and flush to facade
- ⑤ Above verandah: below pediment and/or cornice, and retaining within panel area

Avoid signs that would:

- Be visually intrusive or dominant.
- Detract from the setting of a heritage place.
- Alter, damage, conceal or destroy features, details, materials or finishes that contribute to the significance of a heritage place.
- Interfere with views of heritage places.

Avoid the following types of signs **unless consistent with the significance of the place**:

- Above verandah signs, except as shown in Figure 7.
- Animated, Electronic or Floodlit signs.
- Bunting sign.
- High-wall sign.
- Panel sign.
- Pole sign.
- Promotion or major promotion signs.
- Reflective sign.
- Sky sign.
- Signs attached to street furniture including seating, shelters, phone booths and the like.

Significant trees and gardens

Encourage pruning practices and procedures that reduce the risk of hazard development such as branch failure, disease and infection and premature tree death.

Ensure that development, or changes in immediate environmental conditions, adjacent to a tree **identified in the Schedule to the Heritage Overlay will** not have a detrimental impact upon the integrity and condition of the tree.

Where a tree needs to be removed due to poor health or dangerous condition, encourage replacement with the same species or a comparable alternative if the original is no longer suitable.

Encourage conservation, including restoration or reconstruction, of significant garden layouts.

Roof terraces and roof decks

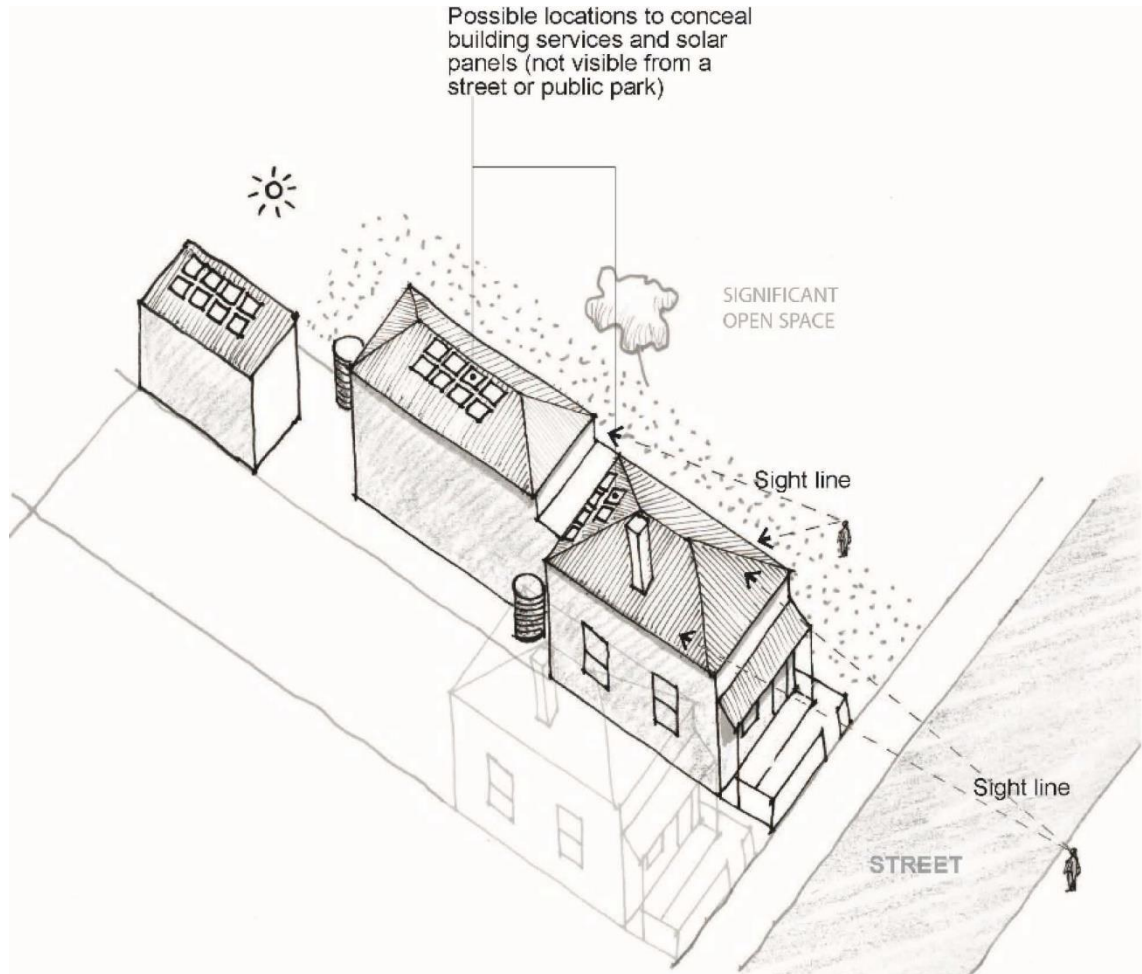
Encourage roof terrace and roof decks to be sited so that they are concealed when viewed from the street and, when on a corner, from the side street (excluding a laneway).

Ensure that roof terraces and roof decks are set back from chimneys, parapets and other roof features (roof lanterns etc).

Sustainability and services

Encourage building services and equipment associated with a heritage place such as air conditioning units **and piping**, water heaters and the like to be concealed so they are not visible from a street (other than a lane) or significant public open space as shown in Figure 2-.

Figure 2 – Possible locations to conceal services and equipment



Provide for the installation of services and equipment that will support environmental sustainability such as solar panels, solar hot water services, water tanks and the like in visible locations when:

- There is no feasible alternative location due to the size or orientation of the lot or building.
- The product is selected, designed and installed in a manner that minimises potential impacts upon the heritage place and its setting.

Subdivision

Encourage the subdivision of land in a heritage precinct to reflect the historic subdivision pattern.

Ensure that subdivision maintains an appropriate setting for a heritage place by including the retention of contributory features associated with a heritage place on a single lot.

Avoid the creation of lots that because of their size, location or layout could result in development that would adversely impact upon the significance or setting of a heritage place.

Public realm and infrastructure

Conserve historic public realm infrastructure.

Ensure that new public realm infrastructure respects and complements the historic character of the heritage place.

Ensure that development in proximity to a memorial or monument will not have a detrimental impact upon its setting, integrity or condition, or any important views to the memorial or monument.

Policy guidelines

Consider as relevant:

Additions

Additions to a residential heritage place should be contained within the following sightlines:

- A 10 degree sightline as shown in Figure 3 if the associated building is within a heritage streetscape with a consistent scale, or is a Significant place.
- An 18 degree sightline as shown in Figure 4 if the associated building is within a heritage streetscape with a diverse scale and is not a Significant place.
- A sightline taken from across the street in a narrow street less than 5 metres (Figure 5) or for the building types shown in Figure 6.

Additions to a commercial heritage place should be contained within a sightline taken from across the street as shown in Figure 7 and Figure 8.

Additions higher than one storey should have the same or greater side setbacks than those of the host building.

Figure 3 – Sightline for an addition to a residential heritage place within a consistent heritage streetscape

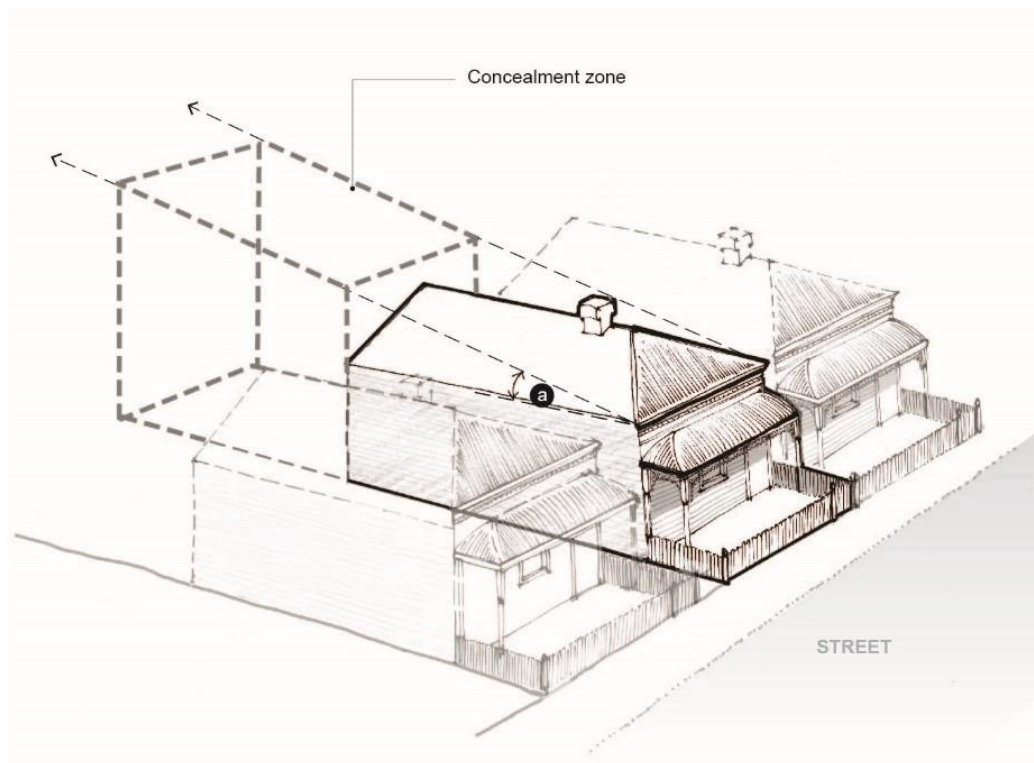
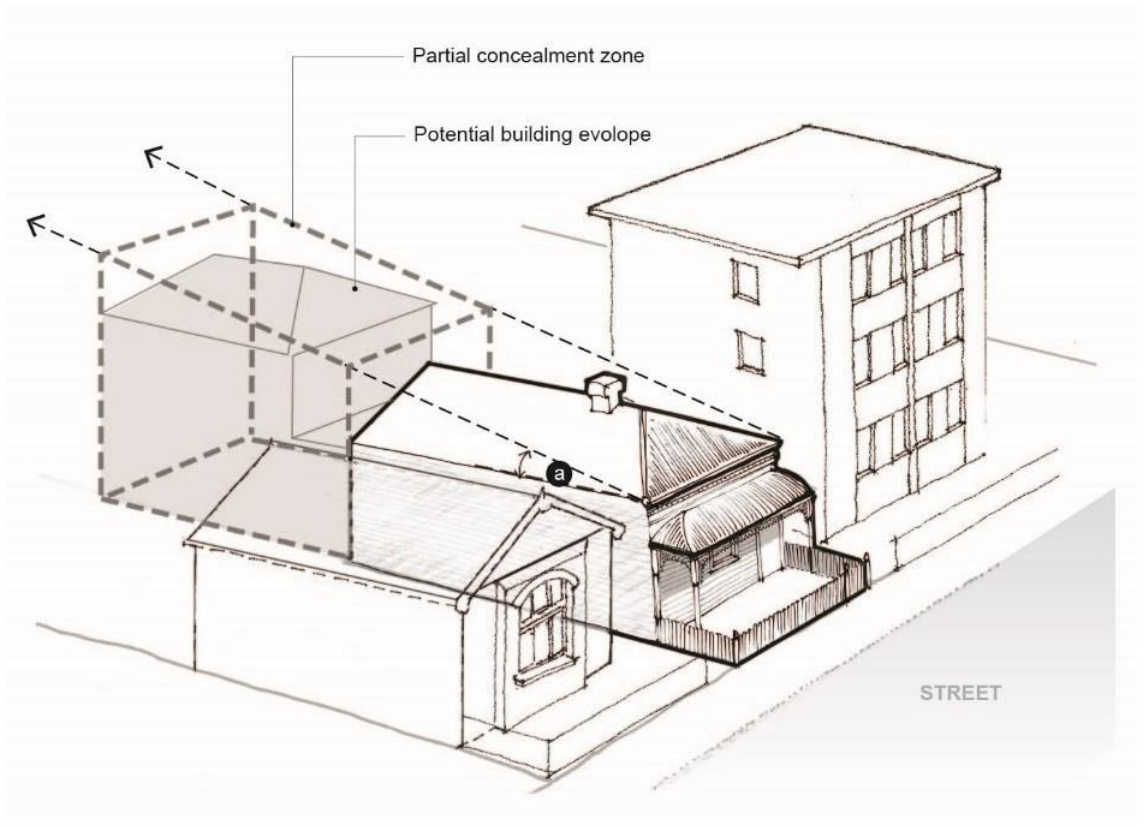


Figure 4 - Sightline for an addition to a residential heritage place within a diverse streetscape



a) The sightline is measured from the top of the gutter line at the corner of the main roof, and not from the projecting front bay, porches or verandahs.

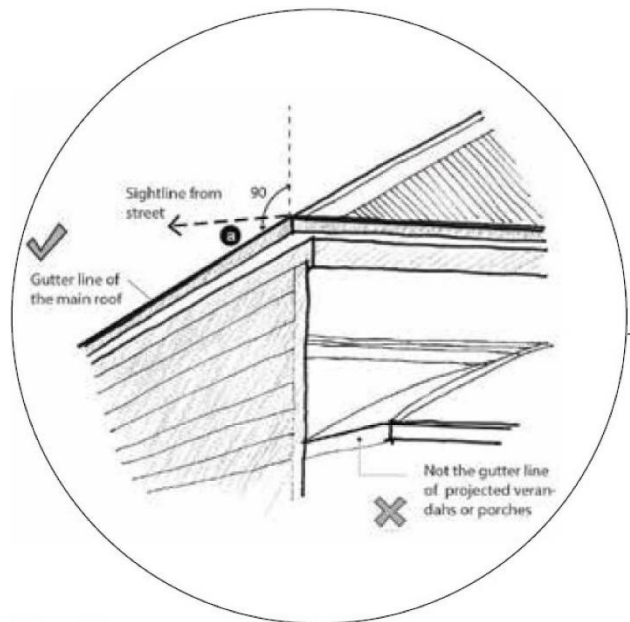


Figure 5 - Sightline for an addition to a residential heritage place in a narrow street

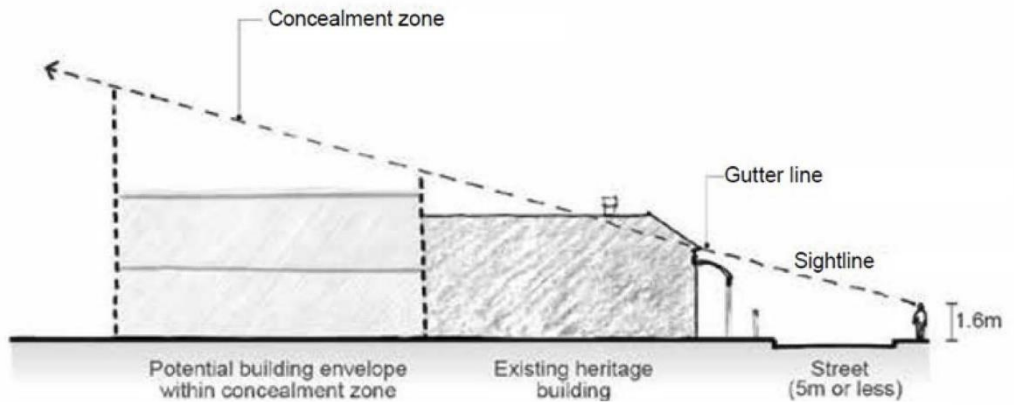


Figure 6 - Sightline for an addition to a residential heritage place with a primary ridge line parallel to the street

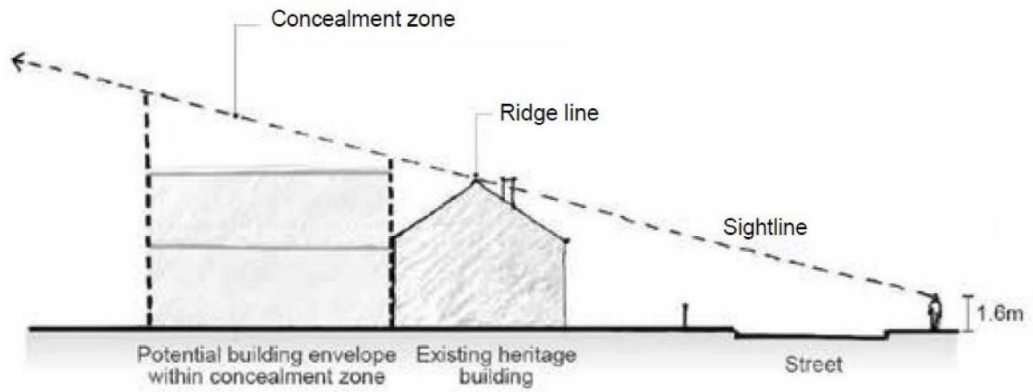


Figure 7 - Sightline for an addition to a commercial heritage place with a solid parapet

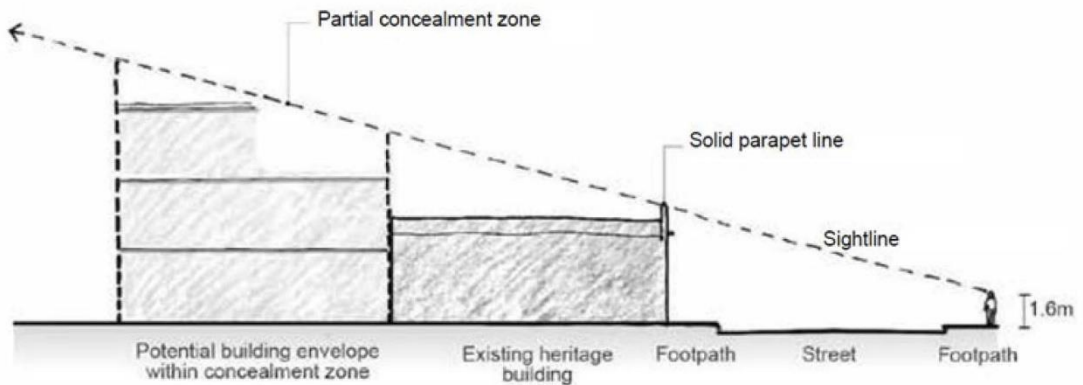
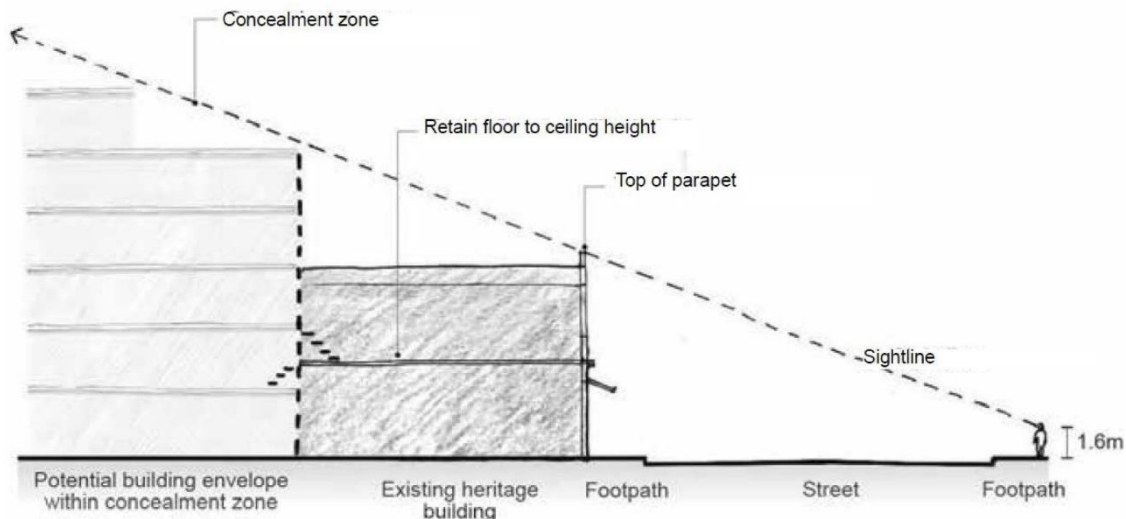


Figure 8 – Sightline for an addition to a two-storey commercial heritage place



Policy documents

Consider as relevant:

- *Fishermans Bend Additional Heritage Place Assessments* (Biosis Pty Ltd, 2015)
- *Fishermans Bend Heritage Study* (Biosis Pty Ltd, 2013)
- *Fishermans Bend Heritage Review: Montague Commercial Precinct* (RBA Architects and Conservation Consultants, October 2019)
- *Heritage Appraisal: 16-20A & 44 Wellington Street, St Kilda* (Lovell Chen, May 2015)
- *Heritage Assessment, 588-590 City Road, South Melbourne* (Context Pty Ltd, May 2017)
- *Heritage Design Guidelines* (City of Port Phillip, 2021)
- *Heritage Kerbs, Channels and Laneways Guidelines* (City of Port Phillip, 2006)
- *Heritage Overlay 6 St Kilda East Precinct Review Final Report* (David Helms Heritage Planning, January 2020)
- *Heritage Review – Wellington Street, St Kilda* (Lovell Chen (Revised) March 2017)
- *Port Phillip Design Manual, 2000* (City of Port Phillip, 2000) including:
 - *Dunstan Estate Guidelines* (City of Port Phillip, 2007)
 - *Fishermans Bend Estate Guidelines* (City of Port Phillip, updated 2021)
 - *Garden City Guidelines* (City of Port Phillip, updated 2021)
- *Port Phillip Heritage Review* (Version 36, December 2021) including:
 - *City of Port Phillip Heritage Policy Map* (City of Port Phillip, 2021)
 - *City of Port Phillip Neighbourhood Character Policy Map* (City of Port Phillip, 2021)
- *Review of Heritage Overlay 1 Port Melbourne – Outcomes and Recommendations* (Lovell Chen, July 2011)
- *Review of Heritage Overlay 1 Port Melbourne – Stage 2 Review – Summary Report* (Lovell Chen, December 2012)
- *Review of Heritage Overlay 1 Port Melbourne – Stage 2 Review – Summary Report* (Lovell Chen, December 2012)
- *Review of Heritage Overlay 3* (Heritage Alliance (2009) & Built Heritage (2010))
- *Tiuna Grove Heritage Assessment* (Barrett, 2019)

SCHEDULE TO CLAUSE 43.01 HERITAGE OVERLAY**1.0**--/--/---
Proposed C203port**Application requirements**

The following application requirements apply to an application under Clause 43.01, in addition to those specified elsewhere in the planning scheme and must accompany an application, as appropriate, to the satisfaction of the responsible authority:

- For applications to alter, extend or demolish a heritage place a report prepared by a suitably qualified heritage consultant, that assesses the impact of the application upon the significance of the heritage place. This report should demonstrate how the application has considered and responded to the objectives of this clause and the heritage strategies and policy guidelines in Clause 15.03.
- For applications that propose part or full demolition of a heritage place:
 - Plans and elevations showing the extent of all buildings and features to be demolished or removed.
 - A structural engineering report prepared by a suitably qualified person that assesses the condition of the heritage place and whether any defects can be rectified.
 - A demolition method statement that describes how any retained contributory features will be protected and conserved during demolition and construction.
- For applications to paint a heritage place a schedule, plans and elevations showing the colours and finishes to be used on all surfaces, [when external paint controls are triggered](#).
- For applications that include changes to contributory features, at least one image of the existing feature.
- For applications that include restoration or reconstruction of original fabric, plans prepared at a 1:20 scale [that clearly shows the proposed details](#).

For an addition to a heritage place or new development:

- Fully scaled and dimensioned site plan showing existing and proposed circumstances including outbuildings, fences, significant vegetation, car parking, new cross overs, on-site parking space locations and any other noteworthy features.
- A site context report that identifies contributory features of surrounding buildings including building form, scale, siting, massing, materiality and detailing, and fence types and heights.
- Photographs of the existing streetscape.
- For additions, sightline diagrams in accordance with the relevant policy guidelines for additions in Clause 15.03-1L.
- ~~For new development, a three dimensional building envelope that shows the potential new building volume if all the opportunities and constraints have been considered.~~

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- When located within a precinct, elevations that show the addition or new development in the context of the streetscape [if they are visible from the public realm](#).
 - Three dimensional illustrative renders or photographic montages showing views of the addition or development in the context of the streetscape including from oblique (side on) views. For corner sites, this should include views of the addition from side streets or laneways.
- For applications to remove a tree with identified heritage value a report prepared by a suitably qualified person in relation to the health, condition and expected lifespan of the tree and why removal is necessary.
 - For applications to prune or lop a tree or for development in proximity to a tree with identified heritage value a report prepared by a suitably qualified person that assesses potential impacts upon the health and viability of the tree.
 - For applications for development in proximity to a monument or memorial with identified heritage value a report prepared by a suitably qualified person that assesses potential impacts upon the condition or structural integrity of the feature.
 - For applications for building services including solar panels in a visible location a report prepared by a suitably qualified person that explains why there is no feasible alternative location.

2.0

08/07/2021
C162port

Heritage places

The requirements of this overlay apply to both the heritage place and its associated land.

PS map ref	Heritage place	External paint controls apply?	Internal alteration controls apply?	Tree controls apply?	Outbuildings or fences not exempt under Clause 43.01-4	Included on the Victorian Heritage Register under the Heritage Act 2017?	Prohibited uses permitted?	Aboriginal heritage place?
HO1	<i>Port Melbourne</i> Area generally bound by Clark Street to the north, Ingles and Boundary Streets to the east, Pickles Street to the south and Graham Street to the west	Yes	No	Yes – but limited to the Port Melbourne Light Rail Reserve, area zoned PPRZ.	No	No	No	No
HO2	<i>The Garden City Housing Estates</i> Port Melbourne	Yes	No	No	No	No	No	No
HO4	<i>City Rd Industrial Area</i> South Melbourne	Yes	No	No	No	No	No	No

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PS map ref	Heritage place	External paint controls apply?	Internal alteration controls apply?	Tree controls apply?	Outbuildings or fences not exempt under Clause 43.01-4	Included on the Victorian Heritage Register under the Heritage Act 2017?	Prohibited uses permitted?	Aboriginal heritage place?
HO5	<i>St Kilda Hill</i> Area generally bound by Fitzroy St to the North, Barkly St to the east, Carlisle St to the south and Port Phillip Bay to the west	Yes	No	No	No	No	No	No
HO6	<i>St Kilda East</i> Area generally bound by Wellington Rd and Dandenong Rd to the north, Inkerman Rd to the south, St Kilda Rd to the west and Orrong Rd to the east	Yes	No	No	No	No	No	No
HO7	<i>St Kilda, Elwood, Balaclava, Ripponlea</i> Area generally bound by Carlisle St to the north, Glenhuntly Rd to the south, Hotham St to the east and Mitford St and Broadway to the west	Yes	No	No	No	No	No	No
HO7 Interim Control Expiry date: 01/10/2021	<i>St Kilda, Elwood, Balaclava, Ripponlea Precinct Extension</i> 41-57 Dickens Street, 1-3 Ruskin Street, 1 Addison Street, 49-51 and 59-61 Mitford Street, Elwood	Yes	No	No	No	No	No	No
HO8	<i>Elwood-Glen Huntly Rd, Ormond Rd</i> Area generally comprising Glen Huntly Rd as the east-west spine, extending north just beyond Shelley St between Marine Parade and the Elwood Canal, and south generally between Ormond Rd and Ormond Esplanade	Yes	No	No	No	No	No	No
HO318	<i>Brighton Rd (Elwood)</i> Brighton Rd, Burns St, Glenhuntly Rd, Heaton St	Yes	No	No	No	No	No	No
HO316	Carlisle St (East Carlisle St, Hawsleigh Ave	Yes	No	No	No	No	No	No

PORT PHILLIP PLANNING SCHEME

PS map ref	Heritage place	External paint controls apply?	Internal alteration controls apply?	Tree controls apply?	Outbuildings or fences not exempt under Clause 43.01-4	Included on the Victorian Heritage Register under the Heritage Act 2017?	Prohibited uses permitted?	Aboriginal heritage place?
HO30	<i>Emerald Hill Estate</i> Bank, Clarendon, Park, Cecil, Dorcas, Marshall, Fishley, Layfield and Perrins Streets, South Melbourne	-	-	-	-	Yes Ref No H1136	Yes	No
HO317	<i>Hotham St (Balaclava)</i> Nos. 113-125 Hotham St	Yes	No	No	No	No	No	No
HO315	<i>Inkerman St (East)</i> Chapel St, Inkerman St	Yes	No	No	No	No	No	No
HO258	<i>St Vincent Place Precinct</i> 1-99 St Vincent Place South and 2-94 St Vincent Place North and St Vincent Gardens East and St Vincent Gardens West and 10 Merton St and Montague St (Part), Albert Park	-	-	-	-	Yes Ref No H1291 (see also HO340/ H813)	Yes	No
HO382	<i>Swallow Street Precinct</i> 49-77 Swallow Street, Port Melbourne	Yes	No	No	No	No	No	No
HO385	<i>Chusan Street Precinct</i> 1-37 Chusan Street, East St Kilda	Yes	No	No	No	No	No	No
HO386	<i>Godfrey Av/Raglan Street Precinct</i> 1-41, 2-36 Godfrey Avenue and 9-23 Raglan Street, East St Kilda	Yes	No	No	No	No	No	No
HO387	<i>Hammerdale Av Precinct</i> 2-24, 28-32, 3-17 Hammerdale Avenue, 2-8 Jervois Street, East St Kilda	Yes	No	No	No	No	No	No
HO388	<i>Holroyd Court Precinct</i> 1-7 Holroyd Court, East St Kilda	Yes	No	Yes – 4 mature camphor laurel	No	No	No	No

PORT PHILLIP PLANNING SCHEME

PS map ref	Heritage place	External paint controls apply?	Internal alteration controls apply?	Tree controls apply?	Outbuildings or fences not exempt under Clause 43.01-4	Included on the Victorian Heritage Register under the Heritage Act 2017?	Prohibited uses permitted?	Aboriginal heritage place?
				street trees (cinnamomum camphora)				
HO389	<i>Kalymna Grove/Inkerman St Precinct</i> 1-35, 2-30 Kalymna Gr, 342-374 Inkerman Street, East St Kilda	Yes	No	No	No	No	No	No
HO390	<i>Mooltan Av Precinct</i> 10-16, 9-15 Mooltan Avenue, East St Kilda	Yes	No	No	No	No	No	No
HO391	<i>St Kilda East: Murchison Street & Wavenhoe Avenue Precinct</i> 1-29, 2-24 Murchison St, 20, 22, 26 Lansdowne Street, 160-188, 183-211 Alma Road, 57, 69, 71, 73, 75 and 77 Alexandra Street, 157, 159 and 161 Alma Road, 28, 30, 32, 34,36, 38, 40, 42 and 44 Hotham Street, 18 and 26A Lansdowne Road, 1-13, 15, 17, 19 and 21 Wavenhoe Avenue, 2 and 4 Mooltan Avenue (duplex at corner of Hotham Street only), St Kilda East	Yes	No	No	No	No	No	No
HO392	<i>Orange Grove Precinct</i> 4-30, 11-33 Orange Gr and 331 Inkerman Street, East St Kilda	Yes	No	No	No	No	No	No
HO402	<i>Elwood Canal Precinct</i> Area covered by Elwood Canal and riparian margins, from Port Phillip Bay foreshore to St Kilda Street municipal boundary.	No	No	Yes	Yes	No	No	No
HO403	<i>Addison Street /Milton Street Precinct (Elwood)</i> 2 – 74 & 11-75 Addison St; 296 – 350 & 323 - 377 Barkly St; 77 – 85 Dickens St; 7 Hood St, 1 – 7 & 2 - 10 Lawson St; 1 – 12 Lytton St; 52	Yes	No	No	No	No	No	No

PORT PHILLIP PLANNING SCHEME

PS map ref	Heritage place	External paint controls apply?	Internal alteration controls apply?	Tree controls apply?	Outbuildings or fences not exempt under Clause 43.01-4	Included on the Victorian Heritage Register under the Heritage Act 2017?	Prohibited uses permitted?	Aboriginal heritage place?
	– 54 Marine Pde; 6 – 56 & 9 – 37 Meredith St; 53 – 83 & 66 – 100 Milton St; 6 – 24, 29 & 46 - 84 Ruskin St; 1 – 23 & 2 - 8 Thackeray St; Elwood							
HO404	<i>Byron Street / Mason Avenue Precinct (Elwood)</i> 2 – 24 & 9 -23 Byron St; 1 – 17 & 2 –18 Cyril St; 1 – 37 Mason St; 1 – 33 & 2 - 28 Moore St; Elwood	Yes	No	No	No	No	No	No
HO405	<i>McCrae Street Precinct (Elwood)</i> 31 – 33 John St; 1 – 13 & 2 – 14 McCrae St; Elwood	Yes	No	No	No	No	No	No
HO439	<i>Nightingale Street Precinct (Balaclava)</i> 31 – 55 Marlborough St, 24 – 58 Rosamond St, 27 – 57 Rosamond St, 32 - 58 Nightingale St, 19 - 47 Nightingale St, 19 & 21 Woodstock St, 1 – 17 Gibbs St, 2 – 20 Gibbs St and 1 to 5 Railway Place, Balaclava.	Yes	No	No	No	No	No	No
HO440	<i>Emerald Hill Residential Precinct</i> Area generally bound by Pickles St, York St and Kings Way to the north, Queens Rd to the east, Albert Rd to the south and Nelson and Ferrars St to the west	Yes	No	No	No	No	No	No
HO441	<i>St Vincent Place East</i> South Melbourne	Yes	No	No	No	No	No	No

PORT PHILLIP PLANNING SCHEME

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	Bound By Park St, Cecil St, Albert Rd and Ferrars St							
HO442	<i>Albert Park Residential Precinct</i> Area generally bound by Pickles St to the North, Ferrars St to the east, Kerferd Rd to the south and Beaconsfield Parade to the west	Yes	No	No	No	No	No	No
HO443	<i>Bridport Street / Victoria Avenue Commercial Precinct</i> Albert Park	Yes	No	No	No	No	No	No
HO444	<i>Middle Park and St Kilda West Precinct</i> Bound by Kerferd Rd, Canterbury Rd, Fitzroy St and Beaconsfield Parade	Yes	No	No	No	No	No	No
HO445	<i>Armstrong Street Commercial Precinct</i> Middle Park	Yes	No	No	No	No	No	No
HO446	<i>Albert Park Lake Precinct</i> Area generally bound by Fitzroy St to the south, Queens Road to the east, Albert Road to the North and Canterbury Road to the west Incorporated plan Albert Park Master plan	Yes	No	No	No	No	No	No
HO513	<i>Montague Commercial Precinct</i> Area including 496-546 City Road and 151-163 Montague Street, South Melbourne Statement of Significance: Montague Commercial Precinct, February 2021	No	No	No	No	No	No	No
HO9	<i>Christ Church complex</i> 14 Acland St and 1 St Leonards Ave, St Kilda	-	-	-	-	Yes Ref No H996	Yes	No

PORT PHILLIP PLANNING SCHEME

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HO10	<i>Linden</i> 26 Acland St, St Kilda	-	-	-	-	Yes Ref No H213	Yes	No
HO11	<i>Halcyon</i> 53 Acland St, St Kilda	-	-	-	-	Yes Ref No H775	Yes	No
HO12	<i>South African Soldiers Memorial</i> 29A Albert Rd, Melbourne	-	-	-	-	Yes Ref No H1374	Yes	No
HO319	<i>Former BP House</i> 1-29 Albert Rd, Melbourne	Yes	No	No	No	No	No	No
HO320	<i>Offices</i> 31-33 Albert Rd, Melbourne	Yes	No	No	No	No	No	No
HO334	<i>Former Residence</i> 42 Albert Rd, Melbourne	Yes	No	No	No	No	No	No
HO361	<i>Houses</i> 140-144 Albert Road, South Melbourne	Yes	No	No	No	No	No	No
HO312	<i>Flats</i> 194 Albert Rd, South Melbourne	Yes	No	No	No	No	No	No
HO13	<i>Dalkeith</i> 314 Albert Rd, South Melbourne	-	-	-	-	Yes Ref No H840	Yes	No
HO489	<i>Former Royal Australian Corps of Signals Drill Hall</i> Albert Road Drive, Albert Park	-	-	-	-	Yes Ref No H2362	Yes	No
HO14	<i>Ngargee Tree</i> Albert Park	No	No	Yes	No	No	No	Yes

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HO15	<i>South Melbourne Cricket and Football Club grandstand</i> Albert Road Drive, Albert Park	Yes	Yes	No	No	No	No	No
HO393	<i>Houses</i> 31-35 Alexandra Street, East St Kilda	Yes	No	No	No	No	No	No
HO19	<i>Holmwood, including Canary Island date palm (6) jacaranda (2) Bhutan cypress (1)</i> 61 Alexandra St, Balaclava	Yes	Yes	Yes	No	No	No	No
HO18	<i>South African War Memorial</i> 9 Alfred Square, St Kilda	-	-	-	-	Yes Ref No H1375	Yes	No
HO16	<i>House</i> 1 Alfred Square, St Kilda	Yes	Yes	No	No	No	No	No
HO17	<i>House</i> 2 Alfred Square, St Kilda	Yes	Yes	No	No	No	No	No
HO31	<i>Presbyterian Church</i> 2 Alma Rd, St Kilda	Yes	Yes	No	No	No	No	No
HO20	<i>Former Priory Ladies School</i> 61 Alma Rd, St Kilda	-	-	-	-	Yes Ref No H726	Yes	No
HO21	<i>Belmont Flats</i> 86 Alma Rd, St Kilda	-	-	-	-	Yes Ref No H805	Yes	No
HO350	<i>House</i> 127 Alma Rd, St Kilda East	Yes	No	No	No	No	No	No
HO23	<i>House</i> 200 Alma Rd, St Kilda East	Yes	No	No	No	No	No	No

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HO25	<i>House</i> 217 Alma Rd, St Kilda East	Yes	No	No	No	No	No	No
HO407	<i>House</i> 6 Austin St, Elwood	Yes	No	No	No	No	No	No
HO408	<i>Zone Substation</i> 36 Austin St, Elwood	Yes	No	No	No	No	No	No
HO313	<i>House</i> 13 Baker St, St Kilda	Yes	No	No	No	No	No	No
HO394	<i>Former Factory</i> 5-7A Balston Street, East St Kilda	Yes	No	No	No	No	No	No
HO395	<i>Cottage</i> 16 Balston Street, East St Kilda	Yes	No	No	No	No	No	No
HO396	<i>Substation</i> 52 Balston Street, East St Kilda	Yes	No	No	No	No	No	No
HO369	Terrace Row, houses and Algerian Oak (<i>Quernac canariensis</i>) at the rear of 145 Bank Street and land beneath the canopy for a distance of five metres from the canopy edge. 141-147 Bank Street, 1-5 Palmer Street and 2-4 Wilson Street, South Melbourne	Yes	No	Yes	No	No	No	No
HO27	<i>Former South Melbourne Post Office</i> 195-207 Bank St, South Melbourne	-	-	-	-	Yes Ref No H1771	No	No
HO28	<i>South Melbourne Town Hall</i> 208-220 Bank St, South Melbourne	-	-	-	-	Yes Ref No H217	Yes	No

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HO29	<i>South Melbourne Court House and Police Station</i> 209-213 Bank St, South Melbourne	-	-	-H	-	Yes Ref No H1486	Yes	No
HO341	<i>Former Lauders Riding School (Emerald Hill)</i> 295 Bank St, South Melbourne	-	-	-	-	Yes Ref No H1749	Yes	No
HO32	<i>The Manse</i> 42 Barkly St, St Kilda	-	-	-	-	Yes Ref No H212	Yes	No
HO285	<i>House</i> 52 Barkly St, St Kilda	Yes	No	No	No	No	No	No
HO370	<i>Hampden, including two mature Canary Island Date Palms, scoria rock edging and tapered rough cast gate posts.</i> 74 Barkly Street, St Kilda	Yes	No	Yes	No	No	No	No
HO33	<i>Village Belle Hotel</i> 202 Barkly St, St Kilda	Yes	Yes	No	No	No	No	No
HO34	<i>House</i> 269 Barkly St, St Kilda	Yes	No	No	No	No	No	No
HO35	<i>Flats</i> 289 Barkly St, St Kilda	Yes	No	No	No	No	No	No
HO409	<i>Jerry's Milk Bar</i> 345 Barkly St, Elwood	Yes	No	No	No	No	No	No
HO38	<i>Former Morley's Coal Depot</i> 2-6 Bay St, Port Melbourne	Yes	Yes	No	No	No	No	No
HO39	<i>Former Post Office and Naval drill hall</i>	-	-	-	-	Yes	Yes	No

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	40 Bay St, Port Melbourne					Ref No H1378		
HO452	<i>Former National Bank</i> 96 Bay Street, Port Melbourne	Yes	No	No	No	No	No	No
HO40	<i>Port Melbourne Court house, Police station and lock up</i> 111 and 113-119 Bay St and Graham St, Port Melbourne	-	-	-	-	Yes Ref No H1318	Yes	No
HO41	<i>Port Melbourne Town Hall</i> 333 Bay St, Port Melbourne	Yes	Yes	Yes	No	No	No	No
HO42	<i>Shop</i> 397 Bay St, Port Melbourne	Yes	Yes	No	No	No	No	No
HO43	<i>Princes Pier</i> Beach St, Port Melbourne	-	-	-	-	Yes Ref No H981	Yes	No
HO465	<i>Station Pier</i> 110 Beach St, Port Melbourne	-	-	-	-	Yes Ref No H985	Yes	No
HO46	<i>Port Melbourne railway station</i> 101 Beach St, Port Melbourne	-	-	-	-	Yes Ref No H983	Yes	No
HO47	<i>Centenary bridge pillar</i> Beach St, Port Melbourne	Yes	No	No	No	No	No	No
HO48	Maskell and McNab Memorial Beach St, Port Melbourne	Yes	No	No	No	No	No	No
HO49	<i>Band Rotunda (opposite Stokes Street)</i> Beach St, Port Melbourne	-	-	-	-	Yes Ref No. H1735	No	No
HO50	<i>Public toilets</i>	Yes	No	No	No	No	No	No

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	Beach St, Port Melbourne							
HO51	<i>Bi-Centennial memorial</i> Beach St, Port Melbourne	Yes	No	No	No	No	No	No
HO362	<i>WW1 Memorial</i> Beach St, Port Melbourne	Yes	No	No	No	No	No	No
HO52	<i>Port Melbourne Yacht Club</i> Beach St, Port Melbourne	Yes	No	No	No	No	No	No
HO286	<i>Sandridge Hotel</i> 69 Beach St, Port Melbourne	Yes	No	No	No	No	No	No
HO44	<i>Leading lights</i> Beacon Vista and Hobsons Bay, Port Melbourne	-	-	-	-	Yes Ref No H982	Yes	No
HO53	<i>Cast iron lamp standards</i> Beaconsfield Pde, St. Kilda	Yes	No	No	No	No	No	No
HO348	<i>Catani Gardens</i> Beaconsfield Pde and Jacka Blvd, St Kilda	-	-	-	-	Yes Ref No H1805	No	No
HO54	<i>Open sea bathing house</i> Beaconsfield Pde, St. Kilda	Yes	Yes	Yes	No	No	No	No
HO450	<i>Sea Wall and Promenade</i> Beaconsfield Parade (south side), between Cowderoy Street and McGregor Street, St Kilda West and Middle Park Incorporated plan Sea Wall and Promenade - September 2008	Yes	No	No	No	No	No	No
HO55	<i>Duart</i>	Yes	Yes	No	No	No	No	No

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	121 Beaconsfield Pde, Albert Park							
HO56	<i>Hotel Victoria</i> 123 Beaconsfield Pde, Albert Park	-	-	-	-	Yes Ref No H820	Yes	No
HO57	<i>Hughenden</i> 177 Beaconsfield Pde, Middle Park	Yes	Yes	No	No	No	No	No
HO287	<i>Flats</i> 333 Beaconsfield Parade, St Kilda	Yes	No	No	No	No	No	No
HO58	<i>Shandon</i> 361 Beaconsfield Pde, St Kilda	-	-	-	-	Yes Ref No H669	Yes	No
HO59	<i>The Belford</i> 24 Belford St, St. Kilda	Yes	No	No	No	No	No	No
HO410	<i>Houses</i> 1 – 5 Bell St, Ripponlea	Yes	No	No	No	No	No	No
HO357	<i>Former Australian Natives Association Hall</i> 49A Blanche Street, St Kilda	Yes	No	No	No	No	No	No
HO344	<i>St Kilda Botanical Gardens</i> 55 Blessington St, St Kilda	-	-	-	-	Yes Ref No H1804	Yes	No
HO60	<i>House</i> 4 Blessington St, St Kilda	Yes	No	No	No	No	No	No
HO349	<i>Public Reserve</i> Bowen Cres, Melbourne	No	No	Yes	No	No	No	No
HO62	<i>Biltmore private hotel</i> 152 Bridport St, Albert Park	-	-	-	-	Yes Ref No H475	Yes	No

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HO63	<i>St Kilda Town Hall</i> Brighton Rd, St Kilda	Yes	Yes – but limited to the interior of the original 1890 and 1939 Town Hall building only	Yes	No	No	No	No
HO64	<i>Primary School No. 1479</i> 2 Brighton Rd, St Kilda	-	-	-	-	Yes Ref No H1712	Yes	No
HO371	<i>Moreton Bay fig in the northwest corner of 43 Brighton Road and land beneath the canopy for a distance of five metres from the canopy edge.</i> 39-43 Brighton Road (part), 4 Dickens Street (part) and 1-5 Mozart Street (part), St Kilda	No	No	Yes	No	No	No	No
HO65	<i>Holy Trinity complex</i> 2 Brighton Rd, St Kilda	Yes	Yes	No	No	No	No	No
HO355	<i>House</i> 148 Brighton Road, Ripponlea	Yes	No	No	No	No	No	No
HO66	<i>Fire Station complex</i> 201 Brighton Rd, Elwood	Yes	No	No	No	No	No	No
HO67	<i>Windermere Flats</i> 49 Broadway, Elwood	-	-	-	-	Yes Ref No H911	Yes	No
HO411	<i>Houses</i> 2, 4 & 6 Browning St, Elwood	Yes	No	No	No	No	No	No
HO68	<i>Wilgah</i>	-	-	-	-	Yes	Yes	No

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	6 Burnett St, St Kilda					Ref Nos H760		
HO453	<i>Wilgah</i> 8 Burnett St, St Kilda	-	-	-	-	Yes Ref No H761	Yes	No
HO69	<i>Fenagh Cottage</i> 7 Burnett St, St Kilda	-	-	-	-	Yes Ref No H629	Yes	No
HO343	<i>Marion Terrace</i> 14-24 Burnett St, St Kilda	-	-	-	-	Yes Ref No H1802	Yes	No
HO70	<i>Oberwyl</i> 33-35 Burnett St, St Kilda	-	-	-	-	Yes Ref No H214	Yes	No
HO71	<i>Fleurs</i> 48 Burnett St, St Kilda	-	-	-	-	Yes Ref No H753	Yes	No
HO412	<i>House</i> 32 Byron St, Elwood	Yes	No	No	No	-	No	No
HO413	<i>Ravensmead House</i> 38 Byron St, Elwood	Yes	No	No	No	-	No	No
HO72	<i>Former Salvation Army Citadel</i> 17 Camden St, Balaclava	Yes	No	No	No	No	No	No
HO378	<i>Pepper tree at the rear of 208 Canterbury Road and land beneath the canopy for a distance of five metres from the canopy edge.</i> 208-209 Canterbury Road, St Kilda West	No	No	Yes	No	No	No	No
HO73	<i>The Canterbury</i> 236 Canterbury Rd, St Kilda West	-	-	-	-	Yes Ref No H1836	No	No
HO74	<i>National Theatre</i>	-	-	-	-	Yes	Yes	No

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	20 Carlisle St, St Kilda					Ref No H2092		
HO75	<i>St. Colman's Church</i> 291 Carlisle St, Balaclava	Yes	Yes	No	No	No	No	No
HO76	<i>Luna Park</i> 18 Cavell St, St Kilda	-	-	-	-	Yes Ref No H938	Yes	No
HO454	<i>Luna Park- local significance</i> 18 Cavell St, St Kilda Incorporated plan Luna Park	Yes	No	No	No	No	No	No
HO289	<i>Southern Cross Hotel</i> 78 Cecil St, South Melbourne	Yes	No	No	No	No	No	No
HO77	<i>Port View House</i> 153 Cecil St, South Melbourne	-	-	-	-	Yes Ref No H702	Yes	No
HO78	<i>Finn Barr</i> 155 Cecil St, South Melbourne	-	-	-	-	Yes Ref No H715	Yes	No
HO79	<i>Former Mechanics Institute (Italian Club Cavour)</i> 170-172 Cecil St, South Melbourne	-	-	-	-	Yes Ref No H537	Yes	No
HO466	<i>Former St Vincent de Paul Boys Orphanage</i> 231-241 Cecil St and 199-201 Napier St and 34 Church St, South Melbourne	-	-	-	-	Yes Ref No H2170	Yes	No
HO80	<i>Former Free Presbyterian Church</i> Chapel St, St Kilda East	Yes	Yes	No	No	No	No	No
HO81	<i>All Saints Church, Hall and former Vicarage</i>	-	-	-	-	Yes	Yes	No

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	<i>2 Chapel St, St Kilda East</i>					Ref No H1364		
HO82	<i>St Georges Uniting Church</i> 4 Chapel St, St Kilda	-	-	-	-	Yes Ref No H864	Yes	No
HO83	<i>The Astor Theatre</i> 1-9 Chapel St, St Kilda	-	-	-	-	Yes Ref No H1751	No	No
HO84	<i>Drill Hall</i> 10 Chapel St, St Kilda East	Yes	Yes	No	No	No	No	No
HO85	<i>Cloyne</i> 12 Chapel St, St Kilda	-	-	-	-	Yes Ref No H733	Yes	No
HO86	<i>Rondebosch and Elmwood</i> 25-27 Chapel St, St Kilda	-	-	-	-	Yes Ref No H754	Yes	No
HO351	<i>Flats</i> 45-47 Chapel Street, St Kilda	Yes	No	No	No	No	No	No
HO87	<i>Mahnud</i> 65 Chapel St, St Kilda	Yes	No	No	No	No	No	No
HO290	<i>Police Station</i> 92 Chapel St, St Kilda	Yes	No	No	No	No	No	No
HO88	<i>Charnwood Oaks</i> 4-8 Charnwood Cr, St Kilda	Yes	Yes	No	No	No	No	No
HO89	<i>St Kilda Hebrew Congregation Synagogue</i> 10-12 Charnwood Grove, St Kilda	-	-	-	-	Yes Ref No 1968	Yes	No
HO90	<i>Houses</i> 80-82 Chaucer St, St. Kilda	Yes	No	No	No	No	No	No

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HO91	<i>House</i> 9 Church St, South Melbourne	Yes	Yes	No	No	No	No	No
HO92	<i>Ballarat</i> 51 Church St, South Melbourne	Yes	Yes	No	No	No	No	No
HO93	<i>Wayside Inn Hotel</i> 448 City Rd, South Melbourne	Yes	No	No	No	No	No	No
HO291	<i>Shop</i> 155 Clarendon St, South Melbourne	Yes	No	No	No	No	No	No
HO367	<i>Prefabricated Cottage</i> 17 Coventry Place, South Melbourne	-	-	-	-	Yes Ref No H1958	Yes	No
HO96	<i>House</i> 378 Coventry St, South Melbourne	Yes	Yes	No	No	No	No	No
HO97	<i>Bellhouse Iron House and Iron House</i> 399 Coventry St and 6 Patterson Place, South Melbourne	-	-	-	-	Yes Ref No H220 & Ref No H1888	Yes	No
HO98	<i>Beaconsfield Hotel</i> 20 Cowderoy St, St Kilda	Yes	Yes	No	No	No	No	No
HO99	<i>Fountain Inn</i> 1 Crockford St, Port Melbourne	Yes	Yes	No	No	No	No	No
HO100	<i>Eden Terrace</i> 4-18 Dalgety St, St Kilda	-	-	-	-	Yes Ref No H847	Yes	No
HO414	<i>Electrical Substation</i> 13 Daley St, Elwood	Yes	No	No	No	-	No	No

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HO101	<i>Ornamental Tramway Overhead Poles</i> Dandenong Rd, St Kilda	-	-	-	-	Yes Ref No H1023 (see also HO125)	Yes	No
HO102	<i>Park Keeper's Lodge</i> Alma Park, Dandenong Rd, St Kilda	Yes	Yes	No	No	No	No	No
HO103	<i>St Mary's Church</i> 208 Dandenong Rd, St Kilda	-	-	-	-	Yes Ref No H750	Yes	No
HO104	<i>Former Ardoch Educational Centre</i> 216-238 Dandenong Rd and 1-9 Ardoch Ave and 2-8 Pilley St and 2-10 Ardoch Ave, St Kilda East	-	-	-	-	Yes Ref No H969	Yes	No
HO455	<i>St Kilda Cemetery</i> 260-288 Dandenong Rd, St Kilda East	-	-	-	-	Yes Ref No H1081	Yes	No
HO105	<i>House</i> 70 Dickens St Elwood	Yes	No	No	No	No	No	No
HO106	<i>Glenronald</i> 75 Dickens St, St. Kilda	Yes	No	No	No	No	No	No
HO415	<i>Antigone Flats</i> 34 Docker St, Elwood	Yes	No	No	No	No	No	No
HO107	<i>Monterey Flats</i> 35 Docker St, Elwood	Yes	No	No	No	No	No	No
HO108	<i>St Luke's Church</i> 210 Dorcas St, South Melbourne	-	-	-	-	Yes Ref No H218	Yes	No
HO109	<i>Former Salvation Army Citadel</i>	Yes	Yes	No	No	No	No	No

PORT PHILLIP PLANNING SCHEME

PS map ref	Heritage place	External paint controls apply?	Internal alteration controls apply?	Tree controls apply?	Outbuildings or fences not exempt under Clause 43.01-4	Included on the Victorian Heritage Register under the Heritage Act 2017?	Prohibited uses permitted?	Aboriginal heritage place?
	232 Dorcas St, South Melbourne							
HO110	<i>Former Baptist Church</i> 250 Dorcas St, South Melbourne	Yes	Yes	No	No	No	No	No
HO111	<i>Primary School No 1253</i> 284 Dorcas St, South Melbourne	-	-	-	-	Yes Ref No H1346	Yes	No
HO112	<i>Former Presbyterian Church</i> 317-329 Dorcas St, South Melbourne	Yes	Yes	No	No	No	No	No
HO113	<i>Former Queens Arms Hotel</i> 330-334 Dorcas St, South Melbourne	-	-	-	-	Yes Ref No H1827	No	No
HO114	<i>House</i> 337 Dorcas St, South Melbourne	Yes	Yes	No	No	No	No	No
HO115	<i>Former Morley and Carrick Warehouse</i> 93 Dow St, Port Melbourne	Yes	Yes	No	No	No	No	No
HO116	<i>State School</i> 113 Eastern Rd, South Melbourne	Yes	Yes	No	No	No	No	No
HO347	<i>Biltmore</i> 36 Eildon St, St Kilda	-	-	-	-	Yes Ref No H1809	No	No
HO119	<i>Albert Park railway station complex</i> 365 Ferrars St, South Melbourne	-	-	-	-	Yes Ref No H1558	Yes	No
HO120	<i>South Melbourne railway station complex</i> 221 Ferrars St, South Melbourne	-	-	-	-	Yes Ref No H1593	Yes	No
HO121	<i>Balladonia</i> 40 Ferrars Pl, South Melbourne	-	-	-	-	Yes Ref No H772	Yes	No

PORT PHILLIP PLANNING SCHEME

PS map ref	Heritage place	External paint controls apply?	Internal alteration controls apply?	Tree controls apply?	Outbuildings or fences not exempt under Clause 43.01-4	Included on the Victorian Heritage Register under the Heritage Act 2017?	Prohibited uses permitted?	Aboriginal heritage place?
HO122	<i>Former Freemasons Hall</i> 254-256 Ferrars St, South Melbourne	-	-	-	-	Yes Ref No H538	Yes	No
HO336	<i>Emerald Hill Estate Residences</i> 2 Fishley St, South Melbourne	-	-	-	-	Yes Ref No H1727	Yes	No
HO438	<i>Emerald Hill Estate Residences</i> 6 Fishley St, South Melbourne	-	-	-	-	Yes Ref No H1728	Yes	No
HO125	<i>Ornamental Tramway Overhead Poles</i> Fitzroy St, St Kilda	-	-	-	-	Yes Ref No H1023 (see also HO101)	Yes	No
HO345	<i>Summerland Mansions</i> 17-27 Fitzroy St, St Kilda	-	-	-	-	Yes Ref No H1808	Yes	No
HO126	<i>Tolarno Hotel</i> 42 Fitzroy St, St Kilda	-	-	-	-	Yes Ref No H2207	Yes	No
HO123	<i>Former St Kilda railway station complex</i> 60 Fitzroy St and 352 Canterbury Rd, St Kilda	-	-	-	-	Yes Ref No H1719	Yes	No
HO366	<i>St Kilda Bowling Club</i> 66 Fitzroy Street, St Kilda	-	-	-	-	Yes Ref No H1913	Yes	No
HO124	<i>Primary School No 2460</i> 70 Fitzroy St, St Kilda	-	-	-	-	Yes Ref No H1637	Yes	No
HO127	<i>George Hotel</i> 123-127 Fitzroy St and 2-10 Grey St, St Kilda	-	-	-	-	Yes Ref No H706	Yes	No
HO128	<i>Former Wesleyan Methodist Church</i>	-	-	-	-	Yes	Yes	No

PORT PHILLIP PLANNING SCHEME

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	167 Fitzroy St, St Kilda					Ref No H818		
HO129	<i>Ritz Mansions</i> 171 Fitzroy St, St Kilda	Yes	Yes	No	No	No	No	No
HO416	<i>Duplex</i> 22 – 22A Foam St, Elwood	Yes	No	No	No	No	No	No
HO131	<i>House</i> 108 Gladstone St, Southbank	-	-	-	-	Yes Ref No H834	Yes	No
HO132	<i>House</i> 110 Gladstone St, Southbank	-	-	-	-	Yes Ref No H835	Yes	No
HO133	<i>House</i> 112 Gladstone St, Southbank	-	-	-	-	Yes Ref No H836	Yes	No
HO134	<i>House</i> 114 Gladstone St, Southbank	-	-	-	-	Yes Ref No H837	Yes	No
HO135	<i>House</i> 116 Gladstone St, Southbank	-	-	-	-	Yes Ref No H838	Yes	No
HO372	<i>Maisonettes, including the courtyard garden and the mature bull bay magnolia, privet and concrete pond.</i> 3 Glen Eira Road, Ripponlea	Yes	No	Yes	No	No	No	No
HO373	<i>House and Gleneira, including the black locust trees at the front and rear western boundary of 12 Glen Eira Road and land beneath the canopy of these trees for a distance of five metres from the canopy edge.</i> 10-12 Glen Eira Road and 3 Victoria Avenue, Ripponlea	Yes	No	Yes	No	No	No	No

PORT PHILLIP PLANNING SCHEME

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HO137	<i>Ripponlea railway station complex</i> 11-13 Glen Eira Rd, Ripponlea	-	-	-	-	Yes Ref No H1588	Yes	No
HO136	<i>Brinsmeads Pharmacy</i> 71-73 Glen Eira Rd, Ripponlea	-	-	-	-	Yes Ref No H725	Yes	No
HO219	<i>St Columbas Church complex</i> 24 and 26 Glenhuntly Rd and 2 Normandy Rd, Elwood	Yes	Yes	No	No	No	No	No
HO354	<i>Flats</i> 60-66 Glenhuntly Road, Elwood	Yes	No	No	No	No	No	No
HO138	<i>House</i> 136 Glenhuntly Rd, Elwood	Yes	No	No	No	No	No	No
HO139	<i>Former Gasworks complex with wall</i> Graham St, South Melbourne	Yes	Yes	No	No	No	No	No
HO140	<i>Palmville</i> 240 Graham St, Port Melbourne	Yes	No	No	No	No	No	No
HO141	<i>Former shop and house</i> 249 Graham St, Port Melbourne	Yes	No	No	No	No	No	No
HO142	<i>State School</i> 415 Graham St, Port Melbourne	Yes	Yes	Yes	No	No	No	No
HO143	<i>Ripplemere</i> 34 Grey St, St Kilda	-	-	-	-	Yes Ref No H747	Yes	No
HO144	<i>Eildon</i> 51 Grey St, St Kilda	-	-	-	-	Yes Ref No H746	Yes	No

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HO145	<i>Residences</i> 77-79 Grey St, St Kilda	-	-	-	-	Yes Ref No H796	Yes	No
HO146	<i>Sacred Heart Church, Hall and Presbytery</i> 83-87 Grey St, St Kilda	-	-	-	-	Yes Ref No H1765	No	No
HO147	<i>Rail overbridge</i> Grosvenor St, Balaclava	Yes	No	No	No	No	No	No
HO374	<i>Stone pine (Pinu pinea) in rear garden and land beneath the canopy for a distance of five metres from the canopy edge.</i> 3, 5, 5A and 7 Hammerdale Ave, St Kilda East	No	No	Yes	No	No	No	No
HO375	<i>Hawsleigh Court and central courtyard garden, including two mature Liquidambers (Liquidamber styraciflua), and silver birch.</i> 2B Hawsleigh Court, Balaclava	Yes	No	Yes	No	No	No	No
HO417	<i>Hood's Court Flats</i> 2 Hood St, Elwood	Yes	No	No	No	No	No	No
HO418	<i>House</i> 2 Hotham Gve, Ripponlea	Yes	No	No	No	No	No	No
HO419	<i>Houses</i> 7 – 9 Hotham Gve, Ripponlea	Yes	No	No	No	No	No	No
HO149	<i>House</i> 23 Hotham Gve, Ripponlea	Yes	No	No	No	No	No	No
HO150	<i>Road overbridge</i> Hotham St, Elsternwick	Yes	Yes	No	No	No	No	No
HO292	<i>House</i>	Yes	No	No	No	No	No	No

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	45 Hotham St, St Kilda East							
HO293	<i>Flats</i> 50 Hotham St, St Kilda East	Yes	No	No	No	No	No	No
HO152	<i>Congregational Church</i> 72 Hotham St, St Kilda East	Yes	Yes	No	No	No	No	No
HO337	<i>B'nai B'rith House</i> 99 Hotham St, Balaclava	Yes	No	No	No	No	No	No
HO153	<i>Robert Russell House and former Congregational Church Hall</i> 30-33 Howe Cr, South Melbourne	-	-	-	-	Yes Ref No H574	Yes	No
HO154	<i>Former Congregational Church</i> 34-36 Howe Cr, South Melbourne	-	-	-	-	Yes Ref No H573	Yes	No
HO155	<i>Hazelwood Terrace</i> 46 Howe Cr, South Melbourne	-	-	-	-	Yes Ref No H221	Yes	No
HO156	<i>Hazelwood Terrace</i> 47 Howe Cr, South Melbourne	-	-	-	-	Yes Ref No H222	Yes	No
HO157	<i>Hazelwood Terrace</i> 48 Howe Cr, South Melbourne	-	-	-	-	Yes Ref No H223	Yes	No
HO158	<i>Experimental Concrete Houses</i> 324-326 Howe Pde, Port Melbourne	-	-	-	-	Yes Ref No H1863	Yes	No
HO164	<i>Former J. Kitchen and Sons Pty Ltd offices</i> Ingles St, Port Melbourne	Yes	Yes	No	No	No	No	No
HO165	<i>Former Australian Motor Industries Factory</i>	Yes	No	No	No	No	No	No

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	289 Ingles St, Port Melbourne							
HO294	<i>Former St Kilda Council Depot Offices-Destructor Building</i> 33 Inkerman St, St Kilda	Yes	No	No	No	No	No	No
HO159	<i>House</i> 59 Inkerman St, St Kilda	Yes	No	No	No	No	No	No
HO160	<i>Telephone exchange</i> 62 -78 Inkerman St, St Kilda	Yes	No	No	No	No	No	No
HO161	<i>Shops</i> 77-79 Inkerman St, St Kilda	Yes	No	No	No	No	No	No
HO162	<i>Shops</i> 268-276 Inkerman St, St Kilda	Yes	No	No	No	No	No	No
HO163	<i>House</i> 290 Inkerman St, St Kilda	Yes	No	No	No	No	No	No
HO356	<i>Flats</i> 290A Inkerman St, St Kilda East	Yes	No	No	No	No	No	No
HO398	<i>Houses</i> 316-320 Inkerman Street, East St Kilda	Yes	No	No	No	No	No	No
HO168	<i>St Kilda Seabaths</i> Jacka Boulevard, St Kilda	Yes	Yes	No	No	No	No	No
HO169	<i>Catani arch</i> Jacka Boulevard, St. Kilda	Yes	No	No	No	No	No	No
HO170	<i>Obelisks</i>	Yes	No	No	No	No	No	No

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	Jacka Boulevard, St. Kilda							
HO172	<i>Dressing Pavilion</i> 40 Jacka Boulevard, St. Kilda	Yes	Yes	No	No	No	No	No
HO173	<i>Wattle House</i> 53 Jackson St, St Kilda	-	-	-	-	Yes Ref No H632	Yes	No
HO420	<i>Houses</i> 24 – 30 John St, Elwood	Yes	No	No	No	No	No	No
HO342	<i>Terrace</i> 27-35 Kerferd Rd, Albert Park	-	-	-	-	Yes Ref no H1831	Yes	No
HO176	<i>MacRobertson Girls High School</i> 350 Kings Way, Melbourne	-	-	-	-	Yes Ref No H1641	Yes	No
HO177	<i>Houses</i> 328 Kings Way, South Melbourne	Yes	No	No	No	No	No	No
HO175	<i>Kingsley Court</i> 4-6 Kingsley St, Elwood	Yes	No	No	No	No	No	No
HO421	<i>Cromer Court</i> 22 – 24 Kingsley St, Elwood	Yes	No	No	No	No	No	No
HO295	<i>House</i> 40 Kingsley St, Elwood	Yes	No	No	No	No	No	No
HO178	<i>McAdam House</i> Lakeside Drive, Albert Park	Yes	Yes	No	No	No	No	No
HO296	<i>House</i> 40 Lansdowne Rd, St Kilda East	Yes	No	No	No	No	No	No

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HO182	<i>Former Fire Station</i> 147 Liardet St, Port Melbourne	Yes	No	No	No	No	No	No
HO422	<i>House</i> 19 Lindsay Ave, Elwood	Yes	No	No	No	No	No	No
HO226	<i>St Kilda Pavilion</i> Off Lower Esplanade, St Kilda	-	-	-	-	Yes Ref No 1533	Yes	No
HO184	<i>Palais Theatre</i> 14 Lower Esplanade, St Kilda	-	-	-	-	Yes Ref No H947	Yes	No
HO186	<i>Tintara</i> 20 Lyndon St, Ripponlea	-	-	-	-	Yes Ref No H842	Yes	No
HO187	<i>Beacon</i> Marine Pde, Elwood	Yes	No	No	No	No	No	No
HO298	<i>Houses</i> 1-2 Marine Pde, Elwood	Yes	No	No	No	No	No	No
HO299	<i>House</i> 19 Marine Parade	Yes	No	No	No	No	No	No
HO300	<i>House</i> 29 Marine Parade, Elwood	Yes	No	No	No	No	No	No
HO188	<i>House</i> 32 Marine Pde, St Kilda	Yes	No	No	No	No	No	No
HO423	<i>Garden Court Flats</i> 73 Marine Pde, Elwood	Yes	No	No	No	No	No	No
HO301	<i>House</i>	Yes	No	No	No	No	No	No

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	77 Marine Parade, Elwood							
HO365	<i>Flats</i> 4 & 4A Meredith St, Elwood	Yes	No	No	No	No	No	No
HO191	<i>Hartpury</i> 9 Milton St, Elwood	Yes	Yes	No	No	No	No	No
HO190	<i>Hartpury Court complex</i> 9-11 Milton St, Elwood	-	-	-	-	Yes Ref No H767	Yes	No
HO192	<i>Biram apartments</i> 15 Mitford St, Elwood	Yes	No	No	No	No	No	No
HO368	<i>Residence and Air Raid Shelter</i> 23 Mitford St, St Kilda	-	-	-	-	Yes Ref No H616	Yes	No
HO376	<i>Poets Corner, including Bhutan cypress and two Italian cypress.</i> 38 Mitford St, Elwood	Yes	No	Yes	No	No	No	No
HO194	<i>Houses</i> 86-88 Mitford St, Elwood	Yes	No	No	No	No	No	No
HO195	<i>House</i> 96 Mitford St, Elwood	Yes	No	No	No	No	No	No
HO196	<i>Rail overbridge</i> Montague St, South Melbourne	Yes	No	No	No	No	No	No
HO218	<i>Former Dunlop Pneumatic Tyre Co. mill</i> 66 Montague Street, South Melbourne (see also 223-229 Normanby Rd, South Melbourne)	Yes	No	No	No	No	No	No

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HO197	<i>Residence</i> 83 Montague St, Southbank	-	-	-	-	Yes Ref No H830	Yes	No
HO198	<i>Residence</i> 85 Montague St, Southbank	-	-	-	-	Yes Ref No H831	Yes	No
HO199	<i>Residence</i> 87 Montague St, Southbank	-	-	-	-	Yes Ref No H832	Yes	No
HO200	<i>Residence</i> 89 Montague St, Southbank	-	-	-	-	Yes Ref No H833	Yes	No
HO201	<i>State School</i> 90 Montague St, South Melbourne	Yes	Yes	No	No	No	No	No
HO202	<i>Golden Fleece Hotel</i> 120 Montague St, South Melbourne	Yes	No	No	No	No	No	No
HO203	<i>Former Talbot Inn</i> 144 Montague St, South Melbourne	Yes	No	No	No	No	No	No
HO272	<i>Former residence and shop</i> 146 Montague St, South Melbourne	Yes	No	No	No	No	No	No
HO204	<i>St Peter and Paul Church and school complex</i> 217 Montague St, South Melbourne	Yes	Yes	No	No	No	No	No
HO302	<i>Flats</i> 8 Mooltan Ave, East St Kilda	Yes	No	No	No	No	No	No
HO205	<i>Maori Chief Hotel</i> 117-119 Moray St, South Melbourne	Yes	No	No	No	No	No	No
HO206	<i>Former Freer's Family Hotel</i>	Yes	No	No	No	No	No	No

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	147 Moray St, South Melbourne							
HO207	<i>Temperance House</i> 175 Moray St, South Melbourne	Yes	No	No	No	No	No	No
HO208	<i>House</i> 347 Moray St, South Melbourne	Yes	Yes	No	No	No	No	No
HO209	<i>Park House</i> 352 Moray St, South Melbourne	-	-	-	-	Yes Ref No H224	Yes	No
HO210	<i>House</i> 1 Morris St, South Melbourne	Yes	Yes	No	No	No	No	No
HO377	<i>WA Flowering Gum at 27 Murchison Street and land beneath the canopy for a distance of five metres from the canopy edge.</i> 27 Murchison Street, East St Kilda	No	No	Yes	No	No	No	No
HO211	<i>House</i> 88 Napier St, South Melbourne	Yes	Yes	No	No	No	No	No
HO212	<i>Former St Vincent de Pauls Girls Orphanage</i> 179-197 Napier St, South Melbourne	-	-	-	-	Yes Ref No H1531	Yes	No
HO213	<i>Former Temperance Hall</i> 199-207 Napier St, South Melbourne	Yes	Yes	No	No	No	No	No
HO214	<i>Kindergarten, including Pepper tree at rear of property.</i> 23 Nelson St, St. Kilda East	Yes	No	Yes	No	No	No	No
HO215	<i>Rail overbridge</i> Nightingale St, Balaclava	Yes	No	No	No	No	No	No

PORT PHILLIP PLANNING SCHEME

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HO216	<i>House</i> 8 Nightingale St, Balaclava	Yes	No	No	No	No	No	No
HO217	<i>Former Laycock Son and Co. woollen mills</i> 179-185 Normanby Rd, South Melbourne	Yes	No	No	No	No	No	No
HO218	<i>Former Dunlop Pneumatic Tyre Co. mill</i> 223-229 Normanby Rd, South Melbourne (see also 66 Montague Street, South Melbourne)	Yes	No	No	No	No	No	No
HO338	<i>Jubilee Terrace</i> 118-130 Nott St, Port Melbourne	-	-	-	-	Yes Ref No H1829	Yes	No
HO339	<i>Queens Terrace</i> 132-144 Nott St, Port Melbourne	-	-	-	-	Yes Ref No H1830	Yes	No
HO358	<i>Houses</i> 14-18 Octavia Street, St Kilda	Yes	No	No	No	No	No	No
HO353	<i>Flats</i> 46 Ormond Esplanade, Elwood	Yes	No	No	No	No	No	No
HO424	<i>Flats</i> 51 Ormond Esplanade, Elwood	Yes	No	No	No	No	No	No
HO425	<i>House</i> 123 Ormond Esplanade, Elwood	Yes	No	No	No	No	No	No
HO426	<i>Beach Kiosk</i> Ormond Esplanade, Elwood Foreshore	Yes	No	No	No	No	No	No
HO427	<i>Community Centre & Cafe</i> Ormond Esplanade, Elwood Foreshore	Yes	No	No	No	No	No	No

PORT PHILLIP PLANNING SCHEME

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HO428	<i>Surf Lifesaving Club</i> Ormond Esplanade, Elwood Foreshore	Yes	No	No	No	No	No	No
HO220	<i>Surry Court</i> 71 Ormond Rd, Elwood	Yes	No	No	No	No	No	No
HO303	<i>House</i> 77 Ormond Rd, Elwood	Yes	No	No	No	No	No	No
HO221	<i>Former Chemist shop</i> 90 Ormond Rd, Elwood	-	-	-	-	Yes Ref No H782	Yes	No
HO222	<i>Avalon</i> 285 Orrong Rd, St. Kilda East	Yes	No	No	No	No	No	No
HO223	<i>House</i> 311 Orrong Rd, St Kilda East	Yes	No	No	No	No	No	No
HO224	<i>Former Church of Christ</i> 96 Pakington St, St. Kilda	Yes	No	No	No	No	No	No
HO304	<i>Shops & Residence</i> 116 Park St, South Melbourne	Yes	No	No	No	No	No	No
HO225	<i>Royal Melbourne Yacht Squadron</i> Pier Rd, St. Kilda	Yes	No	No	No	No	No	No
HO458	<i>Abercrombie House</i> 8 Patterson Place, South Melbourne	-	-	-	-	Yes Ref No H404	Yes	No
HO429	<i>Flats</i> 33 Pine Ave, Elwood	Yes	No	No	No	No	No	No
HO227	<i>Point Ormond and Surrounding Landscape</i>	No	No	Yes	No	No	No	Yes

PORT PHILLIP PLANNING SCHEME

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	Point Ormond Rd, Elwood							
HO228	<i>House</i> 4 Pozieres Ave, St. Kilda	Yes	No	No	No	No	No	No
HO229	<i>Residence, also known as Berkeley Hall</i> 11 Princes St, St Kilda	-	-	-	-	Yes Ref No H491	Yes	No
HO230	<i>House</i> 24 Princes St, St Kilda	Yes	Yes	No	No	No	No	No
HO231	<i>Vacunce</i> 112 Princes St, Port Melbourne	Yes	No	No	No	No	No	No
HO232	<i>Former shop and residence</i> 14-16 Punt Rd, St Kilda	Yes	Yes	No	No	No	No	No
HO463	<i>St Kilda Cricket Ground</i> Queens Road and Fitzroy Street and Lakeside Drive, St Kilda	-	-	-	-	Yes Ref No H2234	Yes	No
HO233	<i>Netherby</i> 8 Queens Rd, Melbourne	Yes	No	No	No	No	No	No
HO330	<i>Clive Fairbairn Pavillion</i> 494-498 & 500-520 St Kilda Road, Melbourne	Yes	No	No	No	No	No	No
HO321	<i>Lancaster House</i> 18 Queens Rd, Melbourne	Yes	No	No	No	No	No	No
HO234	<i>Former Bendigonia</i> 25 Queens Rd, Melbourne	-	-	-	-	Yes Ref No H909	Yes	No
HO235	<i>Newburn flats</i>	-	-	-	-	Yes	Yes	No

PORT PHILLIP PLANNING SCHEME

PS map ref	Heritage place	External paint controls apply?	Internal alteration controls apply?	Tree controls apply?	Outbuildings or fences not exempt under Clause 43.01-4	Included on the Victorian Heritage Register under the Heritage Act 2017?	Prohibited uses permitted?	Aboriginal heritage place?
	30 Queens Rd, Melbourne					Ref No H578		
HO335	<i>Former Brookwood Flats</i> 32 Queens Rd, Melbourne	Yes	No	No	No	No	No	No
HO346	<i>Stanhill</i> <i>The heritage place includes Residential apartment building</i> 33-34 Queens Rd, Melbourne	-	-	-	-	Yes Ref No H1875	No	No
HO322	<i>Formerly Lanark</i> 55 Queens Rd, Melbourne	Yes	No	No	No	No	No	No
HO323	<i>Former John Bateman Motor Inn</i> 69 Queens Rd, Melbourne	Yes	No	No	No	No	No	No
HO324	<i>Avalon</i> 70 Queens Rd, Melbourne	Yes	No	No	No	No	No	No
HO325	<i>Myer House (former)</i> 72 Queens Rd, Melbourne	Yes	No	No	No	No	No	No
HO326	<i>Former Queenslodge Motor Inn</i> 81 Queens Rd, Melbourne	Yes	No	No	No	No	No	No
HO328	<i>The Mansion</i> 83 Queens Rd, Melbourne	Yes	No	No	No	No	No	No
HO236	<i>Chinese Temple</i> 76 Raglan St, South Melbourne	-	-	-	-	Yes Ref No H219	Yes	No
HO237	<i>House</i> 115 Raglan St, South Melbourne	Yes	Yes	No	No	No	No	No

PORT PHILLIP PLANNING SCHEME

PS map ref	Heritage place	External paint controls apply?	Internal alteration controls apply?	Tree controls apply?	Outbuildings or fences not exempt under Clause 43.01-4	Included on the Victorian Heritage Register under the Heritage Act 2017?	Prohibited uses permitted?	Aboriginal heritage place?
HO238	<i>Our Lady of Mt Carmel complex</i> Richardson St, Middle Park	Yes	Yes	No	No	No	No	No
HO239	<i>Primary School No 2815</i> 194 Richardson St, Middle Park	-	-	-	-	Yes Ref No H1711	Yes	No
HO240	<i>House</i> 21 Ross St, Port Melbourne	Yes`	No	No	No	No	No	No
HO241	<i>Denmark Villa</i> 123 Ross St, Port Melbourne	Yes	No	No	No	No	No	No
HO242	<i>The Presbytery</i> 127 Ross St, Port Melbourne	Yes	No	No	No	No	No	No
HO305	<i>Shop</i> 207 Ross St, Port Melbourne	Yes	No	No	No	No	No	No
HO243	<i>St Joseph's Mission complex</i> 268-274 Rouse St, and 93-95 Stokes St, Port Melbourne	Yes	Yes	No	No	No	No	No
HO306	<i>House</i> 41 Ruskin St, Elwood	Yes	No	No	No	No	No	No
HO246	<i>Gunnarsens Pty. Ltd.</i> 112 Salmon St, Port Melbourne	Yes	No	No	No	No	No	No
HO488	<i>St Kilda Road</i> Melbourne and <i>Tram shelter</i> St Kilda Rd and Lorne St Melbourne	-	-	-	-	Yes Ref No H2359 and Yes Ref No H1867	No	No

PORT PHILLIP PLANNING SCHEME

PS map ref	Heritage place	External paint controls apply?	Internal alteration controls apply?	Tree controls apply?	Outbuildings or fences not exempt under Clause 43.01-4	Included on the Victorian Heritage Register under the Heritage Act 2017?	Prohibited uses permitted?	Aboriginal heritage place?
	and <i>Tram shelter</i> St Kilda Rd and Dorcas St, Melbourne					and Yes Ref No H1869		
HO248	<i>Shops</i> 170-172 St Kilda Rd, St Kilda	Yes	No	No	No	No	No	No
HO249	<i>Shop</i> 228 St Kilda Rd, St Kilda	Yes	No	No	No	No	No	No
HO250	<i>Linton</i> 238 St. Kilda Rd, St. Kilda	Yes	No	No	No	No	No	No
HO251	<i>Post Office</i> 306A St Kilda Rd, St Kilda	Yes	Yes	No	No	No	No	No
HO252	<i>First Church of Christian Scientist, Melbourne</i> 336-340 St Kilda Rd, Melbourne	-	-	-	-	Yes Ref No H1766	Yes	No
HO253	<i>Airlie</i> 452 St Kilda Rd, Melbourne	-	-	-	-	Yes Ref No H722	Yes	No
HO254	<i>Rathgael – The Willows</i> 462 St Kilda Rd, Melbourne	-	-	-	-	Yes Ref No H96	Yes	No
HO307	<i>Offices</i> 464 St Kilda Rd, Melbourne	Yes	No	No	No	No	No	No
HO329	<i>Charsfield</i> 478 St Kilda Rd, Melbourne	Yes	No	No	No	No	No	No
HO331	<i>Landene</i> 490 St Kilda Rd, Melbourne	Yes	No	No	No	No	No	No

PORT PHILLIP PLANNING SCHEME

PS map ref	Heritage place	External paint controls apply?	Internal alteration controls apply?	Tree controls apply?	Outbuildings or fences not exempt under Clause 43.01-4	Included on the Victorian Heritage Register under the Heritage Act 2017?	Prohibited uses permitted?	Aboriginal heritage place?
HO332	<i>Warwilla</i> 572 St Kilda Rd, Melbourne	Yes	No	No	No	No	No	No
HO255	<i>Former Gas Valve House</i> 617 St Kilda Rd, Melbourne	-	-	-	-	Yes Ref No H675	Yes	No
HO333	<i>Flats</i> 628 St Kilda Rd, Melbourne	Yes	No	No	No	No	No	No
HO256	<i>Ulimaroa</i> 630 St Kilda Rd, Melbourne	-	-	-	-	Yes Ref No H658	Yes	No
HO257	<i>Luzmore Terrace</i> 645-649 St Kilda Rd, Melbourne	Yes	No	No	No	No	No	No
HO461	<i>St Kilda Street Bridge</i> St Kilda St, Elwood	-	-	-	-	Yes Ref No H2080	No	No
HO435	<i>Park Court Flat</i> 473 St Kilda St, Elwood	Yes	No	No	No	No	No	No
HO340	<i>Rochester Terrace</i> 33-51 St Vincent Place South, Albert Park	-	-	-	-	Yes Ref No H813 and Yes Ref No H1291	Yes	No
HO259	<i>House</i> 20 Scott St, Elwood	Yes	No	No	No	No	No	No
HO431	<i>Scots Church</i> 31a Scott St, Elwood	Yes	No	No	No	No	No	No
HO432	<i>Elwood Children's Centre</i> 31a Scott St, Elwood	Yes	No	No	No	No	No	No

PORT PHILLIP PLANNING SCHEME

PS map ref	Heritage place	External paint controls apply?	Internal alteration controls apply?	Tree controls apply?	Outbuildings or fences not exempt under Clause 43.01-4	Included on the Victorian Heritage Register under the Heritage Act 2017?	Prohibited uses permitted?	Aboriginal heritage place?
HO260	<i>State School</i> 201 Scott St, Elwood	Yes	No	No	No	No	No	No
HO399	<i>Shirley Court</i> 20 Shirley Grove, East St Kilda	Yes	No	No	No	No	No	No
HO400	<i>House, including iron gateway</i> 22 Shirley Grove, East St Kilda	Yes	No	Yes - Canary Island (2) date palm (Phoenix canariensis)	No	No	No	No
HO433	<i>House</i> 54 Southey St, Elwood	Yes	No	No	No	No	No	No
HO261	<i>Elenora</i> 51 Spenser St, St. Kilda	Yes	No	No	No	No	No	No
HO262	<i>Los Angeles Court flats</i> 81A Spenser St, St Kilda	Yes	No	No	No	No	No	No
HO352	<i>House</i> 2A Spray Street, Elwood	Yes	No	No	No	No	No	No
HO434	<i>House</i> 54 & 56 Spray St, Elwood	Yes	No	No	No	No	No	No
HO244	<i>Former Swallow & Ariell Biscuit Factory</i> 1 Stokes St and 241-265 Rouse St and 40-44 Princes St and 29-53 Stokes St and 2-14 Capistrano Pl and 2-10 Murtons Way, Port Melbourne	-	-	-	-	Yes Ref No H567	Yes	No
HO263	<i>Former Masonic Hall</i> 18 Stokes St, Port Melbourne	Yes	No	No	No	No	No	No

PORT PHILLIP PLANNING SCHEME

PS map ref	Heritage place	External paint controls apply?	Internal alteration controls apply?	Tree controls apply?	Outbuildings or fences not exempt under Clause 43.01-4	Included on the Victorian Heritage Register under the Heritage Act 2017?	Prohibited uses permitted?	Aboriginal heritage place?
HO264	<i>Laywell Terrace</i> 20-24 Stokes St, Port Melbourne	Yes	No	No	No	No	No	No
HO497	<i>Edith</i> 26 Stokes Street, Port Melbourne	Yes	No	No	No	No	No	No
HO265	<i>Former Swallow and Ariell offices</i> 60 Stokes St, Port Melbourne	Yes	No	No	No	No	No	No
HO308	<i>Thelma</i> 106 Stokes St, Port Melbourne	Yes	No	No	No	No	No	No
HO309	<i>Carmel</i> 108 Stokes St, Port Melbourne	Yes	No	No	No	No	No	No
HO266	<i>Former St. Osyth Hotel</i> 135 Stokes St, Port Melbourne	Yes	Yes	No	No	No	No	No
HO267	<i>Woodlands</i> 168 Stokes St, Port Melbourne	Yes	No	No	No	No	No	No
HO310	<i>House</i> 169 Stokes St, Port Melbourne	Yes	No	No	No	No	No	No
HO268	<i>Former shop and residence</i> 175 Stokes St, Port Melbourne	-	-	-	-	Yes Ref No H1789	No	No
HO269	<i>Bundalohn</i> 6 Tennyson St, St Kilda	Yes	Yes	No	No	No	No	No
HO436	<i>Flats</i> 63 - 69 Tennyson St, St Kilda	Yes	Yes	No	No	No	No	No
HO270	<i>Glanfell</i>	Yes	No	No	No	No	No	No

PORT PHILLIP PLANNING SCHEME

PS map ref	Heritage place	External paint controls apply?	Internal alteration controls apply?	Tree controls apply?	Outbuildings or fences not exempt under Clause 43.01-4	Included on the Victorian Heritage Register under the Heritage Act 2017?	Prohibited uses permitted?	Aboriginal heritage place?
	87 Tennyson St, Elwood							
HO437	<i>Flats</i> 104 - 108 Tennyson St, St Kilda	Yes	Yes	No	No	No	No	No
HO271	<i>House</i> 109 Tennyson St, Elwood	Yes	No	No	No	No	No	No
HO117	<i>The Esplanade Hotel</i> 11 The Esplanade, St Kilda	Yes	Yes	No	No	No	No	No
HO118	<i>Belvedere</i> 22 The Esplanade, St Kilda	-	-	-	-	Yes Ref No H812	Yes	No
HO272	<i>Factory</i> 79 Thistlethwaite St, South Melbourne	Yes	No	No	No	No	No	No
HO273	<i>House</i> 28 Vale St, St Kilda	Yes	No	No	No	No	No	No
HO274	<i>House</i> 30/30A Vautier St, Elwood	Yes	Yes	No	No	No	No	No
HO61	<i>Primary School No 1181 (and former Wesleyan Methodist Church)</i> 2-38 Victoria Avenue, Albert Park	-	-	-	-	Yes Ref No H1629	Yes	No
HO275	<i>Mona</i> 12 Waterloo Cr, St Kilda	Yes	No	No	No	No	No	No
HO276	<i>Residence</i> 34 Waterloo Cr, St Kilda	-	-	-	-	Yes Ref No H780	Yes	No
HO363	<i>Flats</i>	Yes	No	No	No	No	No	No

PORT PHILLIP PLANNING SCHEME

PS map ref	Heritage place	External paint controls apply?	Internal alteration controls apply?	Tree controls apply?	Outbuildings or fences not exempt under Clause 43.01-4	Included on the Victorian Heritage Register under the Heritage Act 2017?	Prohibited uses permitted?	Aboriginal heritage place?
	22 Wellington Street, St Kilda							
HO364	<i>House</i> 67 Wellington Street, St Kilda	Yes	No	No	No	No	No	No
HO359	<i>House</i> 99 Wellington Street, St Kilda	Yes	No	No	No	No	No	No
HO360	<i>Former Tramway Engine House</i> 105 Wellington Street, St Kilda	Yes	No	No	No	No	No	No
HO277	<i>House</i> 48 Westbury St, St. Kilda East	Yes	No	No	No	No	No	No
HO278	<i>Frenchay</i> 89 Westbury St, St Kilda East	Yes	No	No	No	No	No	No
HO279	<i>Flats</i> 54-56 Wilgah St, St. Kilda East	Yes	No	No	No	No	No	No
HO282	<i>Former BALM Paints offices</i> 339 Williamstown Rd, Port Melbourne	Yes	No	No	No	No	No	No
HO280	<i>Fire Station complex</i> 425 Williamstown Rd, Port Melbourne	Yes	No	No	No	No	No	No
HO281	<i>Former Disco Manufacturing corporation P.L. factory</i> 477 Williamstown Rd, Port Melbourne	Yes	No	No	No	No	No	No
HO283	<i>Petrol filling station complex</i> north-west cnr, Williamstown Rd and Salmon St, Port Melbourne	Yes	No	No	No	No	No	No
HO284	<i>House</i>	Yes	No	No	No	No	No	No

PORT PHILLIP PLANNING SCHEME

PS map ref	Heritage place	External paint controls apply?	Internal alteration controls apply?	Tree controls apply?	Outbuildings or fences not exempt under Clause 43.01-4	Included on the Victorian Heritage Register under the Heritage Act 2017?	Prohibited uses permitted?	Aboriginal heritage place?
	33 Wordsworth St, St. Kilda							
HO401	<i>House</i> 34 Young Street, East St Kilda	Yes	No	No	No	No	No	No
HO311	<i>Former Albion Hotel</i> 172 York St, South Melbourne	Yes	No	No	No	No	No	No
HO447	<i>Port Melbourne Cricket Ground</i> 525 Williamstown Road, Port Melbourne	Yes	No	No	No	No	No	No
HO448	<i>Edwards Park</i> 219 Esplanade East, Port Melbourne	No	No	Yes	No	No	No	No
HO470	<i>Substation</i> 98 Johnson Street (corner of Johnson and Munro Streets)	Yes	No	No	No	No	No	No
HO471	<i>Horse Trough</i> Ingles Street, near intersection of Ingles Street and Williamstown Road	Yes	No	No	No	No	No	No
HO472	<i>Former Commonwealth WWII Facility and Rootes Factory</i> 19 Salmon Street, Port Melbourne	Yes	Yes – tower component only	No	No	No	No	No
HO449	<i>Former WJ Carr Warehouse</i> 95 Bay Street, Port Melbourne	Yes	No	No	No	No	No	No
HO451	<i>Exchange Hotel</i> 39 Bay Street, Port Melbourne	Yes	No	No	No	No	No	No
HO456	<i>Former Australasian Sugar Refining Company complex</i>	Yes	No	No	No	No	No	No

PORT PHILLIP PLANNING SCHEME

PS map ref	Heritage place	External paint controls apply?	Internal alteration controls apply?	Tree controls apply?	Outbuildings or fences not exempt under Clause 43.01-4	Included on the Victorian Heritage Register under the Heritage Act 2017?	Prohibited uses permitted?	Aboriginal heritage place?
	Land bounded by Beach, Rouse, Dow Streets and Esplanade West except the north western corner	(10 Beach Street only)						
HO457	<i>Former Army and Navy Hotel, 95 Dow Street</i> Part 100-128 Bay Street, Port Melbourne - fronting Dow Street	Yes	No	No	No	No	No	No
HO459	<i>Four shops</i> 79-85 Bay Street, Port Melbourne	Yes	No	No	No	No	No	No
HO462	<i>Pier Hotel</i> 1 Bay Street, Port Melbourne	Yes	No	No	No	No	No	No
HO464	<i>Former Mission to Seamen</i> 49 Beach Street, Port Melbourne	Yes	No	No	No	No	No	No
HO485	<i>Local Hotel</i> 22 Bay Street, Port Melbourne	Yes	No	No	No	No	No	No
HO486	<i>Shop</i> Part 100-128 Bay Street, Port Melbourne	Yes	No	No	No	No	No	No
HO487	<i>Three houses</i> 183-187 Rouse Street, Port Melbourne	Yes	No	No	No	No	No	No
HO488	<i>Tecoma Court</i> 16-20a Wellington Street, St Kilda	Yes	No	No	No	No	No	No
HO489	<i>Earls Court</i> 44 Wellington Street, St Kilda	Yes	No	No	No	No	No	No
HO491	<i>Duplex</i> 38-40 Wellington Street, St Kilda	Yes	No	No	No	No	No	No

PORT PHILLIP PLANNING SCHEME

PS map ref	Heritage place	External paint controls apply?	Internal alteration controls apply?	Tree controls apply?	Outbuildings or fences not exempt under Clause 43.01-4	Included on the Victorian Heritage Register under the Heritage Act 2017?	Prohibited uses permitted?	Aboriginal heritage place?
HO492	<i>Terraces</i> 56-58 Wellington Street, St Kilda	Yes	No	No	No	No	No	No
HO493	<i>Shops with residences</i> 81-81a Wellington Street, St Kilda	Yes	No	No	No	No	No	No
HO494	<i>Residence</i> 129 Wellington Street, St Kilda	Yes	No	No	No	No	No	No
HO503	<i>Maisonettes</i> 21 Redan Street, St Kilda Statement of Significance: 21 Redan Street, St Kilda, "Maisonettes", February 2020	Yes	No	No	No	No	No	No
HO504	<i>Former church</i> 77 Park Street, South Melbourne	Yes	No	No	No	No	No	No
HO505	<i>Concrete House</i> 226 Alma Road, St Kilda East Statement of Significance: 226 Alma Road, St Kilda East. "House (Concrete House)", February 2020	Yes	No	No	No	No	No	No
HO506	<i>Shop and Residence</i> 264-266 St Kilda Road, St Kilda Statement of Significance: 264-266 St Kilda Road, St Kilda "Shops & Residence", February 2020	Yes	No	No	No	No	No	No
HO509	<i>Shops and Residence</i> 588 and 590 City Road, South Melbourne	No	No	No	No	No	No	No

PORT PHILLIP PLANNING SCHEME

PS map ref	Heritage place	External paint controls apply?	Internal alteration controls apply?	Tree controls apply?	Outbuildings or fences not exempt under Clause 43.01-4	Included on the Victorian Heritage Register under the Heritage Act 2017?	Prohibited uses permitted?	Aboriginal heritage place?
	Statement of Significance: 588 and 590 City Road, South Melbourne, "Shops and Residences", February 2021							

SCHEDULE TO CLAUSE 59.15 LOCAL VICSMART APPLICATIONS

1.0

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Proposed C203port

Table 1 Classes of VicSmart application under zone provisions

Name of zone or class of zone	Class of application	Permit requirement provision	Information requirements and decision guidelines
Clause 34.01 Commercial 1 Zone	Externally alter a dwelling in a Commercial 1 Zone.	Clause 34.01	Clause 59.04

2.0

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Proposed C203port

Table 2 Classes of VicSmart application under overlay provisions

Name of overlay or class of overlay	Class of application	Permit requirement provision	Information requirements and decision guidelines
Clause 43.01 Heritage Overlay	Demolition of a chimney if the chimney is not visible from a street (other than a lane) or public park, unless the land is identified as a Significant heritage place in the incorporated document in the Schedule to Clause 72.04 'City of Port Phillip Heritage Policy Map' (Version 35, March 2021).	Clause 43.01-1	Clause 59.16 Schedule 1
Clause 43.01 Heritage Overlay	Externally alter Minor external alteration of a building if the alterations are located to the rear or side of the building and are not visible from the street (other than a lane) or public park.	Clause 43.01-1	Clause 59.16 Schedule 1
Clause 43.01 Heritage Overlay	Externally alter Minor external alteration of a roof, if the alterations are not visible from a street (other than a lane) or public park.	Clause 43.01-1	Clause 59.16 Schedule 1
Clause 43.01 Heritage Overlay	Externally alter a roof where the alterations are visible from a street (other than a lane) or public park and are undertaken to the same details, specifications and materials.	Clause 43.01-1	Clause 59.16 Schedule 1
Clause 43.01 Heritage Overlay	Construct or carry out minor works normal to a dwelling, including vehicle accessways, pedestrian paths or similar.	Clause 43.01-1	Clause 59.16 Schedule 1
Clause 43.01 Heritage Overlay	Removal of security features from windows.	Clause 43.01-1	Clause 59.16 Schedule 1
Clause 43.01 Heritage Overlay	Demolition or removal of a non-original or non-heritage sign. Demolition or removal of a sign, unless the land is identified as a Significant heritage place in the incorporated document in the Schedule to Clause 72.04 'City of Port Phillip Heritage Policy Map' (Version 35, March 2021).	Clause 43.01-1	Clause 59.16 Schedule 1

PORT PHILLIP PLANNING SCHEME

Name of overlay or class of overlay	Class of application	Permit requirement provision	Information requirements and decision guidelines
Clause 43.02 Design and Development Overlay Schedules 1 to 29 and 34 to 36	Construct or carry out works to a building provided the building height and gross floor area of the building is not increased.	Clause 43.01-2	Clause 59.16 Schedule 1

3.0

--/--/---
Proposed C203port

Table 3 Classes of VicSmart application under particular provisions

Name of particular provision	Class of application	Permit requirement provision	Information requirements and decision guidelines
Clause 52.05 Signs	Construct or put up for display an internally illuminated sign within 30 metres of land (not a road) which is in a residential zone and provided the display area does not exceed 1.5 square metres.	Clause 52.05-2	Clause 59.09
Clause 52.05 Signs	Construct or put up for display a sign (other than a floodlit, internally illuminated or electronic sign) with a display area that exceeds 10 square metres.	Clause 52.05-2	Clause 59.09
Clause 52.27 Licensed Premises	Use of land to sell or consume liquor on premises in association with a restaurant, convenience restaurant or take away food premises where all of the of the following are met: <ul style="list-style-type: none"> ▪ The hours of trading allowed under a licence are within 7 am and 11 pm. ▪ The land is in a Commercial 1 Zone or Commercial 2 Zone and not within 30 metres of land (not including a road) in a residential zone. ▪ The area where liquor will be sold and consumed is indoors. 	Clause 52.27	Clause 59.16 Schedule 2



Heritage Design Guidelines

Revised ~~Feb 2021~~ August 2022



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Introduction

Purpose

Heritage places in the City of Port Phillip are highly valued by Council and the community for providing a link to the past and for enriching the present environment.

The purpose of the Guidelines is to provide both Council and property owners or occupiers with clear guidance for decision making in relation to the conservation and the future management and development of heritage places.

The Guidelines follow the philosophy, principles and processes set out in the *Burra Charter, the Australia ICOMOS Charter for Places of Cultural Significance 2013* (Burra Charter).

The aim is not to prevent change, but to ensure that change does not diminish the cultural significance of heritage places over time.

Application

The Guidelines apply to all properties included within the Heritage Overlay in Port Phillip, except for places and areas included on the [Victorian Heritage Register](#). (Please contact Heritage Victoria if your place is included on the Victorian Heritage Register).

All the guidelines apply to Significant or Contributory heritage places, as shown on Council's Heritage Policy Maps.

Some guidelines, including Alterations and additions, New buildings, Car parking, Fencing, Signage, Sustainability and services and Subdivisions, also apply to Non-contributory properties.

How to use the Guidelines

The Guidelines set out preferred approaches and techniques that will support the achievement of the strategies and outcomes sought by the State and local heritage policy in Clause 15.03 of the Port Phillip Planning Scheme (the 'Heritage Policy') for development or subdivision of land subject to Clause 43.01 Heritage Overlay of the Port Phillip Planning Scheme (the 'Heritage Overlay').

- ~~Explain what Council will take into consideration when assessing a planning permit application for development or subdivision of land in accordance with Clause 43.01 Heritage Overlay of the Port Phillip Planning Scheme (the 'Heritage Overlay').~~
- ~~Set out preferred approaches and techniques that will support the achievement of the strategies and outcomes sought by the State and local heritage policy in Clause 15.03 of the Port Phillip Planning Scheme (the 'Heritage Policy').~~

The Guidelines are not exhaustive. Other approaches may be considered, if it can be demonstrated that the outcomes sought by the Heritage Policy and the Heritage Overlay will still be achieved.

In addition to these guidelines, specific guidelines also apply to the part of Port Melbourne included in the HO2 Garden City Estates Heritage Precinct:

- Dunstan Estate Heritage Guidelines
- Fishermans Bend Estate Guidelines
- Garden City Estate Guidelines

Some Significant heritage places also have specific guidelines, which are contained in the heritage citation for the place **or may be in a separate document**.

Process

To ensure a smooth process Port Phillip City Council strongly encourages property owners and developers to discuss any proposals with Council prior to preparing an application for any new development. The following steps are recommended:

1. Find out planning requirements

Speak to a town planner within the Statutory Planning team about planning permit requirements. They can also advise if there are other planning controls, guidelines or policies that you should consider. For example, Rescode.

The Statutory Planning Team can also advise whether your proposal may be eligible for assessment as either a [Vicsmart](#) or [Fast Track](#) application.

Depending on the proposal, general advice may be provided over the phone 9209 6424 or via email (planhelp@portphillip.vic.gov.au), or in person at the St Kilda Town Hall, 99a Carlisle Street, St Kilda (Monday to Friday, 8.30am – 5pm).

2. Prepare concepts

As an initial step, begin to develop some design concepts. When developing these concepts it is important to understand the significance of your property and its setting (also known as the 'context').

The following section *Design in Context* provides advice in relation to the preferred approach to developing a contextual design response that will complement heritage places by respecting and understanding historic significance and character.

This step is not required for [Vicsmart](#) or [Fast Track](#) applications.

3. Discuss concept early

Depending on the proposal, a pre-application meeting may be useful (For information, please see Council's pre-application advice guide).

In some cases, a meeting or site visit with the Heritage Adviser may be necessary. The need for this will be identified as part of the [pre-application advice](#).

4. Prepare an application

Once an approach has been agreed to, prepare your proposal and an application your detailed plans and submit an application. The application should demonstrate how the proposal has responded to the Heritage Policy, **and the Heritage Overlay** ~~and these guidelines~~.

~~If it is proposed to vary any of the guidelines, then the application should explain how the outcomes sought by the Heritage Policy and Heritage Overlay will be achieved.~~

For further information about preparing an application, please see Council's website <https://www.portphillip.vic.gov.au/planning-and-building/get-a-planning-permit> or contact the Statutory Planning Team.

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Design in Context

Contextual Design

Good design in a historic context links the past to the present and projects into the future by demonstrating an understanding and responding to the context of a place¹.

Council encourages a contextual design approach that complements heritage places and their settings by assessing the opportunities and constraints that arise from understanding of historic values and character. The success of new work such as alterations or additions to heritage places or new buildings within heritage precincts will depend upon the sensitivity of the design response. New work should respect the context, strengthen the scale and character of the original, and should not overpower it².

Understanding significance

Contextual design in historic context starts from understanding 'what is significant about a place and why it is significant'. The Statement of Significance, currently in *the Port Phillip Heritage Review*, contains information about the significance of heritage places in Port Phillip. The amount of information depends on the level of significance:

- Significant heritage places **often** have an individual citation that explains why the place is significant.
- Contributory heritage places do not have an individual citation. They form part of heritage precincts, which each have a citation that explains the collective significance of these places.

When preparing an application:

- Consider the most recent Statement of Significance if there is more than one Statement of Significance for the heritage place.
- If there is a Statement of Significance at both the individual and precinct level for the heritage place then both should be considered.

Citations prepared prior to 1998 sometimes have limited information, or the place may have changed since the citation was originally prepared. For this reason, it may be necessary to obtain expert heritage advice to review the information contained in the citation.

Managing transitions

An important part of contextual design is managing transitions between old and new. Successful transition between different building styles and forms requires careful consideration of form, details, scale, proportions, sitting and the distinctive 'rhythm' created by traditional fine-grain heritage streetscapes.

For additions, the design response should respect important relationships between the buildings, its neighbours and its setting. New buildings should complement the existing built form while leaving its own legacy for the future.

Contemporary design

Contemporary architecture and innovative design is an important part of the contextual approach because well-designed new work can have a positive role in the interpretation of the cultural significance of a place. The layering of different styles is a defining feature of Port Phillip's heritage. Reproducing heritage styles in new work, particularly in a way distorting historic evidence, is not contextual design.

It is a common misunderstanding that contemporary design means a set of stylistic choices completely

1 Office of the Victorian Government Architect, Good Design and Heritage, page 5

2 Australia ICOMOS, Practice Note, Burra Charter Article 22 – New Work

breaking from the past. What separates a contemporary design approach from that of the modern era is the significance of context when creating new work. Interpretation or interpretive design, for example, is a way of fostering the appreciation of a significant aspect associated with a place by thoughtfully applying present day aesthetics and technology. Simply being different is not interpretive design.

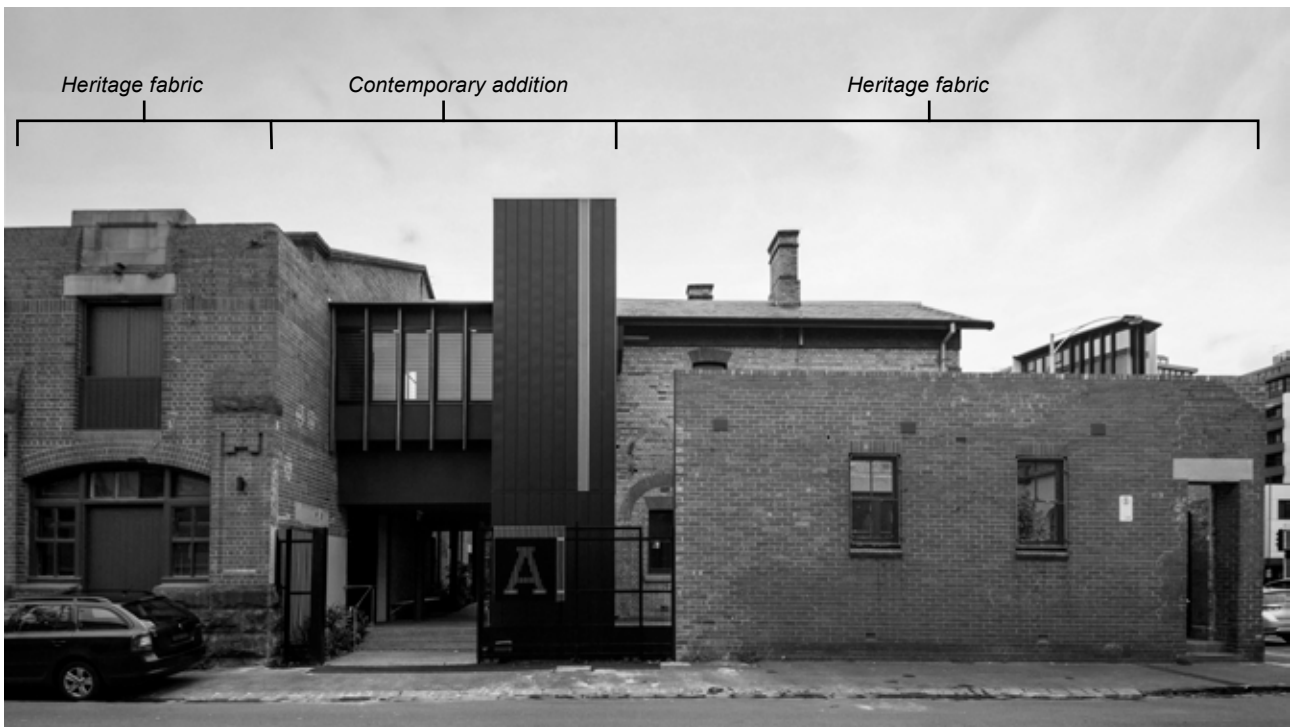


Photo 1: The adaptive re-use of the former Naval Drill Hall (left) and Port Melbourne Post Office (right) for the Albert Park College Environmental Arts Hub included this contemporary insertion linking the two buildings, as well as conservation works to the original buildings. Designed by Six Degrees architects, the complex was the recipient of a City of Port Phillip Design & Development Award in 2018.

Responding to context

To inform your design approach you should prepare a context analysis or a site analysis.

A context analysis considers not only your own site but the broader characteristics of the precinct and streets surrounding it. This is particularly important if your site is in a heritage precinct. However, it may not be required for non-visible alterations or additions at the rear of a dwelling or minor works such as painting. For Significant places that are not within a heritage precinct usually only a site analysis is required, unless the surrounding context is identified as contributing to the significance of the place.

There are three levels of context: precinct, street and your own site. The following explains the key considerations that should be included at each level of your analysis and how this would influence your design. The other contextural considerations applicable to any site, including non-heritage, may not be listed. As always, context differs from site to site. The process of context analysis will help you to identify the other factors that are important for the design outcome.

Precinct

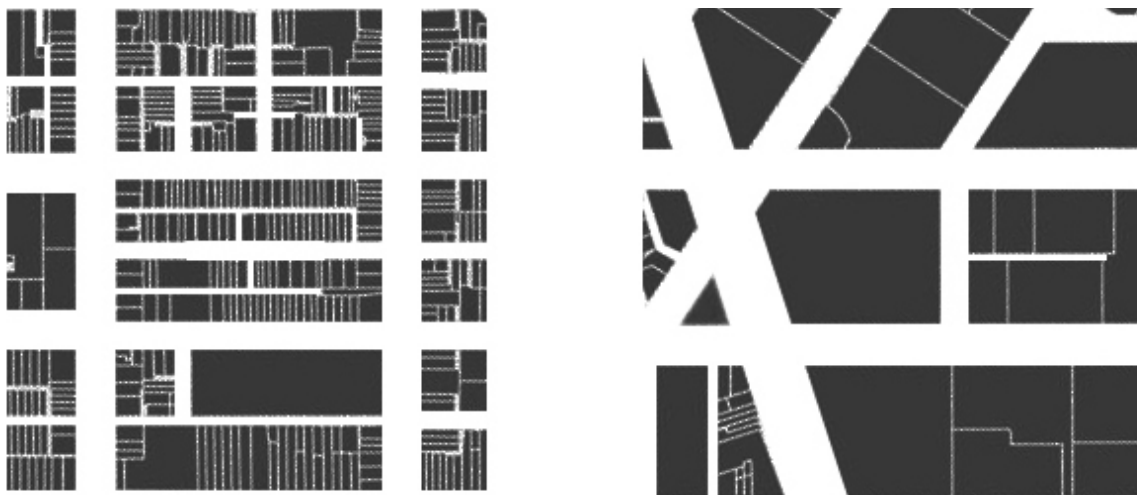
The historic context of the heritage precinct plays a key role in determining the design parameters for additions or new buildings through the characteristics that are not obvious when looking closely around the site. At a precinct level, consider the following:

- **Views and skylines**

At what distance or view point the proposed development will be viewed and experienced? Will the proposed development intrude upon views to landmark buildings or landscape in the precinct? What are the characteristics of the historical skylines found within the precinct and how should the proposed development respond to these?

- **Urban grain**

What are the general size and pattern of the historical land subdivision (also called urban grain) found within the surrounding heritage precincts? Is it regular or irregular? Are there consistent lot sizes?



A comparison of the land subdivision pattern between a historic and modern area in South Melbourne.

The figure on the left is part of a heritage precinct which shows a regular fine grained pattern. The one on the right shows the modern urban blocks in the same map scale.

- **Consistency and diversity**

Is the heritage precinct characterised by a consistency of built form or diversity? What are the key features that contribute to the sense of consistency? Or, if diverse, are there any common features such as materials, fenestration patterns, roof forms or otherwise that are repeatedly found in the area?

Street

The primary focus of this level of context is the site and its immediate surroundings which includes the properties within the surrounding streetscapes. A site that can be seen or accessed from multiple streets or a public realm will be assessed from all publicly visible sides.

Consider the following:

- **Setback and orientation**

Do the buildings front the street directly or are they setback from the street? What are the setbacks from the front and side boundaries and are they consistent within the street?

- **Roof form**

Do they have a parapet, if so, is it low or high? Are roofs visible, if so, are they steep (high) or shallow (low) in pitch?

- **Massing, proportion and rhythm**

What is the general height and width of buildings on the street? Are the building proportions predominantly vertical or horizontal? Is there a regular or an irregular pattern created by elements such as windows and ornamentation? Do the buildings have simple or complex forms following specific rules of order?



A typical symmetrical Victorian two storey terrace row with distinctive vertical rhythm created by repetitive verandah bays and detailing.

- **Key features**

Does the street feature verandahs or awnings? Are the windows projected out or recessed?

- **Materials and ornamentation**

What are the prevailing materials and ornamentation used on external surfaces?

- **Fences and gardens**

In residential areas, what are the types of fences traditionally found within the area? What is the typical fence height on the street? How much can the front garden be seen from the street (also called visual permeability)? Are there significant trees and garden features?

- **Driveways and garages**

Are they historically found within the area?

- **Main entrances**

Where are the entrances to buildings located? Do they face toward the front or side, or are they situated on a corner?

For **commercial buildings**, such as shops, additional considerations could include shopfronts and entry: Do the buildings have original shopfronts? Are the buildings entered from the front or the side, a central entry or offset? Are they recessed or in line with the building facade?

- **Signage**

Where is signage located? What form of signage is used?

Site

The story of a building can be read through the manner of its construction and the changes that have been made. Knowing how the building was originally constructed and what changes have happened since (and why) can inform future works. A site analysis considers your property and provides a more detailed description of the key historic features. It can identify features that have been removed and could be restored.

Consider the following:

If your building is **Significant or Contributory**:

- What are the important features of your building and landscape and how could an addition respond to these? For example, the roof form, materials, colours and details.
- Have any original features been removed or changed? Is there an opportunity to restore or reconstruct these? For example, it is unlikely that your property has its original paint finish. A heritage consultant can establish what colour it was originally painted by taking paint scrapes and analysing them under a microscope. Sometimes the original paint finish is visible under joinery, or where more recent coats of paint have started to peel away. You can also check for markings which indicate that a wall has been removed (or added), or mouldings removed from walls or verandah posts.
- What is the best way to incorporate sustainability features to ensure they have minimal visual impacts. Could these be integrated into the design of a new addition rather than be added to the original house?

If your building is **Non-contributory**:

- What are the important features of buildings on adjoining or nearby sites and how could a new building or addition respond to these? For example, the scale, sitting (front and side setbacks), roof form, materials, colours and details.
- If you are undertaking alterations, are there any changes that could make your building sit more comfortably within the streetscape. For example, by changing wall or roof colours or materials, shape or proportions of visible windows or changes to front fencing?

For places that have **social significance**, additional considerations could include:

- Are there buildings and features that are highly valued by the community?
- Is the community attachment to the building or feature itself, or associated more with the use of the place?

Guideline 1: Demolition & Relocation

This section provides guidelines for the complete or part demolition, and for relocation of a heritage place.

Application

These guidelines apply to Significant and Contributory heritage places.

Guidelines basis

Good design will protect existing fabric and understand that heritage significance relates to the building as a three-dimensional form and also carefully considers the impact of demolition upon internal spatial quality and the relationship between the interior and the façade. For this reason, these guidelines strongly discourage full demolition or extensive demolition that leads to ‘facadism’ where, for example, only the external walls are retained (see Case Study 1).

Good design may include part demolition where, for example, the section to be demolished is of no significance or will remove an inappropriate later addition.

Within a heritage precinct, the loss of a single Contributory building may not seem important when considered in isolation. However, the incremental loss over time of buildings or other features that contribute to the significance of the precinct can lead to detrimental impacts upon the integrity and historic character.

The physical location of a place is part of its cultural significance and relocation is generally unacceptable unless this is the sole practical means of ensuring its survival.

Demolition guidelines

For **Significant places**, the extent of demolition will be guided by the Statement of Significance and decided on a case-by-case basis. The aim should be to conserve all buildings and other features identified as contributing to the significance of the place.

For **Contributory places** within precincts, conservation of the building to the depth of at least the front two rooms is recommended. If the building is located on a corner or if there are other publicly visible features beyond the two-room depth then conservation of more of the building may be required. Contributory features such as trees, outbuildings and front fences should also be retained.



Photo 2. The removal of a c.1950s addition at the front of this house in Blessington Street, St Kilda revealed the original intact Victorian era façade. Outlines of the removed walls and some of the colour schemes, as well as the lower sections of the walls (now covered in vines) were left as evidence of this change.

Part demolition may be appropriate if, for example, it results in the removal of fabric that is not significant or detracts from the significance of the building (See Photo 2).

If full or extensive demolition is considered appropriate, the following additional information or actions may be required:

- A visual or documentary record of the building prior to demolition commencing.
- An interpretation strategy that may include on-site information or other methods.
- Conserving any objects or fabric associated with the building that may form part of on-site interpretation, or become part of the historic collection of Council or another organization.

Relocation guidelines

The relocation of a heritage place should be planned and supervised by an appropriately qualified person (or persons) to avoid damage and minimise potential heritage impacts. A relocation plan should be prepared that:

- Identifies a suitable new location.
- Identifies a suitable temporary storage location, if the feature cannot be relocated immediately.
- Identifies the method of disassembly and reassembly, if required
- Identifies the method to be used for photographic and documentary record of the building or feature on its current site prior to relocation.
- Identifies how the relocation procedure will be supervised and managed to avoid inadvertent damage to or loss of fabric.

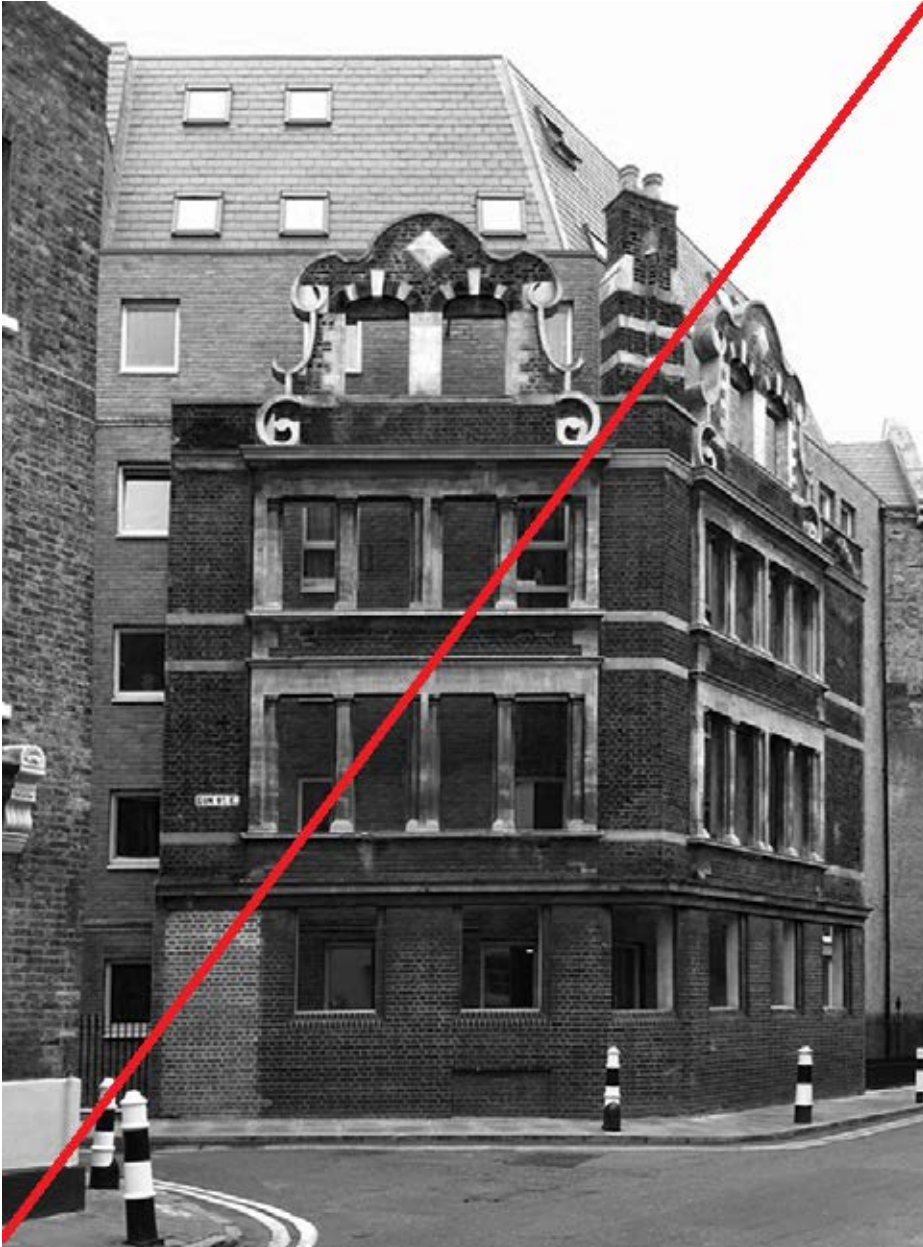
A similar process may be followed if it is proposed to temporarily remove and reinstate a heritage place in the same location.

Council may require the payment of a bond or guarantee to ensure the relocation is carried out in accordance with the plan.



Photo 3: The Maskell and McNab Memorial was unveiled on 17 July 1890 in memory of two Port Melbourne residents who were killed in the infamous Windsor rail collision of 11 May 1887. Originally located near the Graham Street Railway Station, it has been relocated on three occasions. It now resides on the foreshore reserve in Beach Street near Princes Street.

Case Study 1 - Facadism



This building in Spitalfields, London shows the adverse visual impacts of 'facadism' upon the significance and integrity of a building. Not only has the historic building been reduced to just the front wall, but original details such as windows and doors have been removed and there is no visual or physical relationship with the new building behind, which is a completely separate structure. This demonstrates the importance of maintaining buildings as three-dimensional objects by retaining original visible fabric beyond the front wall and ensuring that new additions respond to and reinforce aspects such as floor-to-floor height, depth of space, and building form and layout.

Case Study 1 - Facadism



This building in Smith Street, Fitzroy shows the adverse visual impacts of 'facadism' upon the significance and integrity of a building. Not only has the historic building been reduced to the front wall only facing Smith Street and a small return section to the side street, but original details such as windows and doors have been removed. The area behind the retained façade has been converted to a car parking area. There is no visual relationship with the original parts of the building and additions. This case study highlights demonstrates the importance of maintaining buildings as three-dimensional objects by retaining original visible fabric beyond the front wall and ensuring that new additions respond to and reinforce aspects such as floor to floor height, depth of space, and building form and layout.

Guideline 2: Conservation

This section provides guidelines for the conservation of features, details, materials, and finishes that contribute to the significance of heritage places including:

- Maintenance and preservation.
- Minor repairs.
- Restoration by reinstating original fabric or by the removal of inappropriate additions.
- Reconstruction to a known earlier state using new or introduced material based on historic evidence.

Application

These guidelines apply

- For Significant places, to all features, details, materials, and finishes that contribute to the significance of the place.
- For Contributory places, to all contributory features, details, materials, and finishes that are visible from the public realm.

Guidelines basis

Designers of buildings during the late nineteenth and early twentieth centuries applied a range of decorative styles to buildings, which reflected the use and function of the building as well as the status of the owner. These styles were expressed by a range of external decorations and finishes such as render, mouldings, cast and wrought iron and timber decoration, tiles, glass, tuck-pointing and paint.

Heritage colour schemes were based on the identification of various parts and elements of the building's structure and decoration. They employed a limited range of external colours up to World War Two (1939) and although new colours became available in the Interwar years (1919 to 1939), tradition resulted in the early colours still being commonly used. Traditional schemes were quite colourful given their limited range, but relied mainly of tonal contrasts rather than changes of hue. Brickwork, stone and render were intended to be naturally finished and were not painted.

Many buildings in Port Phillip are notable for the intactness of many of these features (see Photo 4) and for the consistency of decorative approaches that have been used. Conservation of these features is therefore essential to maintaining the significance of the heritage places and precincts in Port Phillip.

Regular maintenance is important to conserve the appearance and significance of external finishes and decoration. However, it is important to understand that, in some cases, a special approach may be required to ensure that finishes or decorations are not inadvertently damaged.

When buildings have been altered, the restoration or reconstruction of contributory features can reveal the heritage values of the place and contribute to an improved understanding about its history and significance.



Photo 4. This block of flats in Wimbledon Avenue retains original finishes including the clinker brickwork, which contrasts with the natural (unpainted) render.

Repairs and maintenance guidelines

Repairs and maintenance should match the material, colour, texture, composition and pattern of the original. This is known as 'like for like' replacement. The emphasis should be on small scale repair and maintenance, rather than complete replacement wherever possible.

For example:

- For timber houses, weatherboards should be the same have the same profile (see Figure 2.1) and size (width of profile) as the original.
- Edwardian houses often have unglazed terracotta tiles with a 'Marseilles' profile, and should be replaced with tiles in the same material with an identical profile.

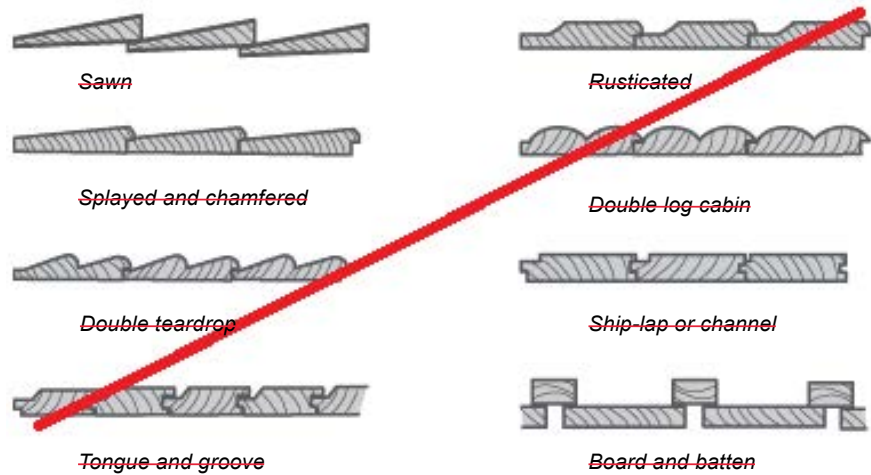


Figure 2.1 Common timber cladding profile

Seek advice from Council's Heritage Advisor about the best techniques to avoid damage when carrying out any conservation works. Avoid techniques such as sandblasting that could damage heritage features, details, materials or finishes.

For techniques such as paint removal or render repair, it may be necessary to carry out tests on a small non-conspicuous area first before proceeding.

Restoration and reconstruction guidelines

Restoration means returning the fabric of a heritage place to a known earlier state by removing non-original additions or restoring existing original features without the introduction of new material.

Reconstruction is a similar process to restoration, but differs as it includes the introduction of new materials.

Restoration or reconstruction of missing or altered features should be based on physical or documentary evidence:

- Physical evidence could include remnant fabric within the host building (for example, an original window frame concealed within a wall) or on an adjoining building if it forms part of a group of related buildings (for example, original cast iron frieze on an adjoining terrace house).
- Documentary evidence could include building plans, photographs, newspaper articles and the like. Oral history may also be considered.

If there is not enough evidence for an accurate reconstruction, then a simplified design appropriate for the style of the building should be used.

Avoid the incorrect use of traditional details or materials or adding a feature that never existed. For example, simple timber Victorian cottages usually did not have ornate cast iron verandahs, and some commercial buildings such as hotels and banks never had a verandah or awning (see Photo 5).



Photo 5. The reconstruction of historic verandahs in Clarendon Street did not include buildings such as this former bank that never had a verandah

Sometimes, later additions can contribute to the significance of a heritage place and should be conserved as a record of the historical layers.

Some examples include:

- Interwar shopfronts to Victorian or Edwardian shops (see Photo 6).
- Alterations and additions to mansions or houses that have been converted to flats.
- Alterations and additions to Victorian era hotels as part of upgrades to meet new liquor licensing laws in the early twentieth century.

An exception could be if there are heritage guidelines specifically for the place that recommend returning the place to its original state.



Photo 6. These shopfronts, added during the interwar period, contribute to the historic character of the Victorian era shops in Clarendon Street, South Melbourne.

Colours and finishes

Original colour schemes should be repainted using the same colours.

Where original colour schemes have been lost, authentic colour schemes may be recreated by:

- Undertaking physical analysis such as paint scrapes of key features to determine the original colours used.
- Developing a new scheme based on typical colour schemes for the architectural style and detailing.

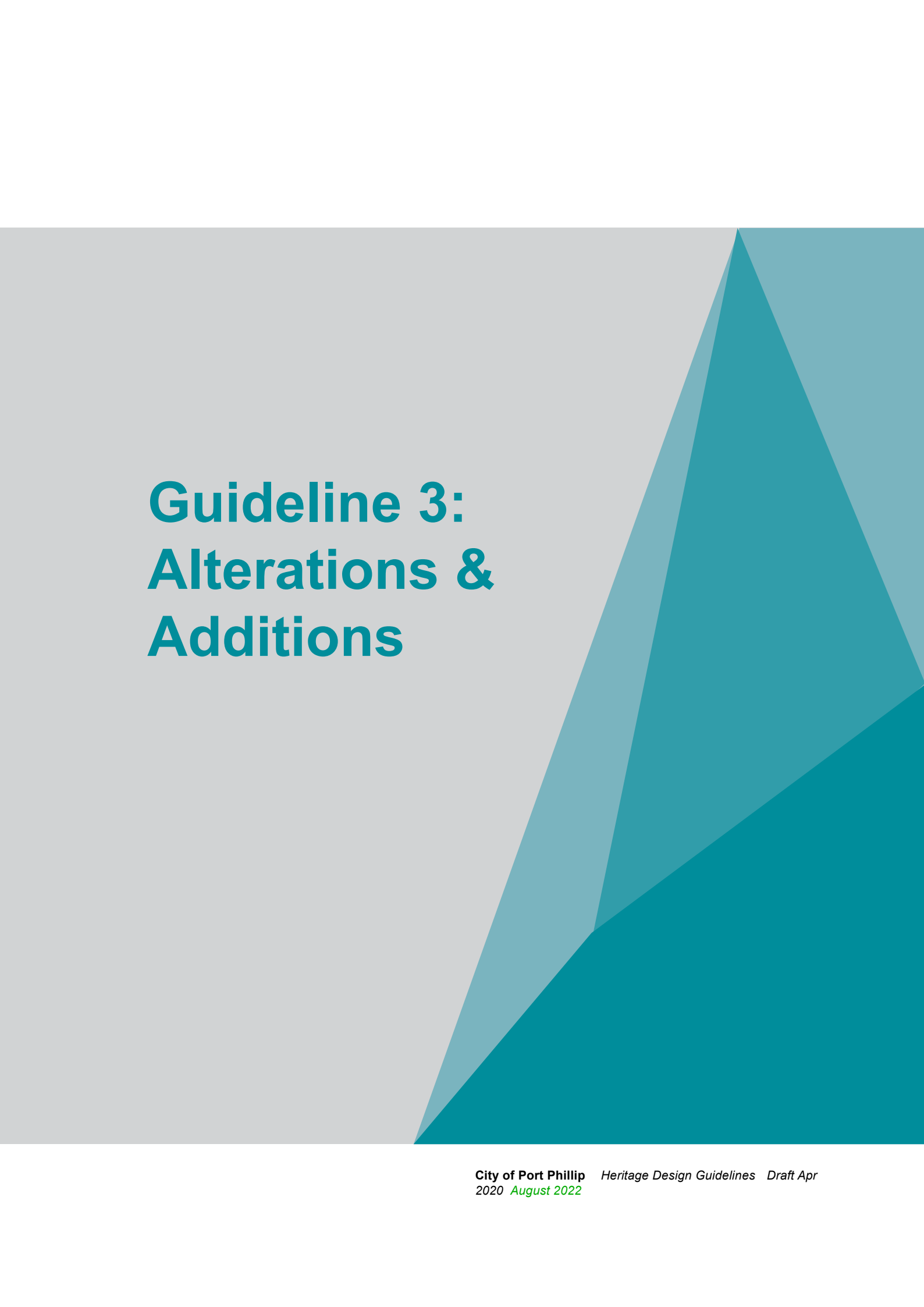
Unpainted surfaces should remain unpainted. This includes rendered finishes with original integrated colour.

Carefully remove paint from originally unpainted surfaces such as brickwork and render by an approved method that does not damage the fabric. Council's heritage advisor can provide further advice.

For more information see [Heritage Practice Note 3 Heritage Colour Schemes](#).

Associated objects and machinery

Wherever possible, original objects and features such as historic machinery should be retained in their original place. If this is not possible, then they may be relocated if this is the only means of conserving the object or feature. Interpretation may be required.



Guideline 3: Alterations & Additions

This section provides guidelines for alterations and additions to existing buildings.

Guidelines for new development (that is, an entirely new building) are discussed in the following section.

Application

These guidelines apply to all properties.

Guidelines basis

The heritage places and precincts in Port Phillip illustrate the historic development of the city from the mid-nineteenth century onwards. Some heritage precincts, such as those in Albert Park, Middle Park, Port Melbourne, South Melbourne and parts of Elwood have a more consistent heritage character (see Photo 7), while others, particularly those in St Kilda and parts of Elwood, have a more diverse character, which illustrates successive waves of development (see Photo 8 & 9).



Photo 7. An example of a consistent residential streetscape

This has created streetscapes that are significant for the high degree of intactness and consistency in terms of style, form, scale and sitting such as HO442 Albert Park Residential, as well as those that are highly diverse such as HO5 St Kilda Hill.

The same is true of individual heritage places with some developed in only one period, while the fabric of others show layers of historic development.

Alterations and additions to buildings should be guided by significance, and care must be taken to ensure that they do not have an adverse impact upon the historic character of heritage places and precincts. This includes additions to Non-contributory buildings within heritage precincts.



Photo 8. An example of a diverse streetscape consisting of *various* Contributory places of *different eras*



Photo 9. An example of diverse streetscape consisting of *Significant* and *Non-contributory* places.

General guidelines

Significant and Contributory places

For Significant places, avoid alterations or additions that would alter, conceal or remove contributory features whether or not they are visible from the public realm.

~~Contributory places~~

For Contributory places, avoid alterations or additions to the façade or other elevations that are visible from the public realm including a lane if the building is located on a corner. Specifically, avoid alterations or additions that would:

- Replace, alter or remove original features, materials or finishes (for example, replacement of timber windows with aluminium)
- Enclose original verandahs, balconies or porches.
- Create new openings or enlarge existing ones in visible walls.
- Result in new floor plates, walls, columns or structural supports cutting through visible openings.
- Retain only external walls.
- Introduce roof decks, balconies or dormer windows in visible locations.
- Interfere with a view to a building or feature that contributes to the significance of a heritage place.

For both Significant and Contributory places, new work should be distinguishable from old, while being sympathetic with the significant fabric. This can be achieved by:

- Making new material recessed or providing a clear visual break between old and new.
- Using a similar material, but with a different texture, or using a similar, but simplified design.
- Avoiding inappropriate contrasts between old and new fabric.
- Avoiding the use of faux historic detailing.

Non-contributory places

For Non-contributory properties, alterations that change the appearance of the building are permitted.

Height and front setback

The height of the addition and front setback is guided by the degree of concealment encouraged by the Heritage Policy.

In determining the degree of concealment required for new work, the Heritage Policy has regard to:

- The level of significance of the building (Significant, Contributory or Non-contributory) and,
- When the property is located within a heritage precinct, the consistency or diversity of the streetscape.

In determining whether a streetscape is consistent or diverse, consider only the buildings on the same side as the subject building and within the immediate surrounds.

Other considerations include:

- Whether the site is elevated above the street.
- Whether the roof of the proposed addition has a sympathetic contextual form (for example, a hipped form if the original house has a hipped roof or where this is a characteristic of the area).
- Whether oblique views are limited, for example, by higher buildings on adjoining or nearby sites

- Whether the roof form or height, parapet or any other feature of the existing building will assist in concealing the addition.
- Whether the addition will be seen within the context of taller buildings visible in the background.

Visible additions may be considered when the heritage place is situated on a site or within an area where higher density development is encouraged, or the additions are in accordance with specific development guidelines for the heritage place.

Areas where higher density development is encouraged include some that are within a Design and Development Overlay.

Examples of visible additions are the high-rise buildings constructed behind historic mansions in St Kilda and Queens Roads, and in the adaptive re-use of industrial buildings in South Melbourne and Port Melbourne (see Photo 1).

Residential Additions

The following guidelines are designed specifically for single residential buildings (one dwelling on a lot). Additions to multi-unit buildings (flats or apartments) will be assessed on a case-by-case basis having regard to the significance of the building and the context.

For additions to single middle-block residential buildings:

- Full concealment for a Significant place or in a consistent streetscape (See Photo 7) as encouraged by the Heritage Policy may be achieved by **containing the addition** within a 10 degree sightline as shown in Figure 3.1 or by using 'across the street' sightlines as shown in Figures 3.2, 3.3 or 3.4.
- Partial concealment in a diverse streetscape **within a heritage precinct** (See Photo 8 & 9) as encouraged by the Heritage Policy may be achieved by containing the addition within a sightline of up to 18 degrees as shown in Figure 3.5. The significance of the heritage place and the streetscape context will determine the extent of the variation from 10 up to 18 degrees.
- For houses with complex roofs, additional considerations apply, as shown in Figure 3.9.

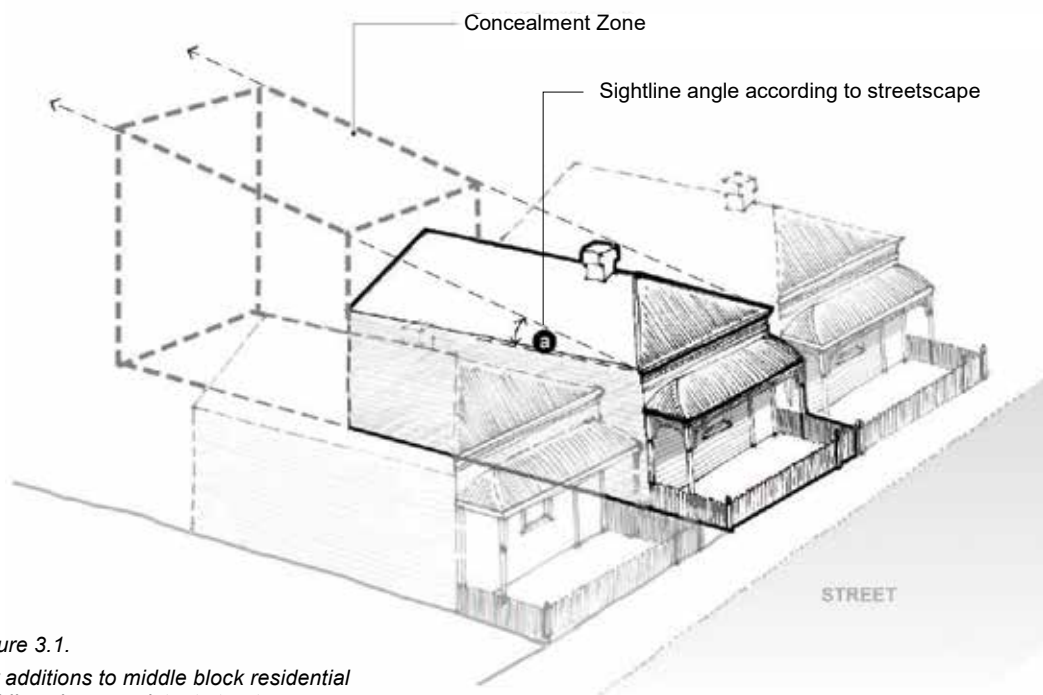


Figure 3.1.
For additions to middle block residential buildings in a consistent streetscape.

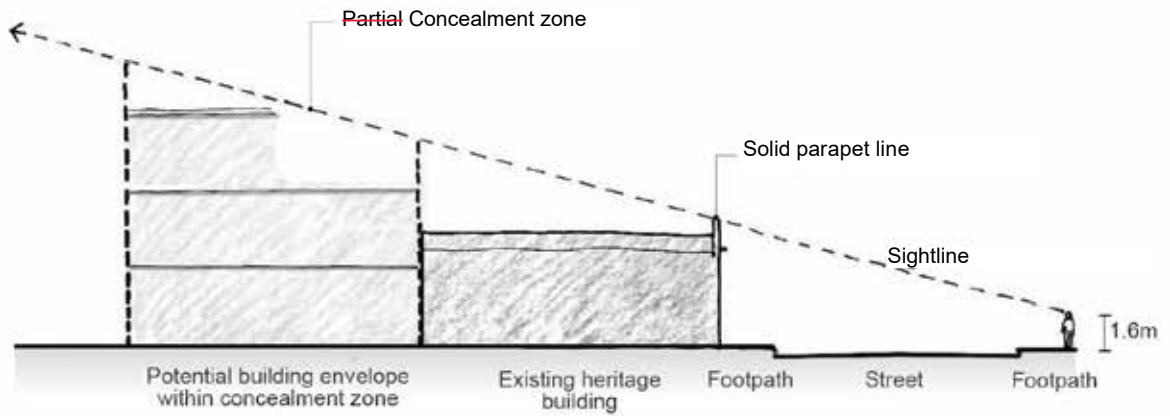


Figure 3.2.
Across the street sightline for single storey residential buildings with a front parapet.

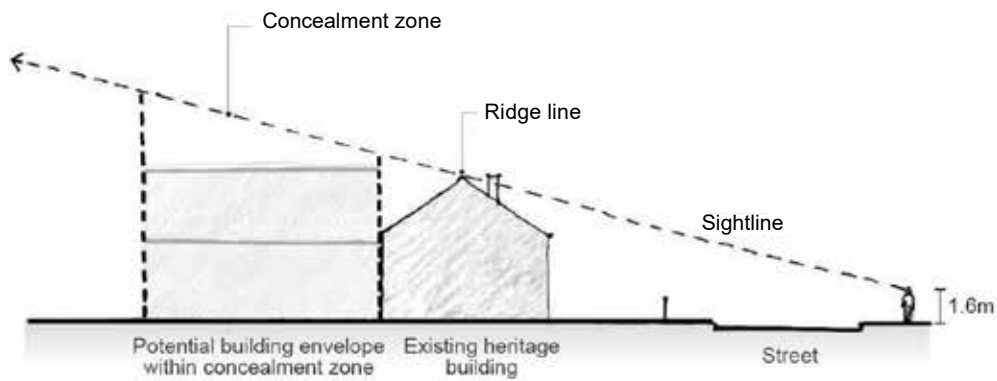


Figure 3.3.
Across the street sightline for houses with a ridgeline that is parallel to the street (known as a transverse ridge).

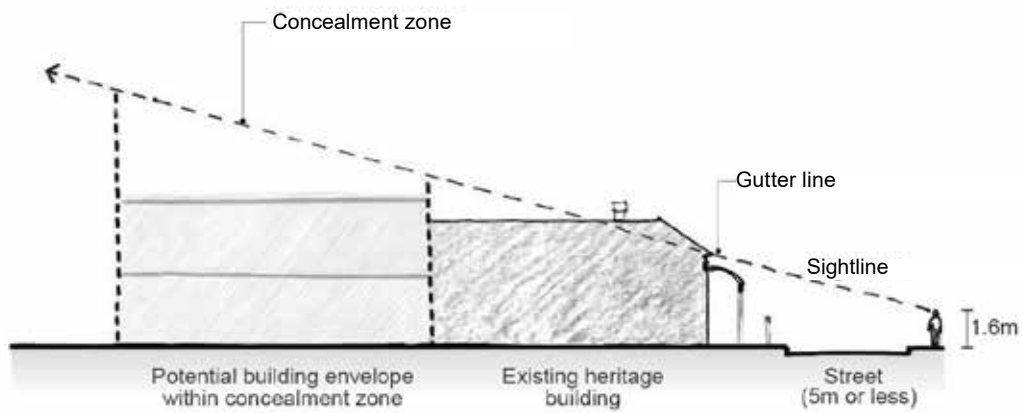


Figure 3.4.
Across the street sightline for residential buildings in narrow streets (5 metres or less in width)

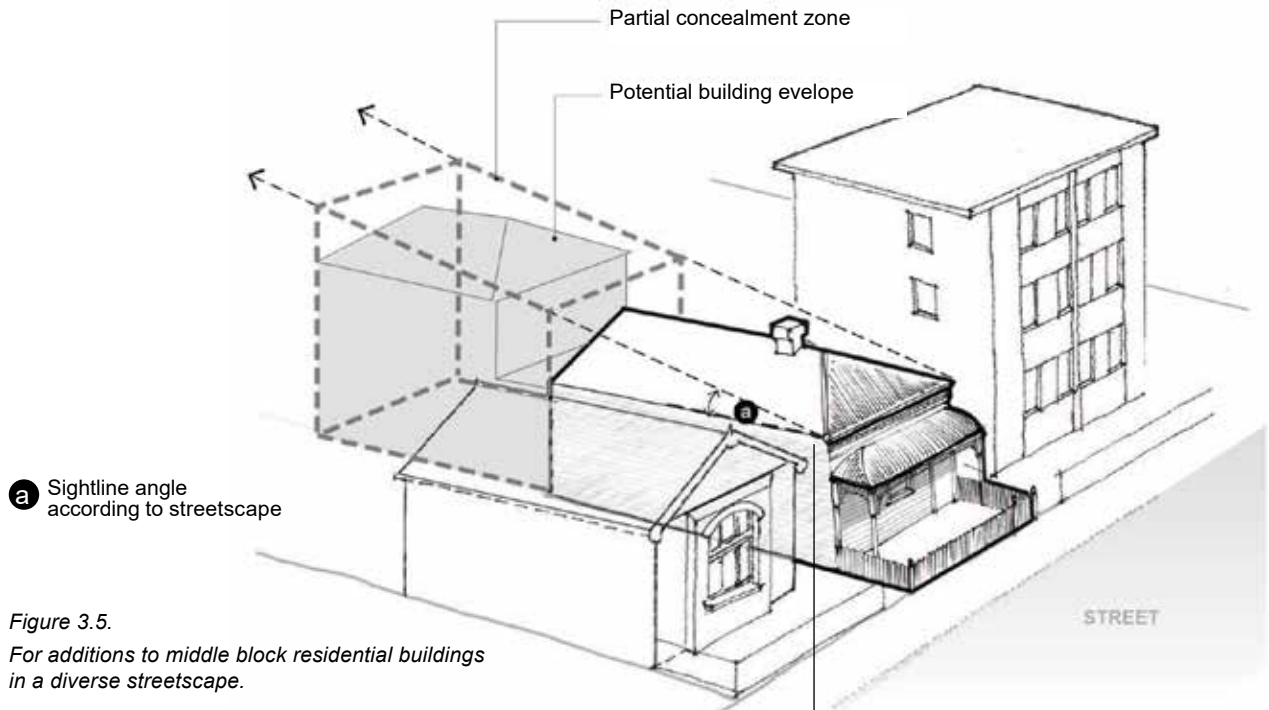


Figure 3.5.
For additions to middle block residential buildings
in a diverse streetscape.

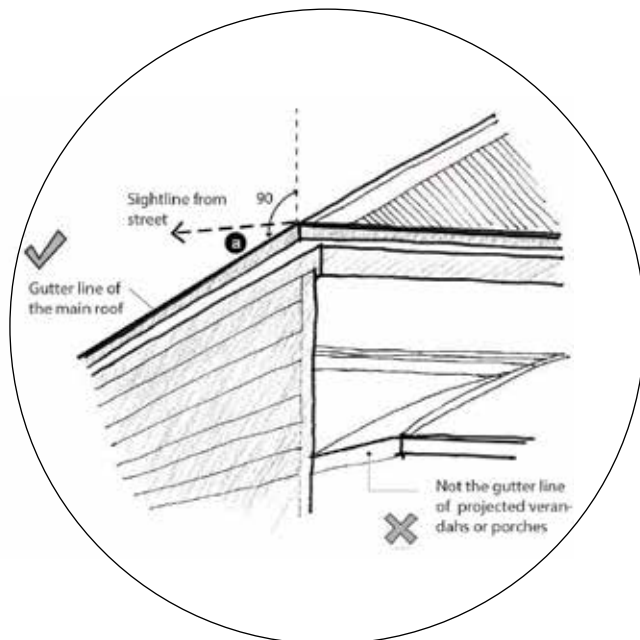


Figure 3.6.
Sightline is measured from the top of the gutter
line at the corner of the main roof, and not from
the projecting front bay, porches or verandahs.

For additions to corner buildings:

Additions on corner sites can be potentially viewed from multiple streets or public realms. Because of this, simply assessing it from primary street will not always result in an acceptable outcome and the following additional considerations apply: Additions on corner sites will be visible from the secondary street and will also be visible from the primary street regardless of the sightline that is applied, as shown in Figure 3.7a and Figure 3.7b. Therefore, because of this:

- The design of the addition must also consider and respond to the Contributory places in the secondary street.
- Figure 3.8 and Figure 3.9 illustrate specific design approaches to ensure the addition does not adversely impact upon the host dwelling.
- Apply sightline of between 10 and 18 degrees depending on the consistency or diversity of the primary street frontage.
- Ensure the addition responds sympathetically to the host dwelling and does not visually overwhelm or detract from it, as shown in Figure 3.8, or Figure 3.9 for houses with complex roof forms.
- Where the side streets has a consistent or valued character, ensure the addition also responds to such streetscape including the form, massing, siting, materials of the Contributory places. Examples of corner sites where this applies are shown in the Figure 3.7a.
- In the examples as show in Figure 3.7b, the addition must also respond to the laneway which opens up views to the rear of the addition, and provides visual separation from the adjoining houses.

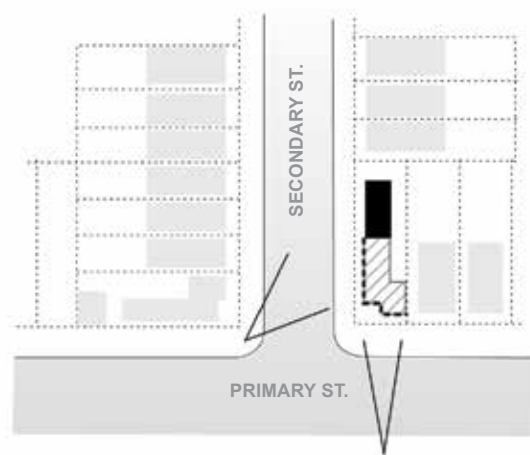


Figure 3.7a

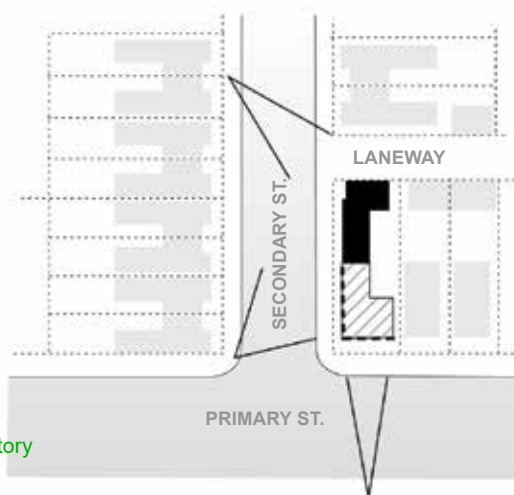


Figure 3.7b

- Existing heritage place
- Example of new addition
- Significant frontage
- Neighbouring Contributory buildings places
- Views

- a Sightline angle according to streetscape
- b Ground floor street wall no higher than the eaves of the existing house up to top of the eave
- c Setback same or greater than Level 2
- d Visual separation between the existing form and the addition
- e Length of addition no greater than Level 1 less than L1
- f Upper floor setback from ground floor Upper floor side setback according to streetscape

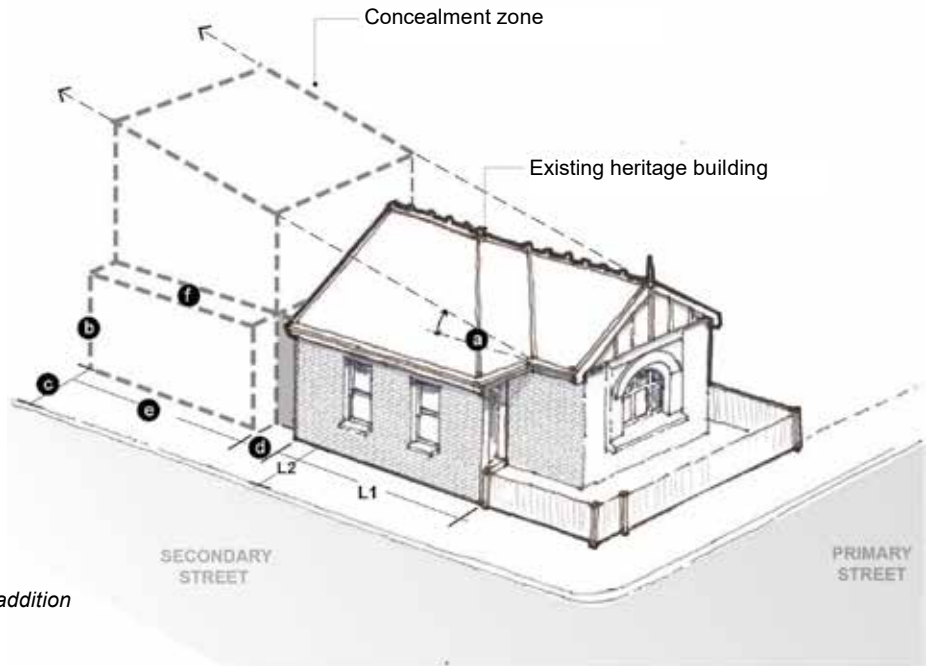
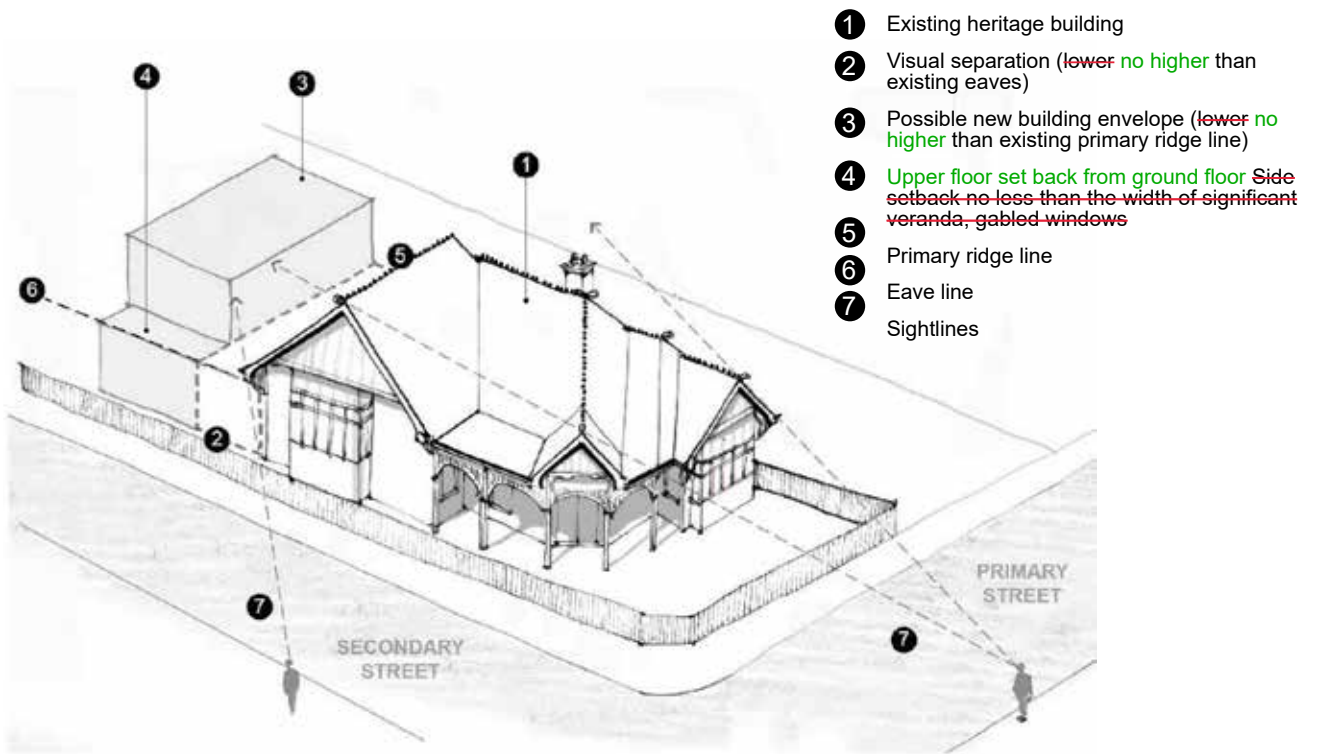


Figure 3.8.
Additional considerations for rear addition to a place on a corner site



- 1 Existing heritage building
- 2 Visual separation (lower no higher than existing eaves)
- 3 Possible new building envelope (lower no higher than existing primary ridge line)
- 4 Upper floor set back from ground floor Side setback no less than the width of significant veranda, gabled windows
- 5 Primary ridge line
- 6 Eave line
- 7 Sightlines

Figure 3.9.
Additional considerations for houses with complex roof forms. This applies to properties on corner sites, as shown, as well as in mid-block locations.

Commercial additions

More specific guidance may be provided through alternate planning controls (such as a Design and Development Overlay). Where this is the case, the following guidelines will not apply.



Photo 9. An example of a consistent commercial streetscape in Clarendon Street, South Melbourne



Photo 10. An example of a diverse commercial streetscape in Bay Street, Port Melbourne

For commercial buildings:

- Full concealment of additions to a Significant place or any building in a consistent streetscape (see Photo 9) as encouraged by the Heritage Policy may be achieved as shown in Figure 3.10 or 3.11.

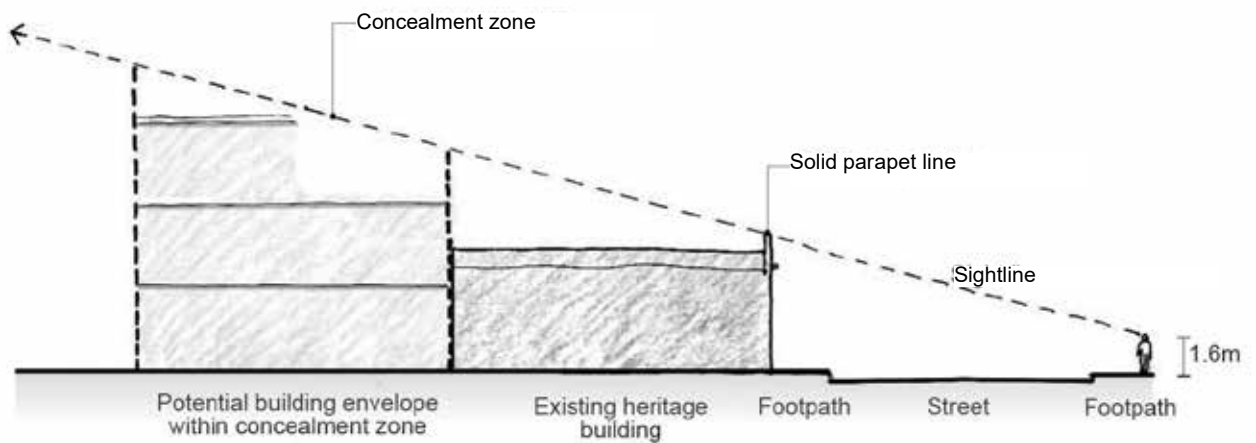


Figure 3.10. Sightline to achieve full concealment behind a Significant building or to any single-storey building in a consistent streetscape.

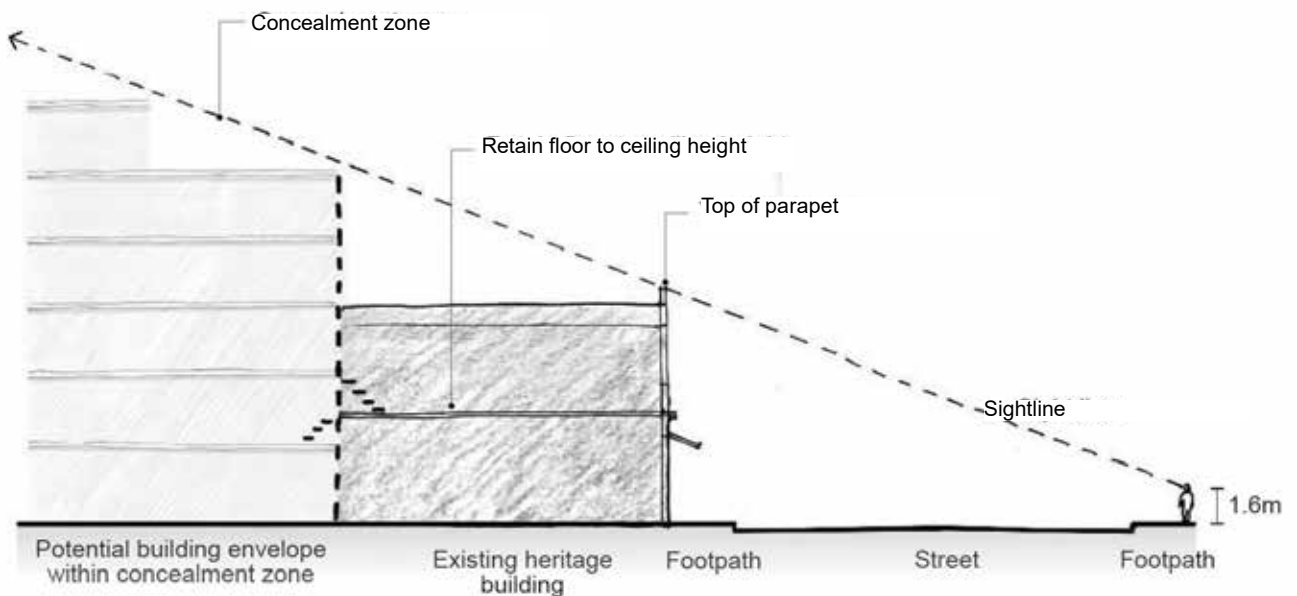


Figure 3.11. Sightline to achieve full concealment to a Significant building or any double-storey building within a consistent streetscape.

- Partial concealment of additions to a single storey Significant or Contributory heritage place in a diverse streetscape (see Photo 10) may be achieved as shown in Figure 3.12.
- Additions to single storey Non-contributory buildings in a diverse streetscape are shown in Figure 3.13.
- Additions to Non-contributory buildings of greater than one storey will be determined on a case by case basis having regard to the streetscape context.

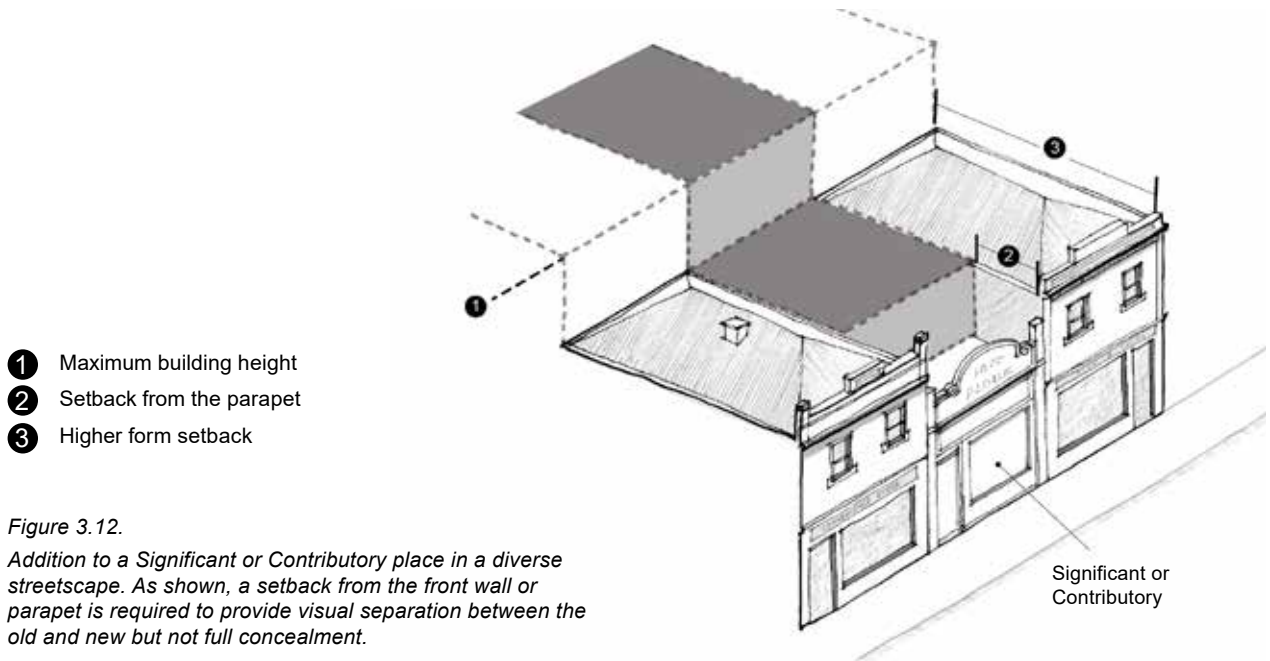


Figure 3.12.

Addition to a Significant or Contributory place in a diverse streetscape. As shown, a setback from the front wall or parapet is required to provide visual separation between the old and new but not full concealment.

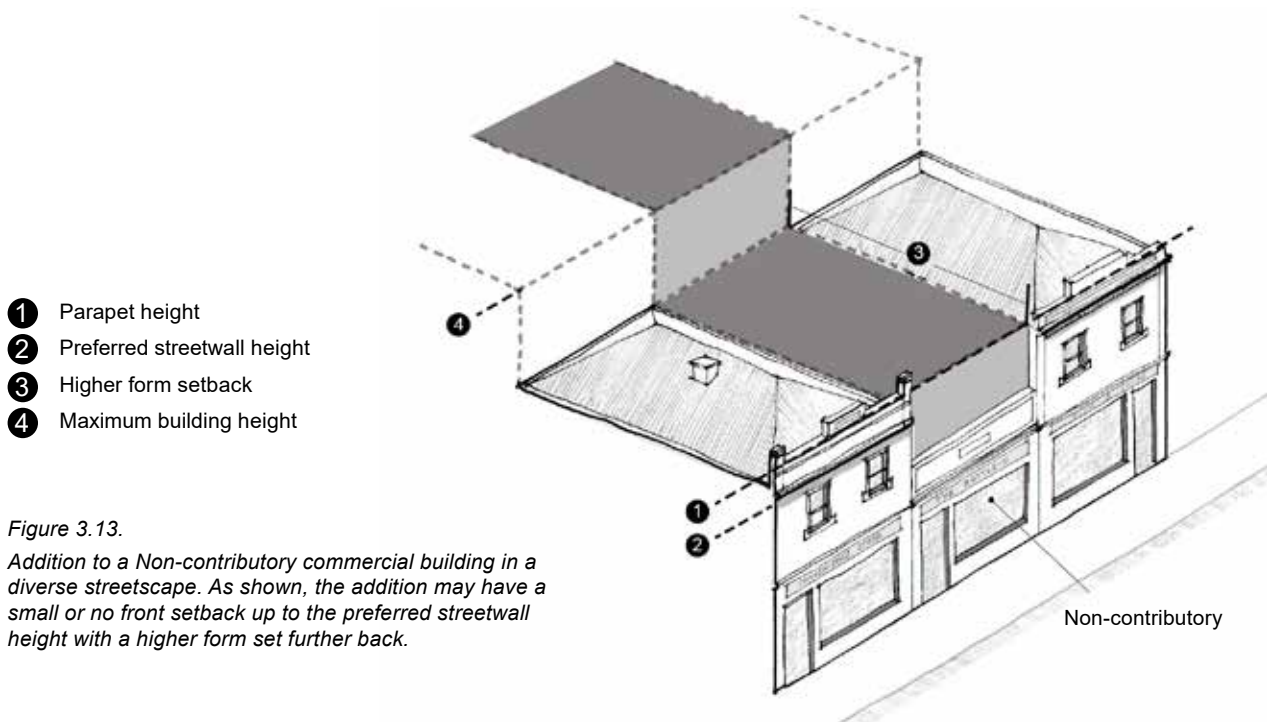


Figure 3.13.

Addition to a Non-contributory commercial building in a diverse streetscape. As shown, the addition may have a small or no front setback up to the preferred streetwall height with a higher form set further back.

Side setbacks

For residential buildings, additions higher than one storey should have the same as or greater side setbacks than those of the original building.

A single storey addition may have a lesser side setback than the original building if:

- It is sited behind the original building at ground floor, or
- If located at the side of the original building, it is no higher than the eaves height and is setback from the façade to minimise visibility from the street. ~~The additional considerations are as~~ shown in Figure 3.14.

For current or former industrial and commercial buildings, the side setbacks should be the same or greater than the original building, unless there are specific guidelines recommending a different approach.

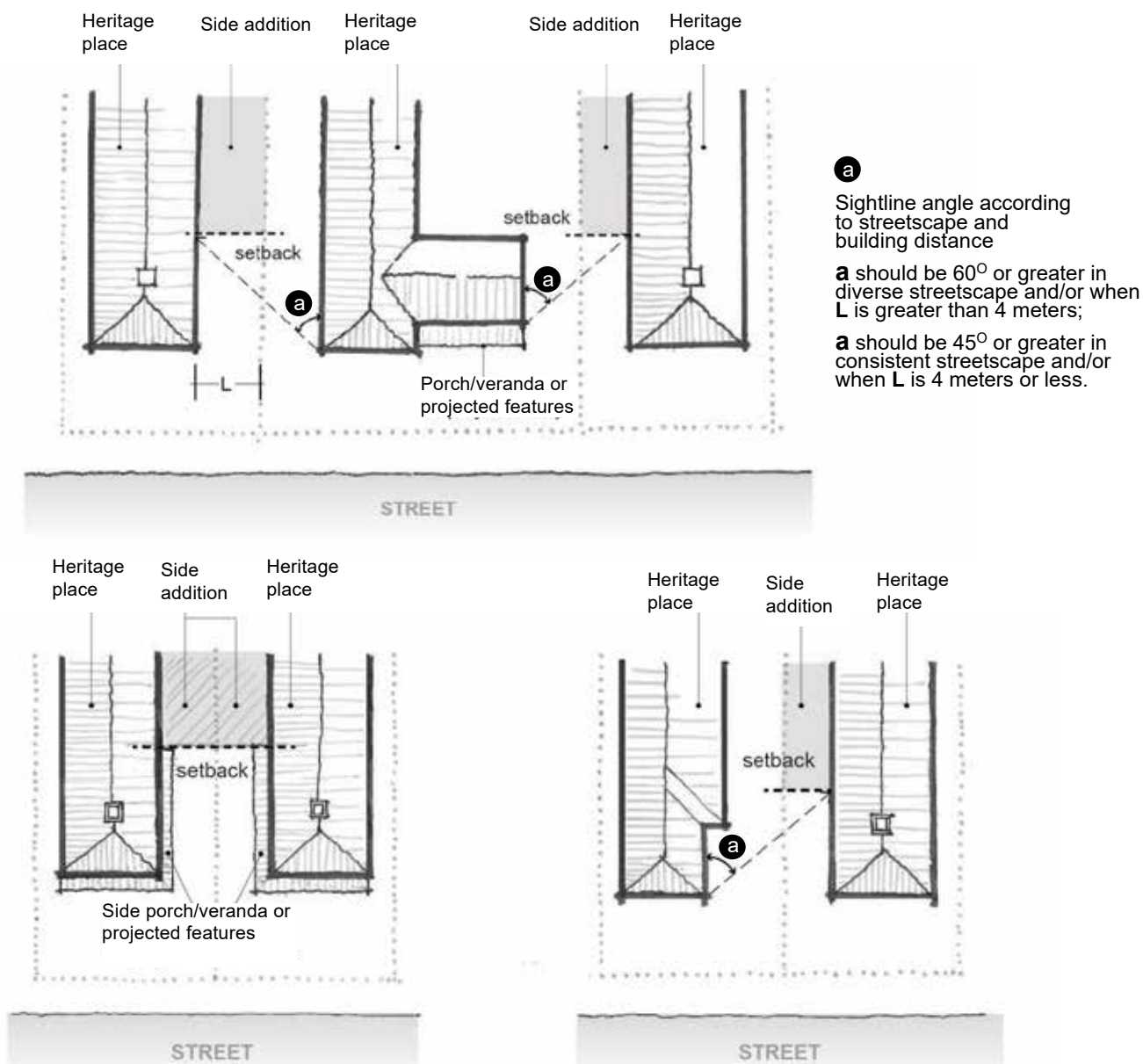


Figure 3.14

Additional considerations for single storey addition located at the side of the original building.

Form, materials and detailing

Residential additions

For residential buildings, where an addition will be visible from the public realm, a contextual design response is encouraged that:

- Has a roof with a form and material that is related to the heritage place (see Cover image).
- Uses colours, materials and finishes that complement the heritage place (see Photo 11).
- Integrates environmental sustainability features or buildings services.
- Avoids openings in walls facing the frontage of the property.



Photo 11. An extension featuring Hello wall by architect Fooi-Ling Khoo and graphic artist Rose Nolan. This design elevates a practical solution for privacy by creating "Hello" out of fine brickwork. It also showcases how contemporary design can contribute to the brick tradition of its 19th century heritage neighbours.

Where an addition is concealed using one of the techniques shown in Figures 3.2, 3.3, 3.4 or 3.5 there is more flexibility to create a different identity of its own (See Case Study 2).

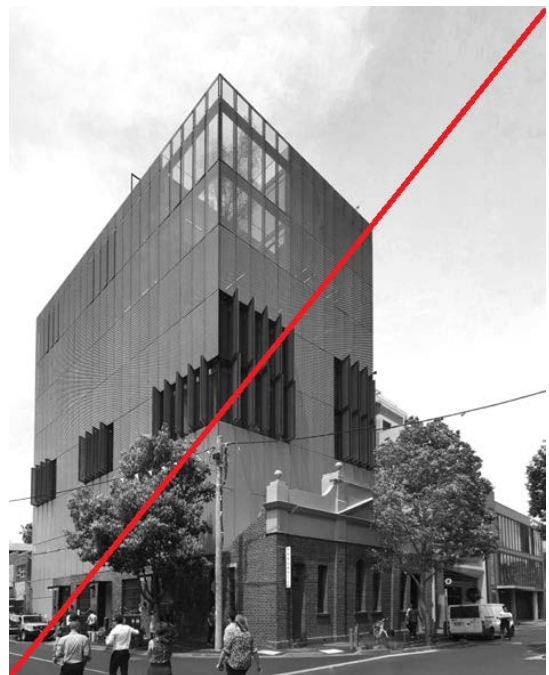
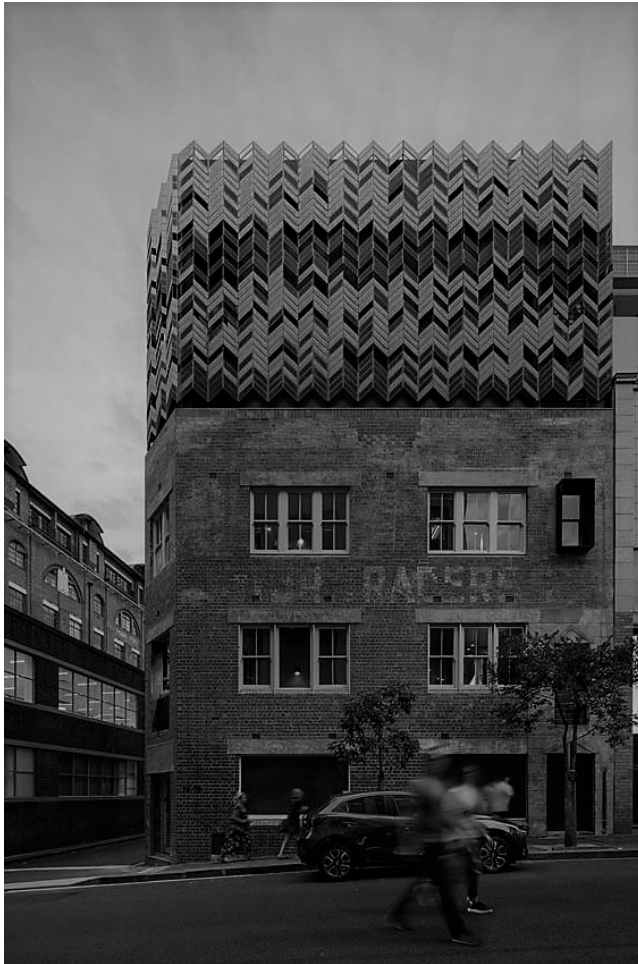


Photo 12. Lightweight material and simple details used for an office addition above a Federation era factory of local significance in Cremorne Street, Richmond. Photo 12. Designed by Breathe Architecture, the Paramount Hotel in Surry Hills, New South Wales is a good example of using lightweight materials to provide a contrast with the solidity of the original masonry building. The colour and chevron patterning of the copper screen provide a contemporary reference to the original brickwork and also provide shade and natural ventilation (image: Sharyn Cairns).

Commercial and retail additions

For commercial and retail buildings, where an addition will be visible from the public realm, a contextual design response is encouraged that:

- Has articulation, fenestration and massing that respects the proportions and grain of the heritage place and streetscape. For additions to Victorian and Edwardian buildings or within streetscapes with this character vertical proportions are encouraged.
- Uses colours, materials and finishes that complement the heritage place. Specifically, the use of visually lightweight materials that provide a contrast with the solid masonry façades of heritage places is encouraged (see Photo 12).
- Is simply detailed to avoid competing with the often more elaborate detailing of the heritage building.
- Avoids the use of reflective materials or glazing.

Where an addition is concealed using one of the techniques shown in Figures 3.10 or 3.11 there is more flexibility in design.

Case Study 2 - Contemporary residential addition



Photo 14. Front view of 105 Richardson Street, Albert Park.

The contemporary addition to this house is located within the 10 degree sightline and therefore is not visible when standing directly in front but is visible from the side laneway.



Photo 15. Corner view (right) and close up (left) of 105 Richardson Street.

Although the contemporary addition does not have a pitched roof form, the design, sitting and curved form ensures that it is a recessive element that reads as separate from the original dwelling and does not overwhelm it. Consistent with the guidelines for corner sites, the addition incorporates a recessed visual break between the original house and the addition, a ground floor wall set on the boundary and below the eaves height of the original wall, setbacks from the side boundary for the upper level, and uses contemporary colours and materials that complement the face brick and slate tiles of the original.



Guideline 4: New buildings

This section provides guidelines for the construction of new buildings within heritage precincts or on a site containing a heritage place.

Application

These guidelines apply to all properties.

Guidelines basis

The heritage places and precincts in Port Phillip illustrate the historic development of the city from the mid-nineteenth century onwards. Some heritage precincts, such as those in Albert Park, Middle Park, Port Melbourne, South Melbourne and parts of Elwood have a more consistent heritage character, while others particularly those in St Kilda and parts of Elwood have a more diverse character, which illustrates successive waves of development.

This has created streetscapes that are significant for the high degree of intactness and consistency in terms of style, form, scale and sitting such as HO442 Albert Park Residential, as well as those that are highly diverse streetscapes such as HO5 St Kilda Hill.

The same is true of individual heritage places with some comprised of buildings from only one period, while others show layers of historic development.

New buildings within an historical context should complement the significant heritage character and leave a valuable legacy for the future. They can successfully provide for modern demands ~~within an historic context~~ by respecting and interpreting heritage character without overwhelming it.

General guidelines

In consistent streetscapes, new buildings should closely reflect the following characteristics of Significant and Contributory places:

- Height, form and massing
- Setbacks
- Sitting and orientation
- Fenestration and openings
- Details, colours, materials and finishes
- Fence height and form

For commercial and retail buildings, the form, proportions and details of nearby original or early shopfronts and verandahs or awnings should also be considered.

If the streetscape is more diverse then there is more flexibility for an interpretive design that responds to characteristics such as overall massing, proportions, materiality and form.

Height, form and massing

Residential infill

As shown in Figure 4.1, in a **consistent streetscape** new buildings should:

- Not exceed the maximum height of buildings on adjoining lots but may incorporate a higher section at the rear, if it is recessive and does not dominate the heritage place.
- Use a contextual approach that respects the following characteristics, as appropriate:
 - > Building proportions
 - > Wall height/gutter line
 - > Roof form and height
 - > Verandah form and height
 - > **Setbacks and siting**

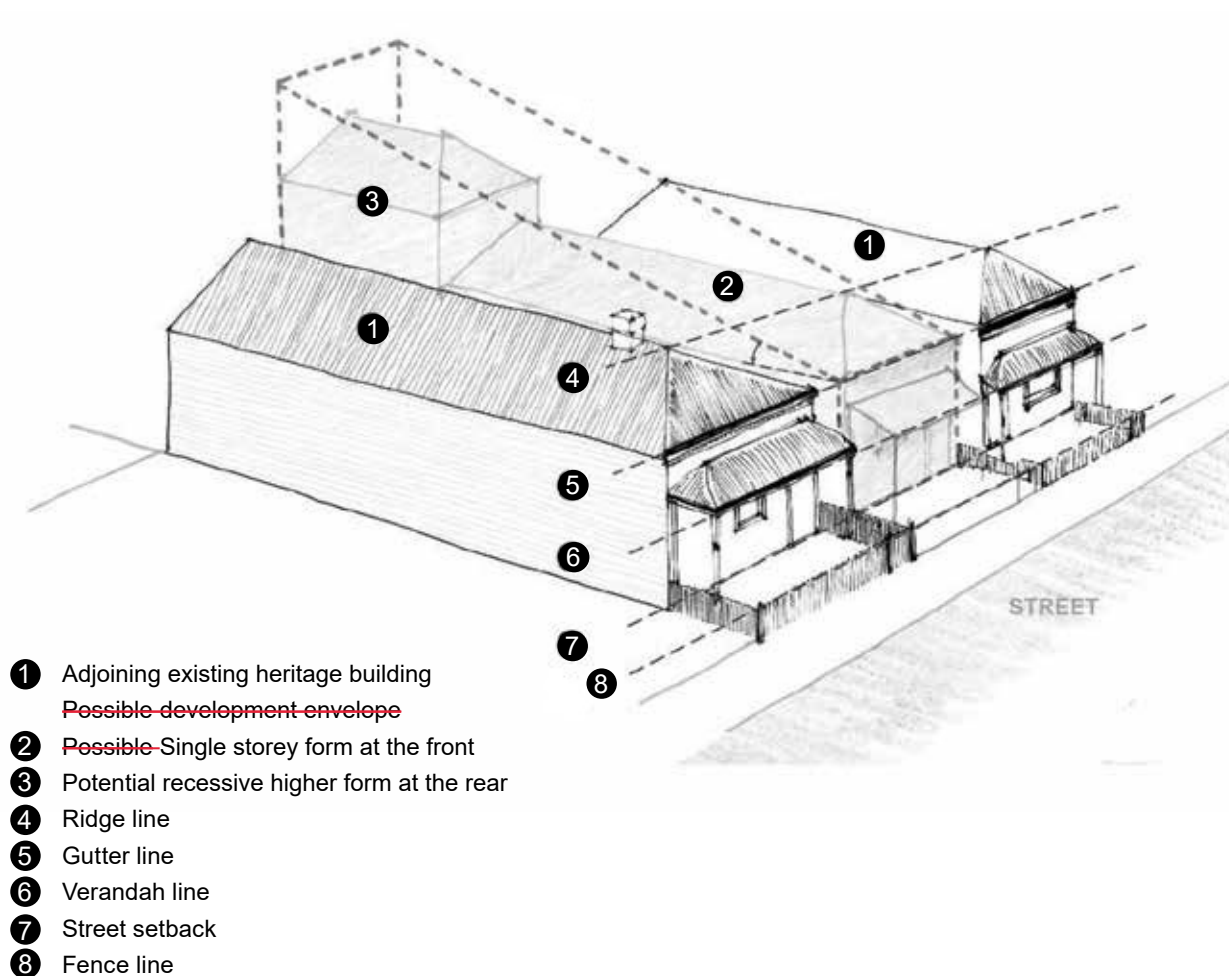


Figure 4.1.

Key considerations for residential infill development in a consistent streetscape.

In a **diverse streetscape** new buildings should use an interpretive approach. This approach will vary according to the degree of diversity in the streetscape. Two scenarios are shown here as examples:

- In Scenario 1 (Figure 4.2) the streetscape is consistent (single storey detached houses with hipped roofs) except for the one 'atypical' building. In this case, the new building could interpret the form, scale and materiality of the 'typical' buildings.
- In Scenario 2 (Figure 4.3) there is more diversity. In this case, there is scope for a freer interpretative design that may reference the contributory features of neighbouring places but does not closely follow them.
- In both scenarios, the new building should provide a sympathetic transition between the adjoining buildings (also refer to Page 12 *Consistency and diversity* in Responding to Context for further guidance).

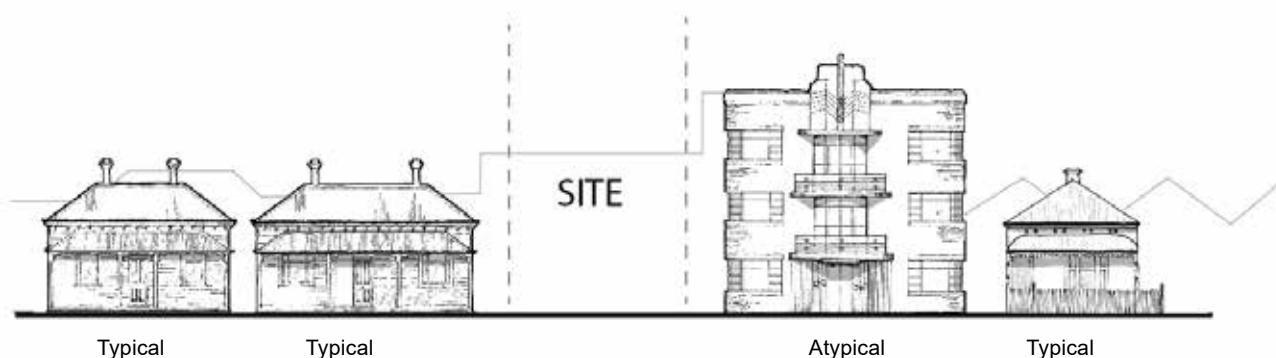


Figure 4.2.

Scenario 1: A site adjacent to an 'atypical' heritage building within an otherwise consistent streetscape



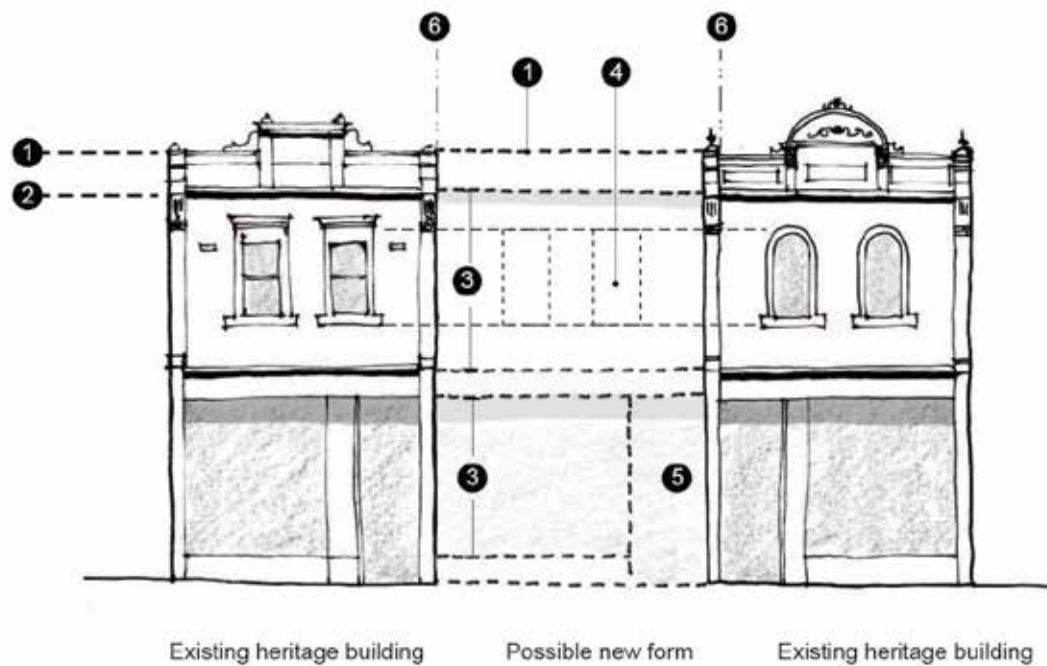
Figure 4.3.

Scenario 2: A site within a streetscape with a variety of building styles, forms, and scale

Commercial and retail infill

As shown in Figure 4.4, in a consistent streetscape new buildings should:

- Not exceed the maximum height of buildings on adjoining lots but may incorporate a higher section at the rear, if it is recessive and does not dominate the heritage place.
- Respect the following characteristics, as appropriate:
 - > Building proportions
 - > Street wall height and parapet height
 - > Roof concealed behind parapet
 - > Entry proportions and framing
 - > **Setbacks and siting**

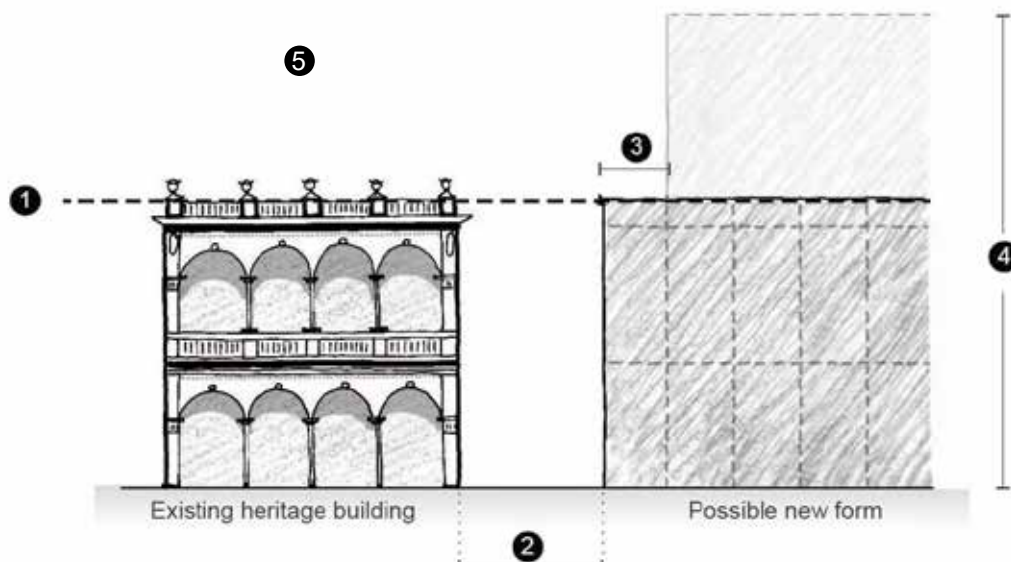


- ① Parapet height
- ② Street wall height
- ③ First and second floor proportions
- ④ Window size, spacing and proportions
- ⑤ Entry proportions and framing
- ⑥ No side setback

Figure 4.4.
Commercial infill in a consistent streetscape

Development on strategic development sites

New buildings on strategic development sites where higher density development is encouraged should respect the scale and setting of the heritage place. Key considerations are shown in Figure 4.5.



- ① Podium height to respond to parapet height
- ② Ensure adequate separation
- ③ Upper floor setback
- ④ Maximum building height
- ⑤ Not extend into the air space above

Figure 4.5.

Key considerations for new development on a site with an existing heritage building

Setbacks

In a consistent streetscape the front and side setbacks should match the setbacks of adjoining buildings.

Where there are heritage places on adjacent sites with differing front setbacks, an average setback may be used as shown in Figure 4.6 except for as shown in Figure 4.7 and 4.8.

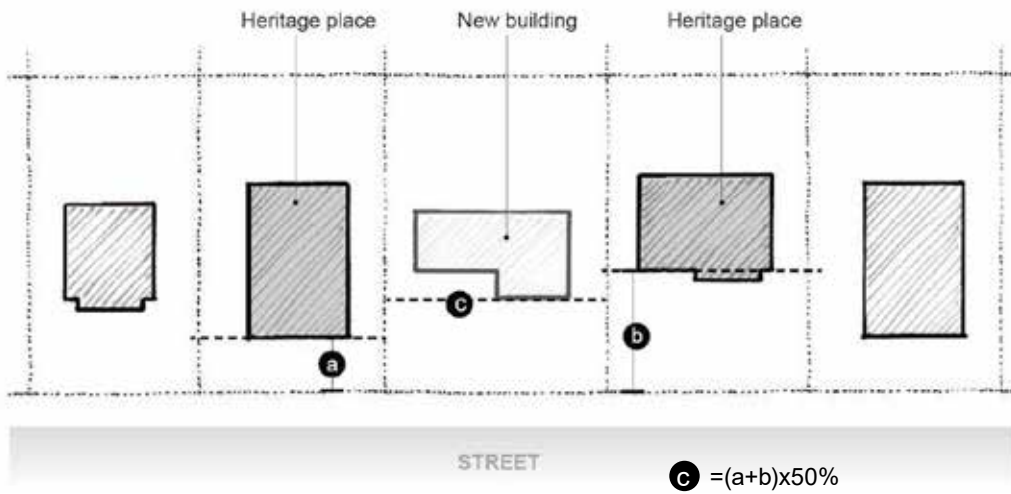


Figure 4.6 Average setback distance between heritage places.

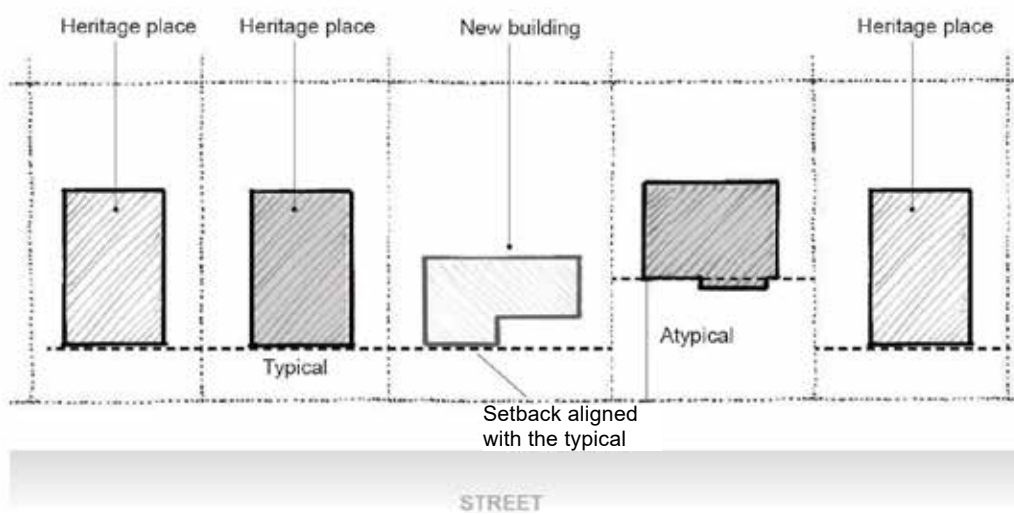


Figure 4.7 Use typical setback if the neighbouring place is different from the typical.

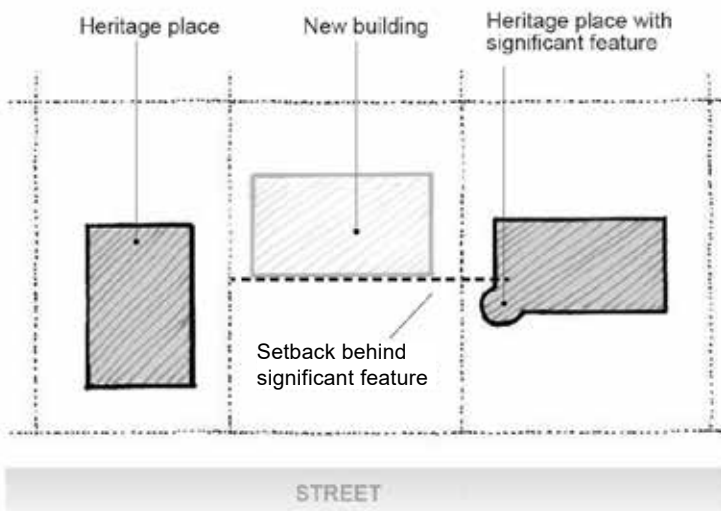


Figure 4.8 Increased setback to maintain view to significant heritage feature such as a corner window or tower.

In commercial areas new buildings should:

- Be constructed to the front boundary and to the side boundaries in line with adjoining buildings.
- Incorporate an angled splay on street corners where these are present on adjacent or opposite corners, as shown in Figure 4.9.

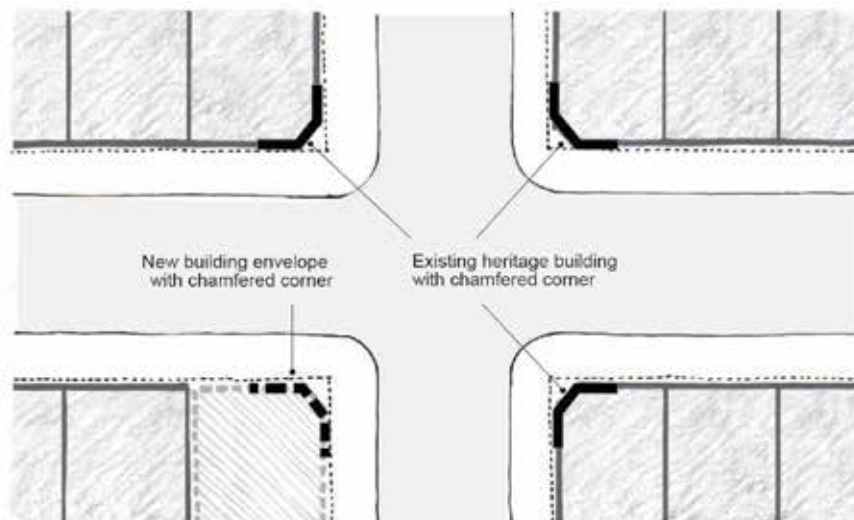


Figure 4.9.

Incorporation of corner splay to a commercial building where this is typical of the area.

Sitting and orientation

In a consistent streetscape, new buildings should have the same sitting and orientation as other buildings that contribute to the significance of the precinct.

For example, if houses are detached with consistent side and front setbacks then this should be adopted.

Fenestration and openings

New windows should respect and respond to the location, size and proportions of traditional windows on buildings that contribute to the significance of the heritage place.

The design should consider the relationship of solid space (walls, solid) to void space (windows, void). In particular:

- A new building should have about the same (i.e. neither more nor less) void space, such as glazing, than surrounding heritage places.
- Avoid large areas of glass, except for ground floor façades of retail or commercial buildings.

Details, colours, materials and finishes

External details, colours, materials and finishes should complement and not simply copy the finishes and detailing found on heritage places.

Avoid:

- Mock or imitation period detailing.
- Bright, reflective or mirrored materials or finishes, or
- Use of many and/or contrasting colours or finishes.

Case Study 3 – Contemporary residential infill

This building interprets the traditional Edwardian brick houses in a contemporary manner. As a new build in the middle of an established heritage setting, the design pays tribute to the brick and gable traditions in the neighbourhood. The success of this design is due to the fine craftsmanship of the stretching brickwork and sculpted façade with deep reveals to the window and entrance providing a contemporary reference to the traditional porches and verandahs of the surrounding houses.

From a distance, the front façade blends into streetscape but the contemporary twist in the brick bonding and facade sculpting immediately reveals itself when viewed close up. This is a good example that demonstrates how contemporary design does not have to look exactly like traditional architecture to be sympathetic to its character.



Photo 16. Ground Floor Facade of Bayside House, Adam Kane Architect

Guideline 5: Car parking

This section provides guidelines for the construction of crossovers, driveways and parking areas and structures including carports and garages.

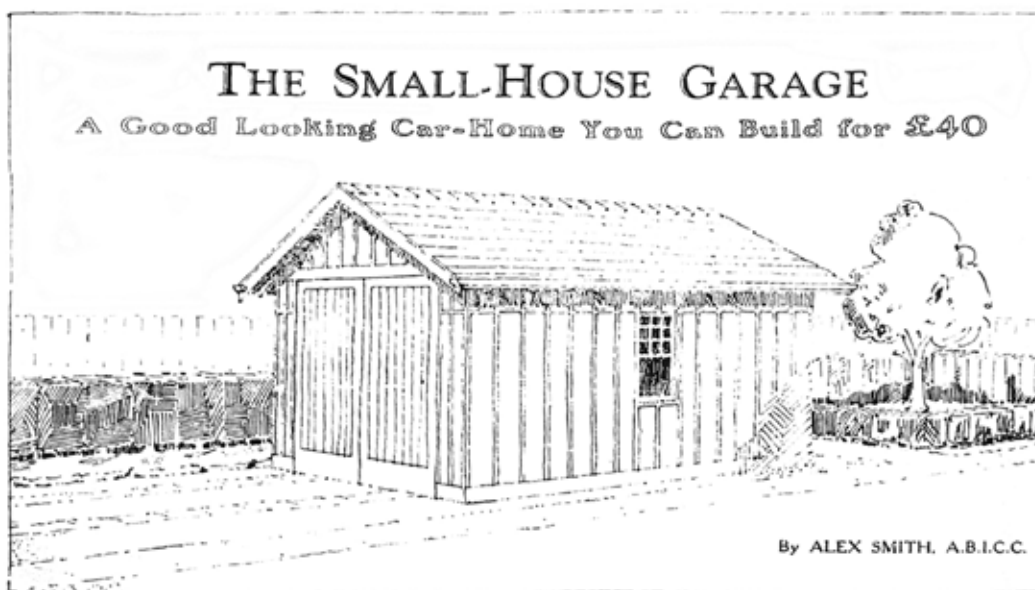
Application

These guidelines apply to all properties.

Guidelines basis

In the nineteenth century, stables to accommodate horses were usually only associated with mansions and larger villas. They were always located at the rear of the property and accessed via laneways.

Dedicated car parking areas on residential properties began to appear from the 1920s onwards and by the 1930s had become a common feature within streetscapes.



This design for a simple 'small-house garage' was featured in the September 1927 issue of Australian Home Beautiful. It was commissioned by the Editor in response to 'many requests' for a design that could be 'carried out by an amateur of moderate skill' and 'yet be different from the common galvanised iron or weatherboard shed'.

Because of this, features such as crossovers, driveways, parking areas and structures are not found in historic streetscapes dating from prior to the 1920s and introduction of these will result in adverse impacts by reducing the integrity of historic streetscapes and disrupting the traditional visual relationship between houses and the street.

Crossovers and driveways

Avoid widening existing crossovers, particularly when this would require altering a fence and removing tree planting that contributes to significance or setting of the heritage place.

An existing crossover may be relocated if:

- The width of the crossover is not increased.
- It does not require the alteration of a fence or impact upon a tree that contributes to the significance or setting of the heritage place.



Photo 17. ~~The~~ An original driveway and crossover, Los Angeles Court, Ripponlea

While the Heritage Policy discourages new crossovers and driveways at the frontage of properties, they may be considered in streets comprising predominantly interwar houses where crossovers are part of the historic character of the heritage place and the following conditions can be met:

- There is no more than one crossover per property.
- The installation of the crossover and driveway does not require the alteration or removal of a feature that contributes to the significance of the heritage place such as a fence or tree.
- Cars can be parked at the side of the house or within the rear yard, and not within the front setback area, as shown in Figure 5.1.

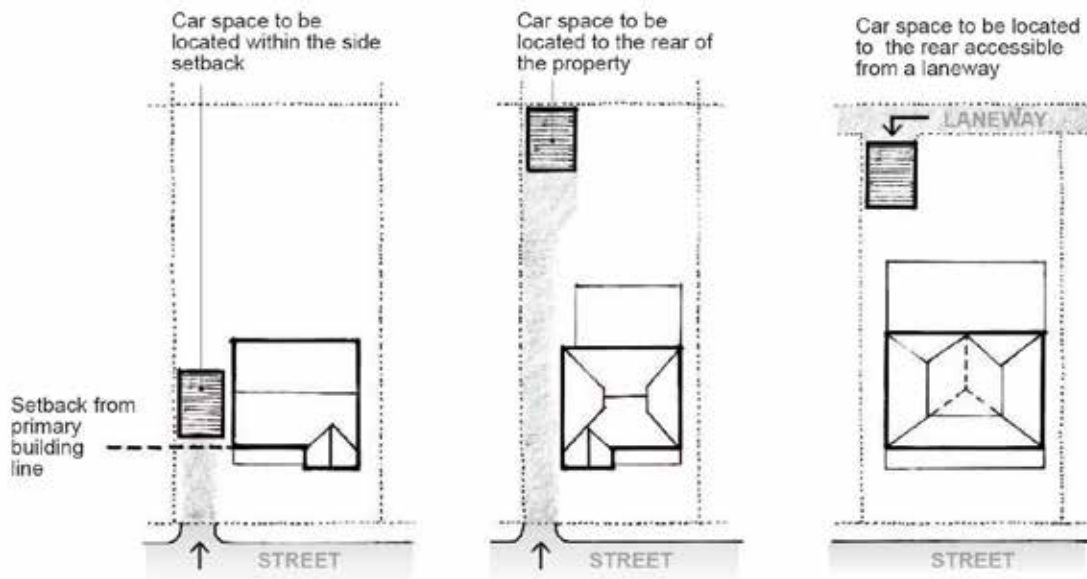


Figure 5.1
Potential locations for garages or carports.

Carports and garages

As shown on Figure 5.1 new carports or garages for Contributory or Non-contributory residential heritage places should be freestanding and may be constructed:

- Within rear yards, or
- Within side setback areas provided there is a minimum setback of 1 metre from the front wall of the dwelling.

Carports or garages should be simply designed and avoid copying the form or detailing of the house.

'Roller style' doors should be avoided and where possible the garage door should be integrated into the front wall of the garage.

Roller style garage doors may be permitted on rear laneways if the roller drum is enclosed and the adjoining lots facing the lane do not contain houses graded Significant or Contributory.

The background features a large, abstract geometric composition. On the right side, there are several overlapping triangles in various shades of teal and blue, pointing towards the top right. The left side of the page is a solid, light grey color. The text 'Guideline 6: Fencing' is positioned on the left, overlapping the grey area.

Guideline 6: Fencing

This section provides guidelines for the construction of fences.

Application

These guidelines apply to all properties.

Guidelines basis

Front fences and, to a lesser extent, side fences are an integral part of historic streetscapes as they form part of the visual relationship between the private dwelling and the public street. Fences were designed to complement and enhance the setting of houses and fence styles evolved and changed in line with architectural fashions over the years.

Historic fences where they survive are significant both for their contribution to the setting of heritage places and streetscape and should be preserved. New fences should be sympathetic with historic streetscape character.



Photo 18. 'La Mascotte' is a fine example of an interwar house with an original front fence featuring a splayed corner entry framed by an archway.

Poorly designed fences, particularly high solid fences, or fences in inappropriate styles can have a significant impact upon the setting of buildings and streetscapes.

General

The Heritage Policy encourages the conservation of original or early front fences and gates and for new fences to be appropriate to the style of the house.

These guidelines may be varied based on documentary or physical evidence.

Front fence styles

For Significant and Contributory places front fences should be appropriate to the style of the house. As a rule:

- Simple dwellings had simple fences. For example, an ornate cast iron fence is inappropriate for a Victorian timber cottage.
- Timber dwellings typically have timber framed fences with (depending on the style) vertical timber picket or sheet metal infill (for Victorian and Federation/Edwardian dwellings), or vertical timber picket or cyclone or woven wire (Federation/Edwardian and interwar dwellings).
- Masonry dwellings have either timber framed fences or masonry and/or metal styles.

If an original fence or part of one survives or there is an existing reproduction fence in an appropriate style, then that should be used as the model for the new fence.

If no original fences survive, then a fence style appropriate to the building should be chosen and applied consistently if the house forms part of a row or group of related houses (see Photo 19).



Photo 19. The owners of this terrace row in Middle Park cooperated to reinstate a traditional Victorian style front fence.

If the original fence no longer exists on the property, it will probably have been constructed of timber. The more permanent types tend to persist. Therefore, unless there is evidence to the contrary, a new timber fence will usually be most appropriate.

An alternative to a historically correct reproduction front fence is a simplified contemporary fence. For example, if situated in a predominantly Victorian or Edwardian precinct, the fence could be a simple plain timber picket or metal palisade, but stripped of any 'period' detailing. In an interwar precinct a low brick or rendered fence may be appropriate. This type of fence is also appropriate for a Non-contributory property.

Ideally fences to matching groups, terraces and attached pairs of common design should be identical. Where one or more of a group or pair has an original fence or, if not, an appropriate new fence, this fence will be taken as the pattern for all new fences in the group or pair. On terraces and pairs, the fence and side boundary posts should be shared and located centrally on the joint boundary.

Front fence heights and locations

The height of new fences should be appropriate for the style of building. As a guide:

- For Victorian and Federation dwellings of single storey, 1200mm to 1350mm.
- For Victorian dwellings where the verandah is on the street boundary, balustrade of 850 – 1000 mm from the verandah deck.
- For Victorian and Federation dwellings of two storeys, 1200mm to 1650mm maximum for posts.
- For Victorian or Federation mansions with extended frontages, higher fences (- 1800mm) may be appropriate.
- For Interwar dwellings, including apartment buildings, 600mm to 1000mm.
- For Mid 20th Century dwellings, zero to 900mm.

If an original fence or part of one survives or there is an existing reproduction fence in an appropriate style, then that should be used as the model for the new fence.

~~If no original fences survive, then a fence style appropriate to the building should be chosen and applied consistently if the house forms part of a row or group of related houses (see Photo 18).~~

~~If the original fence no longer exists on the property, it will probably have been constructed of timber. The more permanent types tend to persist. Therefore, unless there is evidence to the contrary, a new timber fence will usually be most appropriate.~~

~~An alternative to a historically correct reproduction front fence is a simplified contemporary fence. For example, if situated in a predominantly Victorian or Edwardian precinct, the fence could be a simple plain timber picket or metal palisade, but stripped of any 'period' detailing. In an interwar precinct a low brick or rendered fence may be appropriate. This type of fence is also appropriate for a Non-contributory property.~~

~~Ideally fences to matching groups, terraces and attached pairs of common design should be identical. Where one or more of a group or pair has an original fence or, if not, an appropriate new fence, this fence will be taken as the pattern for all new fences in the group or pair. On terraces and pairs, the fence and side boundary posts should be shared and located centrally on the joint boundary.~~

For Non-contributory properties choose a fence height that is appropriate for the predominant style of Significant or Contributory places within the streetscape.

Front fences should be located on the street boundaries.

More information

For more information, see the following *Heritage Practice Notes* on our website:

1. Fencing in Heritage Overlay areas
 - 1A. Victorian timber front fences
 - 1B. Victorian metal front fences
 - 1C. Federation & Edwardian front fences

Guideline 7: Signage

This section provides guidelines for signage.

Application

These guidelines apply to all properties.

Guidelines basis

Examples of early or original signage are significant for the ability to illustrate the historic development of commercial and retail centres and provide also provide evidence of historically appropriate designs and location of signs.

It is important to strike a balance between the needs of businesses to have adequate exposure, and the need to ensure that new signage does not become a dominant element that detracts from the historic character of commercial and retail heritage precincts in Port Phillip.



Photo 20. The faded painted signs on this building in South Melbourne provide evidence of its historic use as a corner shop.

Original signage

Original signage should be conserved in accordance with the Conservation guidelines.

This may include the restoration or reconstruction of missing or incomplete historic signage based on physical or documentary evidence.

Many original or early signs were painted and have deteriorated over time. In some cases, the action may be to stabilize the sign and prevent further deterioration rather than undertake full restoration.

New signs

~~Examples of early or original signage are significant for the ability to illustrate the historic development of commercial and retail centres and provide also provide evidence of historically appropriate designs and location of signs.~~

~~It is important to strike a balance between the needs of businesses to have adequate exposure, and the need to ensure that new signage does not become a dominant element that detracts from the historic character of commercial and retail heritage precincts in Port Phillip.~~

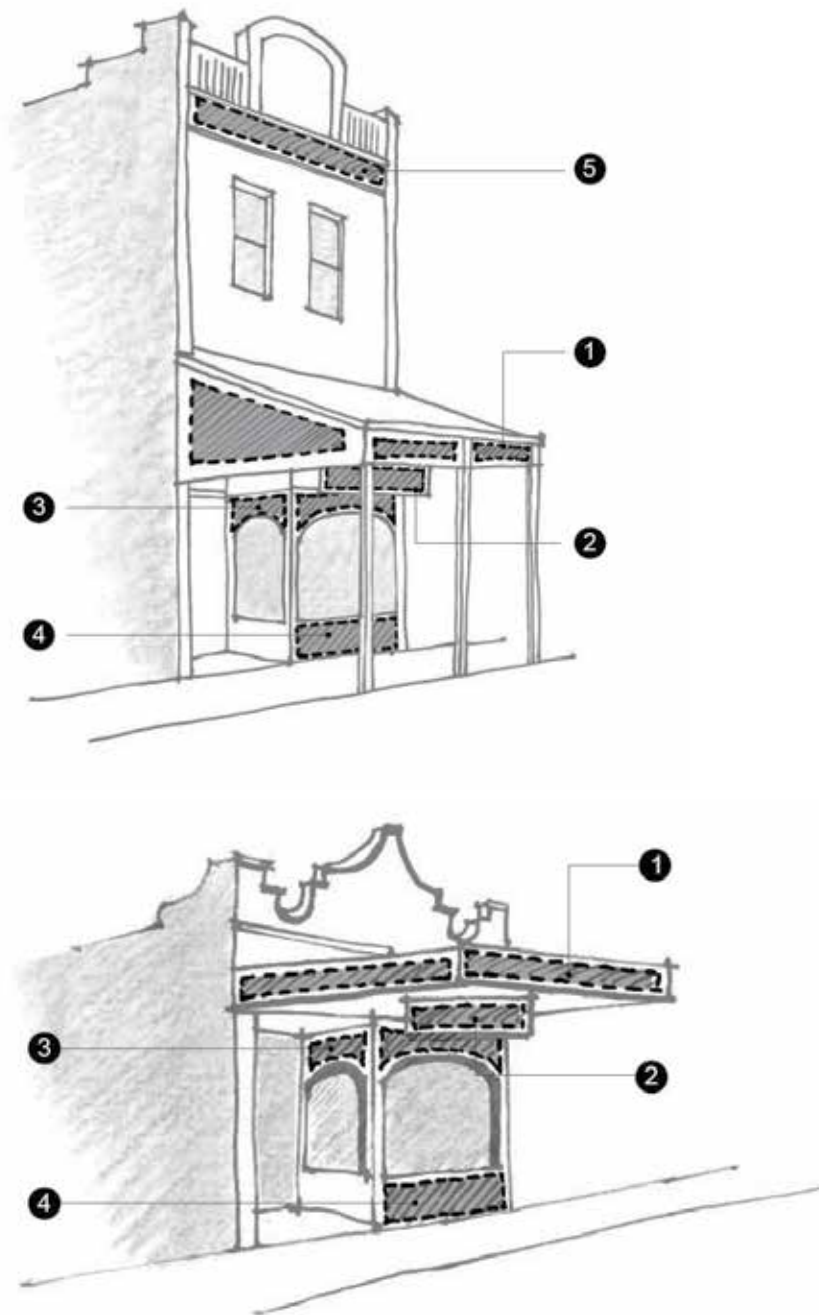
Figure 6.1 shows the preferred locations for signage on commercial or retail heritage buildings provided the following conditions are met:

- There should be no more than one above verandah sign per building.
- Above verandah signage should not be not floodlit or internally illuminated.
- Floodlit below verandah signage may be permitted only when:
 - > The light source is located so that light is directed onto the sign as much as possible to minimise glare.
 - > Light spillage from the light source is controlled by the use of baffles, shields or reflectors.
- Internally illuminated below verandah signage may be permitted only when the sign is not animated and does not include flashing or running lights.
- Colours, lettering, style and layout of signage respect the character and style of the building.
- External lighting, electrical cables and conduits and any other equipment associated with the signage is concealed from view, unobtrusively located or otherwise treated to minimise visual impacts.

Avoid the following types of signs:


- Above verandah signs, except as shown in Figure 6.1.
- **Signs that conceal or obscure architectural features and detailing, windows and door openings, or project above verandah or awning fascias.**
- Animated, Electronic or Floodlit signs.
- Bunting sign.
- High-wall sign.
- Panel sign.
- Pole sign.
- Promotion or Major promotion signs.
- Reflective sign.
- Sky sign.
- Advertising signs attached to street furniture including seating, shelters, phone booths and the like.

~~Avoid signs that conceal or obscure architectural features and detailing, windows and door openings, or project above verandah or awning fascias.~~



- ① Fascia mounted: retaining space surrounding sign
- ② Below awning: attached to a lightweight frame
- ③ On windows: as a decorative frame feature
- ④ Below windows: flush to facade, as a decorative panel feature
- ⑤ Above verandah: below pediment and/or cornice, and retaining within panel area

Figure 6.1
Preferred sign locations on commercial or retail heritage buildings

A large teal geometric graphic consisting of overlapping triangles and polygons, positioned on the right side of the page. The background is a light grey gradient.

Guideline 8: Significant Trees & Gardens

This section provides guidelines for the management and conservation of significant trees and garden layouts on both private and public land.

Application

These guidelines apply to Significant and Contributory places where tree controls apply or that have remnants of early garden layouts.

Guidelines basis

Mature trees make an important contribution to the historic significance and aesthetic character and setting of heritage places. These include trees forming part of private gardens, as well as trees on public land lining streets and within parks and gardens.



Photo 21. The mature street trees lining Dandenong Road make an important contribution to the historical boulevard character.

As well as introduced trees, significant trees in Port Phillip also include remnant indigenous trees such as the Ngargee Tree in Albert Park (which has Aboriginal cultural significance) and eucalypts in Alma Park East.

The aim of these guidelines is to encourage the retention of these trees within their normally expected lifespan and to avoid development that could threaten their on-going viability. They also provide guidance for replacement when required.

While original garden plantings rarely survive on private properties, pathways and driveways, garden border tiles or edging, fencing, walls, ponds and other features sometimes survive as evidence of early garden layouts.

Working next to trees

Any new development in proximity to a significant tree (on the same or a nearby site) should be accompanied by an arborist's report that identifies:

- The recommended separation distance and any other measures to avoid detrimental impacts upon the health and viability of the tree.
- Any remedial pruning required.

Replacing trees

The Heritage Policy encourages 'Like for like' replacement, which means using a tree of the same species.

An alternative species of tree, or no replacement, may be considered when:

- Changes in the site conditions since the tree was first planted mean that the original species is no longer appropriate, or is no longer suitable (for example, due to size, form or proximity to buildings or services).
- The original species is inappropriate given the local climate (or climate change), soils, threat from pest or disease (for example, Elm leaf beetle), or for other reasons.
- The original species is identified as an environmental weed and cannot be appropriately managed when planted.
- Where trees form part of a row, avenue or hedge planting of consistent height, consider whether it would be appropriate to remove adjoining trees to ensure consistency as new trees mature.

Gardens

Conserve original features associated with original or early garden layouts such as pathways and driveways, garden border tiles or edging, fencing, walls and other features.

Encourage planting that is appropriate for the style and period of the house and garden.



Guideline 9: Sustainability and services

This section provides guidelines for the installation of equipment associated with sustainability and building services such as solar panels, water tanks, heating and cooling systems and hot water services.

Application

These guidelines apply to all properties.

Guidelines basis

Council supports the installation of equipment that will improve the environmental sustainability of a building. These guidelines show how this can be achieved without adversely impacting upon heritage significance.

Heritage buildings are capable of adaptation to include new and upgraded sustainable services through a sensitive and considered approach in the choice of **technologies, siting and design** of the sustainable system.

Before adding equipments to a heritage place, consider a set of comprehensive methods that can improve energy performance. For example, most weatherboard houses constructed prior to 1990 are likely to have uninsulated walls, ceilings and floors. Insulating these areas can reduce energy consumption and subsequently the size and running cost of the equipments needing to be installed.

The following guidelines have a particular focus on the roof mounted systems such as solar panels and solar hot water because they have the most potential for adverse impacts due to visible location on buildings.



Photo 22. An example of frameless solar panels on a slate roofed building

Service equipment

Service equipment such as air conditioning, heating or hot water boilers and the like should be concealed from the public realm. They should not be located on, or in front of the front façade of a building or on the roof where they would be visible from a street, including a side street.

Ideally, such units should be situated at ground level and within the side or rear yard area.

See Figure 8.1, which shows potential locations to ensure concealment from the public realm. If this is done then a planning permit is not required (Please contact Council's Statutory Planning team to confirm).

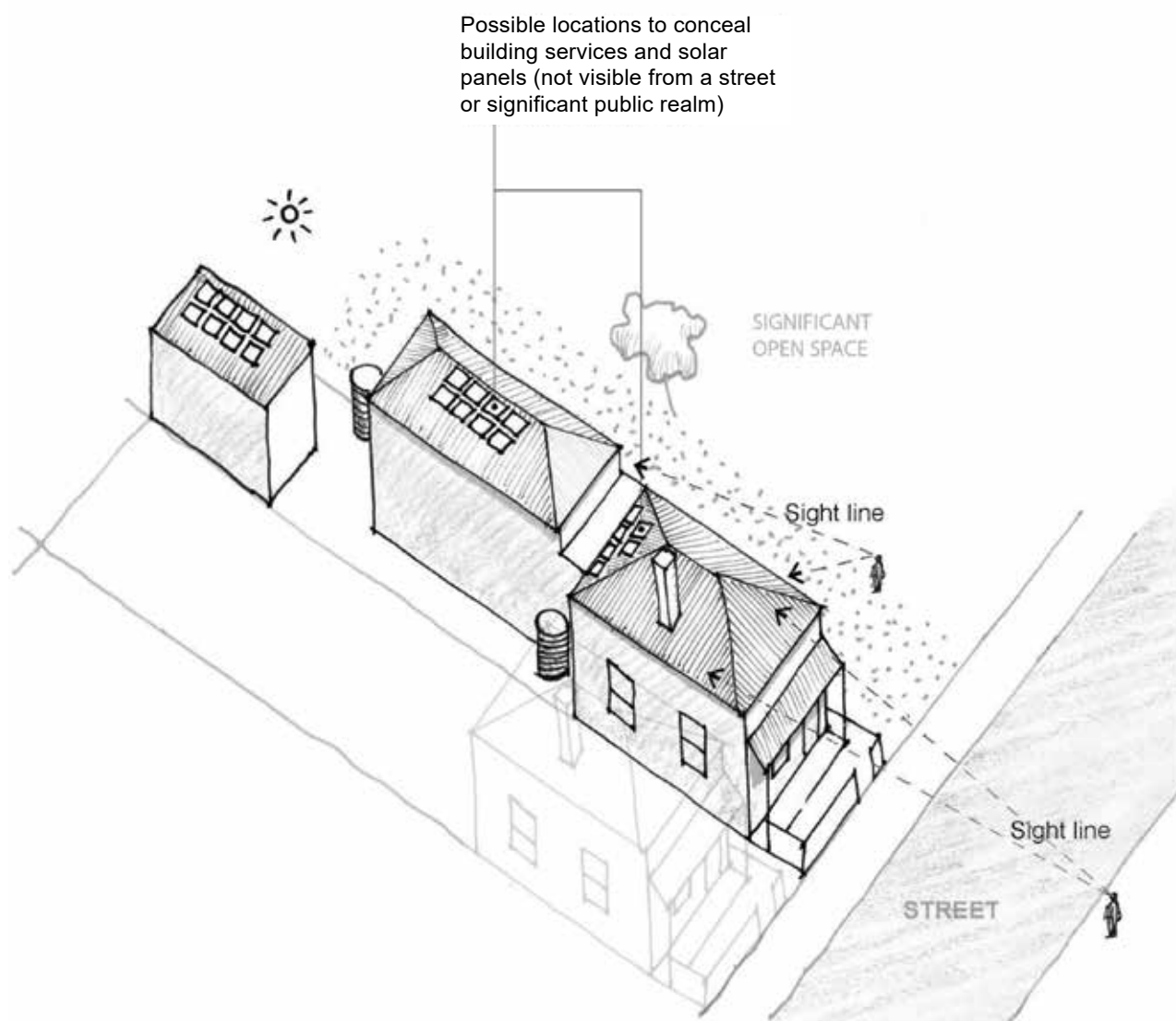


Figure 8.1
Suggested locations to conceal building services,
solar panels and water tanks

Environmental sustainability equipment

Ideally, environmental sustainability equipment such as solar panels and water tanks should be concealed wherever possible. If such equipment is not visible from the public realm (excluding a laneway) then a planning permit is not required. However, if this is not possible alternative visible locations will be considered on a case-by-case basis having regard to the context and the significance of the heritage place.

Figure 8.2 shows three alternative locations for roof-mounted solar systems:

- a. Preferred locations** include ground mounted within rear or side yards, on non-significant outbuildings or additions, or non-visible sections of roofs on original buildings. These locations will not require a planning permit if they are not visible from the public realm (Please contact Council's Planning Department to confirm).
- b. Secondary locations** should be used only when the preferred locations are not available or not practical (for example, due to orientation or overshadowing). They include side sections of roofs on original buildings, including on corner sites.
- c. Visible locations** should only be used when the preferred or secondary locations are not practical. However, visible locations may not be suitable for narrow buildings, Significant places, or any building within an intact or consistent streetscape.

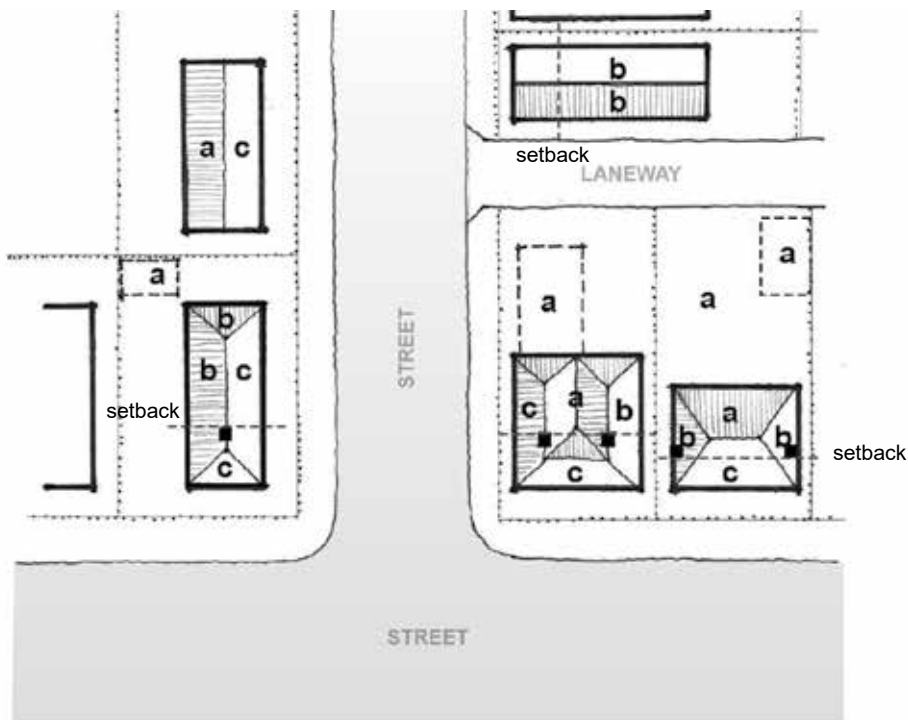


Figure 8.2
Alternative locations for roof-mounted solar systems:

For other types of roofs or context not shown in Figure 8.2, the location will be decided on a case by case basis using the same principles. Visible locations may not be suitable for complex roof forms particularly when solar panels will be mounted on multiple small roof planes.

Where roof mounted solar systems are visible they should:

- Be mounted flush against the roof (see Figure 8.3).
- Not project beyond the edge of the roof plane (see Figure 8.4).
- Be setback from the edge of the roof (see Figure 8.3) to ensure that some of the original roof remains visible.
- Be laid in a regular pattern that responds to the form of the house (for example, central location on the roof of a house with a symmetrical façade).
- Be in a colour that blends with the roof.

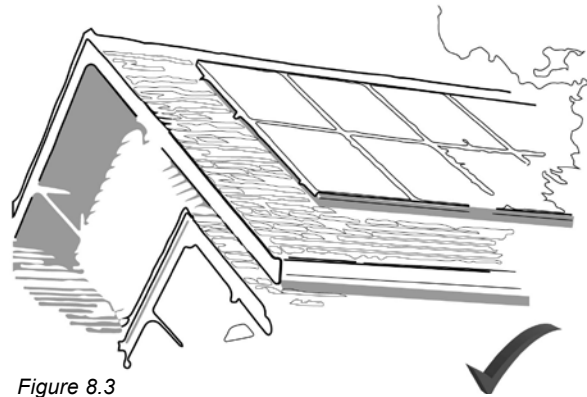


Figure 8.3
Be mounted flush against the roof and setback from the edge

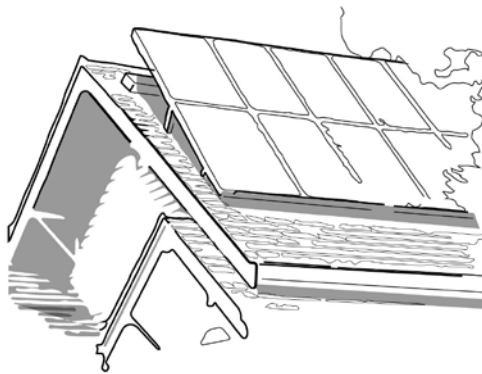
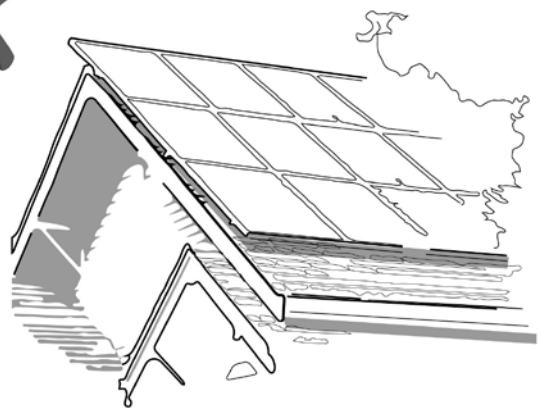


Figure 8.4
Not project beyond the edge or angle above the roof plane



Guideline 10: Subdivision

This section provides guidelines for the subdivision of land.

Application

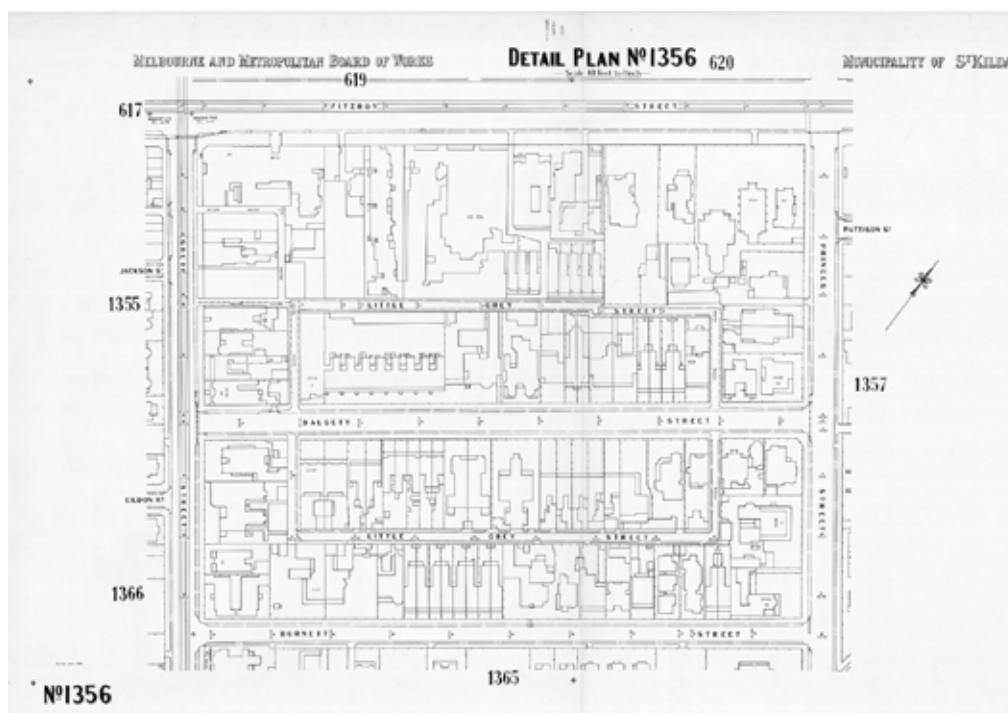
These guidelines apply to Significant and Contributory places within the heritage overlay.

These guidelines do not apply to the subdivision of existing buildings that do not create an additional lot, or the internal subdivision (e.g. strata titling) of existing buildings.

Guidelines basis

The subdivision pattern in much of Port Phillip is typical of late nineteenth century/early twentieth century areas and comprises regularly shaped rectangular lots with consistent dimensions, some with access to rear lanes.

This has created streetscapes that have a consistent 'urban grain', which is reflected in the form and sitting of buildings creating a distinctive streetscape rhythm and character. Many precincts have a regular 'fine-grain' character comprising small consistently shaped allotments situated within a traditional 'grid' street network, while others have more irregular layouts that reflect layers of subdivision and re-development.



This Melbourne & Metropolitan Board of Works plan, dated 1948, shows the subdivision pattern in St Kilda.

It is important to ensure that future subdivision does not disrupt this character and, in addition, does not create the opportunity for inappropriate forms of development. When one large plot or multiple plots are to be developed, Council will assess if the proposed development has been informed by the pattern of the urban grain.

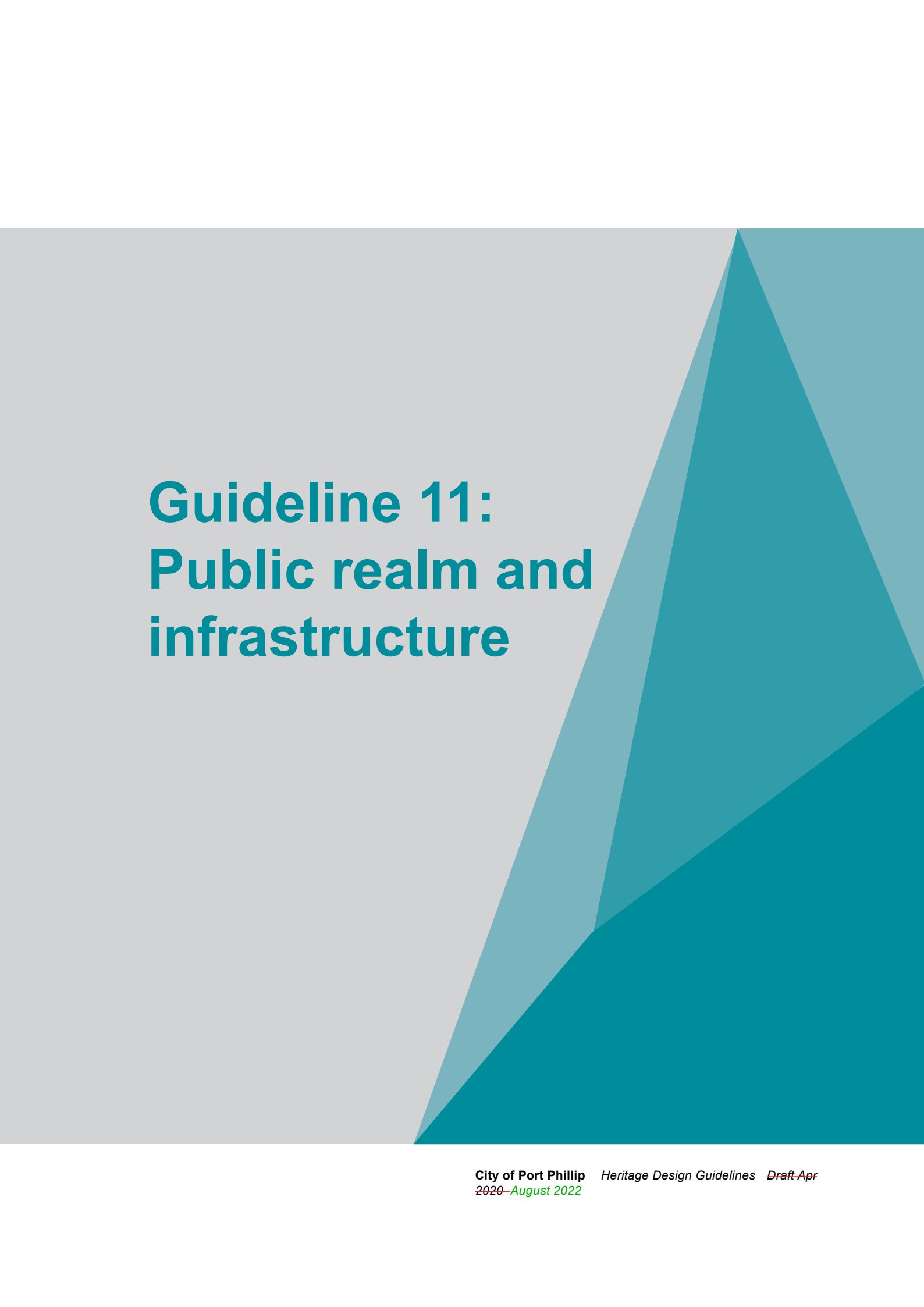
Subdivision guidelines

When large lots are subdivided, ensure lots sizes, proportions and depths are similar to those in the surrounding heritage precinct.

Avoid lots that are larger than or have shapes or proportions that are not found within the heritage precinct.

Avoid creating lots or lot boundaries that would:

- Cut through the middle of buildings, except as part of strata-titling.
- Result in contributory features associated with a heritage place being on separate allotments.
- Result in the loss of views to a heritage place.
- Allow new development between a heritage place and the street frontage.
- Require new buildings to have a lesser front setback than other buildings in the same street.
- Require the creation of a new street crossover to provide access.



Guideline 11: Public realm and infrastructure

This section provides guidelines for the conservation and management of land within the public realm including footpaths, streets and laneways, and features such as memorials, monuments and historic infrastructure associated with utilities (water, gas, electricity, sewerage, drainage).

Application

These guidelines apply to all historic public realm features and infrastructure within the heritage overlay.

Guidelines basis

The public realm (that is, the spaces between private properties including roads, footpaths and laneways) makes an important contribution to the historic character of heritage precincts and the setting of heritage places.



Photo 22. This laneway in St Kilda has been sympathetically re-constructed to retain the traditional bluestone channel and asphalt surface.

Of key importance is the historic use of bluestone in road construction from the nineteenth until the mid-twentieth centuries for kerbs, channelling and gutters, and laneways. This was often complemented by the use asphalt for footpaths and roads. Historic infrastructure also includes cast iron drainage and sewerage covers and grates, remnant gas lamp poles, electricity substations, horse troughs, and post boxes.

In addition, the public realm contains many important memorials and monuments honouring events and individuals.

It is important that these features are retained, and that missing elements are re-instated where opportunities arise.

Some old infrastructure or street furniture, while being part of the street character, can gradually lose relevance or purpose and become vulnerable to neglect, decay and possibly demolition. Some examples of this are the old post boxes, substations and tram shelters. The best way to save them is to breath new life through the adaptive reuse when renovating the public realm or developing the new infrastructure.

Public realm and infrastructure guidelines

Avoid demolition or removal of contributory features of public realm including:

- Bluestone pitchers as kerb and channel and laneways and footpaths.
- Original or early street furniture, lighting and signage.
- Original or early cast iron drain covers and grates, 'manhole' covers and the like.
- Early post boxes
- Early electricity substations.
- Monuments and memorials.
- Horse troughs.

Ensure that new public realm infrastructure:

- Respects, but does not simply copy the original materials, finishes and details of the historic infrastructure.
- Ensures the original layout, sitting, setting or details of the historic infrastructure is retained or remains evident.



Photo 23. The installation of this new kerb outstand and associated pedestrian crossing in Bank Street, South Melbourne uses sympathetic materials and also ensures that the historic alignment and layout of the original kerb and channel remains evident.

Overly relying on the interpretive signage should be avoided.

Avoid the need for complete reconstruction of kerbs, channels and laneways by undertaking regular repair and maintenance.

Reconstruct historic bluestone kerb and channelling only when it is at the end of its useful life.

When full reconstruction is required, this should be carried out in a way that reflects as closely as possible the original appearance.

Reinstate original bluestone kerb and channel or historic street furniture where this is supported by historic evidence.

Avoid development that would:

- Obstruct views of a memorial or monument.
- Result in the removal of trees or other features that contribute to its setting.
- Require its removal or relocation
- Potentially impact upon its condition or structural integrity (for example, due to construction being carried out in close proximity).

Encourage adaptive re-use of decommissioned infrastructure, where appropriate.

If the historical infrastructure is not capable of adaptive re-use then ensure there is a clear management plan. For example, Council is now responsible for maintaining the historic pre-World War 2 post boxes within the municipality.



Attachment 1: Definitions

Burra Charter definitions

Adaptation: modifying a place to suit the existing use or a proposed use.

Associations: the special connections that exist between people and a place.

Conservation: all the processes of looking after a place so as to retain its cultural significance.

Cultural significance: aesthetic, historic, scientific, social or spiritual value for past, present or future generations.

Fabric: all the physical material of the place including components, fixtures, contents and objects.

Interpretation: all the way of presenting the cultural significance of a place.

Maintenance: the continuous protective care of the fabric and setting of a place, and is to be distinguished from repair. Repair involves restoration or reconstruction.

Place: site, area, land, landscape, building or other work, group of buildings or other works, and may include components, contents, spaces and views.

Preservation: maintaining the fabric of a place in its existing state and retarding deterioration.

Reconstruction: returning a place to a known earlier state and is distinguished from restoration by the introduction of new material into the fabric.

Restoration: returning the existing fabric of a place to a known earlier state by removing accretions or by reassembling existing components without the introduction of new material.

Setting: the area around a place, which may include the visual catchment.

Use: means the functions of a place, as well as the activities and practices that may occur at that place.

Significance definitions

Heritage place is a place that has identified heritage value and could include a site, area, building, group of buildings, structure, archaeological site, tree, garden, geological formation, fossil site, habitat or other place of natural or cultural significance and its associated land.

Significant heritage places include buildings and surrounds that are individually important places of either State, regional or local heritage significance and are places that together within an identified area, are part of the significance of a Heritage Overlay. These places are included in a Heritage Overlay either as an area or as an individually listed heritage place and are coloured “red” on the City of Port Phillip Heritage Policy Map.

Contributory heritage places include buildings and surrounds that are representative heritage places of local significance which contribute to the significance of the Heritage Overlay area. They may have been considerably altered but have the potential to be conserved. They are included in a Heritage Overlay and are coloured “green” on the City of Port Phillip Heritage Policy Map.

Non-contributory properties are buildings that are neither significant nor contributory. They are included in a Heritage Overlay and have no colour on the City of Port Phillip Heritage Policy Map.